

HERITAGE ASSESSMENT

2-32 Junction Street Forest Lodge



The former hat factory on the site photographed in March 2017.

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EXECUTIVE SUMMARY

0.1 Introduction

This Heritage Assessment for Nos. 2-32 Junction Street, Forest Lodge, New South Wales has been prepared at the request of the City of Sydney Council by Weir Phillips Heritage.

The site is located within the Hereford and Forest Lodge Heritage Conservation Area as defined by Schedule 5 Part 2 of the *Sydney LEP 2012*. There is an existing Federation period factory on the site, now used for commercial offices.

On 24 October, 2016 Council approved a Planning Proposal and draft DCP amendment for Gateway determination and public exhibition. The Planning Proposal and site specific DCP amendment will enable a new three to four storey residential flat building to be erected on either side of the existing building and setback 3 metres from the street and existing building line. The fourth storey must be setback 2 metres and it must be no higher than the existing building.

The Planning Proposal retains the existing floor space ratio of 1:1 and allows a 0.56:1 bonus if the development provides publicly accessible open space to expand and integrate Larkin Street Reserve and a link through the site. It also seeks to increase the maximum building height from 12 metres to RL17.0 to 35.5 metres, equivalent to 19 to 25 metres above the ground level.

The draft DCP amendment seeks to define the maximum building envelopes, identify where land needs to be dedicated for new publicly accessible open space and a link through the site, and address other issues, including flood risk management, landscaping and heritage conservation. It requires the existing three storey building to the extent of the stepped side parapet (approximately 10 metres from the building's front façade) to be retained and to change the building's contribution to the conservation area from 'detracting' to 'contributory'. The draft DCP amendment provides the opportunity for a fourth storey to be added to the rear of the existing building under design excellence provisions in *Sydney LEP 2012*.

The brief from the City of Sydney to Weir Phillips Heritage was for a heritage assessment of the site, including a base line archeological assessment; a recommendation as to ranking of the existing building within the Conservation Area; and the provision of management recommendations to guide future development in order to retain heritage significance.

0.2 Authorship

This assessment was prepared by Alice Fuller, B. Appl. Sc. (CCM), M.Herit.Cons. (Hons), and James Phillips, B.Sc. (Arch.), B. Arch, M.Herit.Cons. (Hons), of Weir Phillips Heritage.

An archaeological assessment has been prepared by Shona Lindsay, Artefact Heritage, as part of this report.

0.2 Summary History

The site stands within Gadigal or Wangal country.

The site comprises land originally part of three different European grants- a grant of 20 acres of Catherine King (*Catherine Farm*) in 1795; a grant of 240 acres to William Bligh (*Camperdown*) in 1806; and a grant of 435 acres to the Trustees of the Clergy and School Lands in 1829. Orphan School Creek once ran through the site. By the early 1860s, the subject site had become part of the Forest Lodge Estate and was located within Bishopthorpe Ward of the newly formed Municipality of Glebe. There does not appear to have been any structures on the site at this time.

The Forest Lodge Estate subdivision was offered for sale from the early 1860s onwards. Junction Street is first listed in *John Sands' Sydney and Suburban Directories* in 1868. While the eastern side of Junction Street became lined with terrace rows from the 1870s onwards, the development of the western side of street, including the subject site, took a different path. Until 1900, the subject site, which comprised numerous small lots, was occupied by a number of one and two storey dwellings, shop/dwellings and outbuildings, including stables. By the 1880s, Orphan School Creek ran through a covered timber drain, since replaced by a storm water drain.

In c.1901, a three storey factory was erected on part of the subject site by W.A. McArthur for the manufacture of straw hats. It was later used by Adamson & Wilkinson for felt hat manufactory and, after 1968, by A.G. Campbell Pty Ltd, wholesale grocer. This building, albeit altered, still stands. Two other industrial buildings were later erected within what are now the site boundaries: a steel and wire works to the north of the hat factory in the 1920s (since demolished) and a small building for storage/office use to the south of the hat factory after World War II (still standing).

After the 1960s, the Victorian period dwellings/outbuildings on the site and the wire works were progressively demolished and replaced with carparks. An addition was constructed to the rear of the former hat factory in the c.1970s.

0.3 Site Assessment

The site is irregular in shape and approximately 4,824 sqm in size. The principal frontage is to Junction Street (eastern boundary). The site also fronts Kimber Lane (northern boundary). There is a gentle slope across the site to the south west. The site comprises a number of different lots: Lot A in D.P. 439209; Lot B in D.P. 439209; Lot C in D.P. 439209; Lot 1 D.P. 1092420; Lot 2 in D.P. 103720; Lot 1 in D.P. 613650; Lot 1 in D.P. 584394; Lot B in D.P. 87371; and Lot 1 in D.P. 575200. There are two buildings on the site:

- A three storey free standing Federation period and style factory building, with a c.1970s addition to the rear. The building has face brick walls; the southern elevation has been clad in corrugated metal sheet. Internally, the building is timber framed. Openings have been altered and windows/doors replaced. This building is referred to in this report as Building 1.
- A small free standing Post World War II period building, constructed of brick, recycled brick and weatherboard. This building is referred to in this report as Building 2.

There is a sandstone block retaining wall along part of the eastern boundary and various above ground remnants of now demolished stone brick structures/walls within the site.

0.4 Significance

The original part of the former hat factory is contributory to the Conservation Area for the following reasons:

- It dates from a significant period of development within the area.
- Provides evidence of the modest manufactories that operated on the outskirts of the Glebe Municipality during the Federation and Interwar periods.
- Remains recognisable as being of its period and style. The unsympathetic doors and windows added to the exterior of the building are reversible.

The Post World War II building is not significant.

0.4 Recommendations

The following recommendations are made:

- Junction Street should remain part of the Conservation Area.
- The former hat factory should be re-graded to be contributory within the Conservation Area.
- The provisions set out in the *Draft DCP 2012* for the redevelopment of this site be adopted, with the exception that the whole of the original part of the former hat factory be retained. The current recommendation provides for the retention of only the section beneath the stepped parapet.
- The stone retaining wall along the eastern boundary should be retained, or substantially retained, in situ.

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	<i>Artefact Heritage</i>	

1.0 INTRODUCTION

1.1 Preamble

This Heritage Assessment for Nos. 2-32 Junction Street, Forest Lodge, New South Wales has been prepared at the request of the City of Sydney Council by Weir Phillips Heritage.

1.2 Background

Council provide the following background for this assessment:

‘The site is about 4,824 m² and contains an unlisted three storey Federation warehouse which dates from the early 20th Century. It is used as offices and has a contemporary rear addition. The remainder of the site is open, covered in asphalt and concrete and used for storage and car parking purposes. The site is next to Orphan School Creek and surrounded by residential development that transitions in height from 5-6 storeys to the west to 1-2 storeys to the east.

Under *Sydney Local Environmental Plan 2012*, the site is on land that is zoned B4 Mixed Use, has a maximum building height of 12 metres and a maximum floor space ratio (‘FSR’) of 1:1. *Sydney LEP 2012* rezoned the site from Industrial to B4 Mixed Use when it commenced in 2012. Before this, the site was one of the few remaining industrial zoned sites in the area. Most other sites in the area to the west of Orphan School Creek were rezoned from industrial to residential uses by the former South Sydney Council in the 1990s. The site was not rezoned because it is located in the former Leichhardt Council area.

The site is in the Hereford and Forest Lodge Conservation Area. The site, including the warehouse and surface car parking, is identified in *Sydney Development Control Plan 2012* as being ‘detracting’ from the significance of the conservation area. The 1890 *Metropolitan Detail Series*, Sheet 31, The Glebe shows the building footprints of what appears to be houses on the site. The existing warehouse appears to have been built after this time. The outline of the building is shown on the 1939 *Glebe Detail Map* when it is indicated as being occupied by J.P. Adamson Pty Ltd, Millinery Manufacturers.

The warehouse dates from the early 20th century, one of the key development periods of significance of the Hereford and Forest Lodge Conservation Area. As an early warehouse, it contributes to the various periods of development and architectural styles and building types that make up the conservation area. Although the building has been altered, it retains its overall warehouse character and there is a high potential for its façade to be restored, particularly by reinstating original timber framed façade windows and conservation of the face brickwork.

On 24 October Council approved a Planning Proposal and draft DCP amendment for Gateway determination and public exhibition. The Planning Proposal and site specific DCP amendment will enable a new three to four storey residential flat building to be erected on either side of the existing warehouse building and setback 3 metres from the street and warehouse building line. The fourth storey must be setback 2 metres and it must be no higher than the existing warehouse building.

The Planning Proposal retains the existing floor space ratio of 1:1 and allows a 0.56:1 bonus if the development provides publicly accessible open space to expand and integrate Larkin Street Reserve and a link through the site. It also seeks to increase the maximum building height from 12 metres to RL17.0 to 35.5 metres, equivalent to 19 to 25 metres above the ground level.

The draft DCP amendment seeks to define the maximum building envelopes, identify where land needs to be dedicated for new publicly accessible open space and a link through the site, and address other issues, including flood risk management, landscaping and heritage conservation. It requires the existing three storey warehouse building to the extent of the stepped side parapet (approximately 10 metres from the building's front façade) to be retained and to change the warehouse's contribution to the conservation area from 'detracting' to 'contributory'. The draft DCP amendment provides the opportunity for a fourth storey to be added to the rear of the existing warehouse building under design excellence provisions in *Sydney LEP 2012*.

The proposed setbacks, heights and retention of the existing warehouse building are intended to ensure heritage impacts are maintained within acceptable limits. It is intended to provide an appropriate transition in height from the taller 5 to 7 storey apartment buildings to the west to the 1 to 2 storey terrace houses in the conservation area to the north and east. It is also intended to ensure the existing warehouse building remains as the dominant visual element when viewed from Junction Street.

A copy of Council's report, the Planning Proposal and draft DCP amendment is available as Item 5 at <http://www.cityofsydney.nsw.gov.au/council/about-council/meetings/calendar-and-business-papers-2016/2016/october/planning-and-development-committee>. Heritage issues are considered in section 5.5 of the Planning Proposal.

On 19 December, 2016, the Department of Planning and Environment provided a Gateway Determination that the planning proposal can proceed subject to conditions. One of the conditions requires the City to update the Planning Proposal to include a heritage assessment of the site before publicly exhibiting it. Subsequent discussions with the Department indicate the purpose of the assessment is to assess the significance of the site including the warehouse and Orphan School Creek and assess the boundary of the conservation area. An archaeological assessment is also required.

In 2015 and 2016 the landowner submitted various schemes to increase the floor space ratio from 1:1 to 1.75:1. The City did not support the proponent's request and in late 2016 the proponent submitted a request for a rezoning review with the Planning Assessment Commission. The Commission determined that the proponent's scheme should not proceed to Gateway Determination stage. In doing so, the Commission noted the proponent did not include a heritage impact assessment or analysis of the heritage values of the site as part of the planning proposal. As such, the Commission considered further work is required to resolve the heritage status of the warehouse in its context. The Commission considered any future proposal for the site should include a heritage impact assessment, including consideration of the existing warehouse and Orphan School Creek. The Commission also considered any future proposal should

include an investigation of potential Aboriginal and European archaeology.’¹

1.3 Objectives and Brief

The objectives of this assessment are as follows:

- Assess the significance of the site, including the existing buildings and Orphan School Creek and any potential significance of associated fabric and relics.
- Assess the boundary of the conservation area and the contribution the site and its key elements make to it.
- Assess potential Aboriginal and historic archaeology.

The brief from the City of Sydney to Weir Phillips Heritage was as follows:

Heritage Assessment

The heritage assessment will investigate the history, physical evidence and significance of the property, based on a site inspection and documentary research. It should be undertaken in accordance with guidelines set out in the NSW Heritage Manual, *including Assessing Heritage Significance and Conservation Areas*. The report should include but not necessarily be limited to the following elements:

- Executive summary – brief overview of the assessment process and main findings.
- Historical overview – chronological history of the construction, use and alterations to the existing building, site and associated significant sites, based on analysis of available primary and secondary records. Records to search may include but are not limited to City Archives property records, maps and images, State Records, Assessment Books, *Sands’ Directory*, Trove and Land Titles Office. Provide a bibliography for all references used.
- Physical analysis – description of the existing building, its main external fabric and features, evidence of alterations, its integrity and condition, and surrounding context.
- Images – include good quality photographs of the existing building and available historic photos, maps or surveys of the building and its context.
- Assessment of significance and succinct statement of significance – in accordance with Heritage Council criteria and associated guidelines “Assessing Heritage Significance” and “Levels of Heritage Significance”.
- Listing recommendation – include an explicit statement about whether the existing building meets the Heritage Council criteria of local heritage significance for listing within the conservation area and the appropriate grading against the definitions contained in *Sydney Development Control Plan 2012*.
- Management recommendations – to guide future development or planning for the property to retain its assessed significance.

¹ City of Sydney, *Request for Quotation: Quotation for Heritage Assessment and Archaeological Assessment*, 2-32 Junction Street, Forest Lodge, dated 12 January, 2017.

Conservation Area Grading

Sydney Development Control Plan 2012 has three gradings for buildings within conservation areas:

- **Contributory** – contributory buildings contribute to the character and significance of the heritage conservation area. They have a reasonable to high degree of integrity and date from a key development period of significance of the heritage conservation area. They are either:
 - buildings from a significant historical period and are highly or substantially intact;
 - or
 - are from a significant historical period and are altered yet recognisable and reversible.
- **Neutral** – neutral buildings are buildings that do not contribute nor detract from the significant character of the heritage conservation area. Neutral buildings are either:
 - from a significant historical period, but altered in form, unlikely to be reversed;
 - sympathetic contemporary infill; or
 - from a non-significant historical period but do not detract from the character of the heritage conservation area.
- **Detracting** – detracting buildings are buildings that are intrusive to a heritage conservation area because of inappropriate scale, bulk, setbacks, setting, design or materials. They do not represent a key period of significance and detract from the character of a heritage conservation area.

The consultant's report recommendations should be based on the assessed significance taking into account the three gradings in *Sydney Development Control Plan 2012*.

Archaeological baseline assessment

The archaeological assessment is to be prepared by a suitable qualified and experienced archaeologist(s) in accordance with the HSW Heritage Guideline titled, *Archaeological Assessments* 1996. It is to address both Aboriginal and historic archaeology potential and include a concise history, comparative analysis, significance assessment and management measures including for relics under the *Heritage Act 1977*.

1.4 Authorship

This assessment has been prepared by Alice Fuller, B.Appl.Sc.(CCM), M.Herit.Cons.(Hons), and James Phillips, B.Sc.(Arch), B.Arch, M.Herit.Cons.(Hons), of Weir Phillips Heritage.

An archaeological assessment has been prepared by Shona Lindsay, Artefact Heritage, as part of this report. This assessment is included in Appendix 1 of this report.

1.5 Methodology

This assessment has been prepared with reference to the NSW Heritage Office's (now Heritage Division of the Office of Environment and Heritage) guidelines, including *Assessing Heritage Significance* (2001).

A site visit was carried out in March 2017. The photographs taken on the site visit are supplemented by images from Google Maps as accredited.

A separate archaeological assessment for the site was prepared by Artefact. A copy of this report can be found in Appendix 1.

1.6 Documentary Evidence

1.6.1 General References

- Attenbrow, V., *Sydney Aboriginal Past: investigating the archaeological and historical records*, NSW, University of New South Wales Press Ltd, 2002.
- Austral Archaeology, *Weston's Biscuit Factory Complex (Site 2), Pyrmont Bridge Road, Camperdown, Archaeological Test Excavations*. Unpublished report dated November 2005. City of Sydney Archives.
- Campbell, J.F., 'Notes on the Early History of the Glebe', *Royal Australian Historical Society Journal*, Volume 15, 1929.
- City Plan Heritage, *Report on City of Sydney Industrial and Warehouse Buildings Heritage Study, Volumes 1 and 2*, 2014. Available online through the City of Sydney Council website.
- 'Company News,' *The Sydney Morning Herald*, 8 May, 1934.
- 'Forest Lodge Estate,' *The Sydney Morning Herald*, 25 November, 1862.
- 'The Glebe': The Church as Landlord', *The Sydney Morning Herald*, 13 April, 1924.
- Heiss, A. and Gibson, M., *Barani: Aboriginal People and Place*. Online reference.
- John Sands' Ltd, *John Sands' Sydney and Suburban Directories*, Sydney, John Sands Ltd, various dates.
- 'McArthur & Co.'s New Premises,' *Evening News*, 30 July, 1900.
- 'McMillan's Denial,' *The Raleigh Sun*, 11 December, 1903.
- McWhirters' Offer a Very Fine Range of Wool Felt Ready to Wears..., *The Telegraph* (Brisbane), 26 May, 1932.
- 'Messrs. A. Deane & Sons Employees' Picnic,' *The Sydney Morning Herald*, 14 November, 1898.
- 'Messrs. W. and A. McArthur Limited,' *The Sydney Morning Herald*, 28 July, 1900.
- NBRS + Partners, *Weston's Biscuit Factory and Ryvita Plant Redevelopment, Sites 2, 3 and 4 Lyons Road, Barr Street, 7 Pyrmont Bridge Road, Master Plan Heritage Assessment*. Unpublished report dated December 2003. City of Sydney Archives.
- Smith, B. and K., *The Architectural Character of Glebe*, NSW, Sydney University Co-op Bookshop, 1973.
- Solling, M., and Reynolds, P., *Leichhardt: On the Margins of the City*, Sydney, Allen & Unwin, 1997.
- Solling, M., *Grandeur and Grit, A History of the Glebe*, NSW, Halstead Press, 2007.
- 'Tariff Board: The Hat Industry. Objection to Increased Duty,' *The Age* (Melbourne), 10 November, 1927.
- Teale, R., 'McArthur, Alexander (1814-1909)', *Australian Dictionary of Biography*, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/mcarthur-alexander-4057/text6461>, published first in hardcopy 1974, accessed online 12 May 2017.
- 'Tenders Called,' *Construction*, 19 January, 1944.
- 'Tuesday Next March, 20...', *The Sydney Morning Herald*, 7 March, 1934.
- Turbet, P., *The Aborigines of the Sydney District Before 1788*, NSW, Kangaroo Press, 2001.

- Wells, W.H., *A Geographical Dictionary of Gazetteer of the Australian Colonies*, 1848. This facsimile edition published by The Council of the Library of NSW, Sydney, 1970.

1.6.2 Historic Plans and Photographs

- Hood, Sam, *General View of Factory Floor, Top Dog Factory*, March, 1941. State Library of NSW.
- Housing Improvement Board of NSW, *Municipality of Glebe, Detail Map*, 1939. City of Sydney Archives.
- McArthur's & Co., *Warehouse, York Street* (undated). State Library of NSW.
- NSW Lands Department, *(Aerial photograph over Forest Lodge)*, 1943. SIX Maps.
- Reuss, F.H., *Plan of the Forest Lodge Estate, Glebe, Parish of Petersham, County of Cumberland*, 30 May, 1863.
- Truscott, J.F., *Blackwattle Detail Series, The Glebe, Sheet 31*, June 1889. Sydney Water Archives, PWDS1544-S361.
- Truscott, J.F., *Detailed Survey of Sheet 31 Glebe*, Field Book No. 1361. Survey dated December 1887. Sydney Water Archives.

1.6.3 NSW LPI Records

For Lot 1 D.P. 1035720 (12-16 Junction Street):

- Primary Application No.: 35909.
- Certificates of Title: Volume 5753 Folio 60; Volume 11519 Folio 4.

For Lot 1 D.P. 575200 (18-32 Junction Street):

- Old System Titles: Book 2091 No. 514; Book 306 No. 28; Book 1421 No. 244; Book 140 No. 541; Book 2091 No. 514; Book 3158 No. 464.
- Primary Application 51513.
- Certificates of Title: Volume 12832 Folio 238.

Other:

- Primary Application No. 20; 5047.
- Certificates of Title: Volume 3 Folio 201; Volume 108 Folio 202; Volume 478 Folio 240; Volume 514 Folio 206; Volume 3353 Folio 223; Volume 4212 Folios 181 to 184 inclusive; Volume 4561 Folio 91; Volume 5736 Folio 22; Volume 6365 Folio 44; Volume 11519 Folio 4.

Deposited Plans:

- D.P. 55047; 111249; 536400; 575200; 85909; 964088; 1035720.

1.6.4 Glebe and City of Sydney Council Records

- DA Records: 1954/106; 1959/97; 1961/404; 1968/623. City of Sydney Archives.
- Glebe Municipal Council, *Rate Records, Forest Lodge Ward*, various years. City of Sydney Archives.
- Glebe Municipal Council, *Valuation Records, Forest Lodge Ward*, various years. City of Sydney Archives.

1.6.5 Heritage Inventory Sheets

- *Former Grace Brothers Furniture Repository, including interiors, No. 1-3 Ross Street, Forest Lodge. State Heritage Inventory Database No.: 2427849.*
- *Hereford and Forest Lodge Heritage Conservation Area, Glebe. State Heritage Inventory Database No.: 2427756.*
- *Warehouse, including interior, No. 9-11 Layton Street, Camperdown. State Heritage Inventory Database No.: 2420894*
- *Warehouse- Greens Woolstore, including interiors, No. 22 Bridge Road, Glebe. State Heritage Inventory Database No.: 2427901.*

1.6.6 Planning Documents

- *Sydney Development Control Plan 2012*
- *Sydney Local Environmental Plan 2012*

1.7 Site Location

No. 2-32 Junction Street is located on the western side of Junction Street, Forest Lodge, New South Wales. Figure 1 shows the location of the site and defines the site boundaries. The site extends from the north-western boundary of No. 2A Short Street north to Kimber Lane (Figure 1). For the purposes of this assessment, the Junction Street boundary is referred to as the eastern boundary.

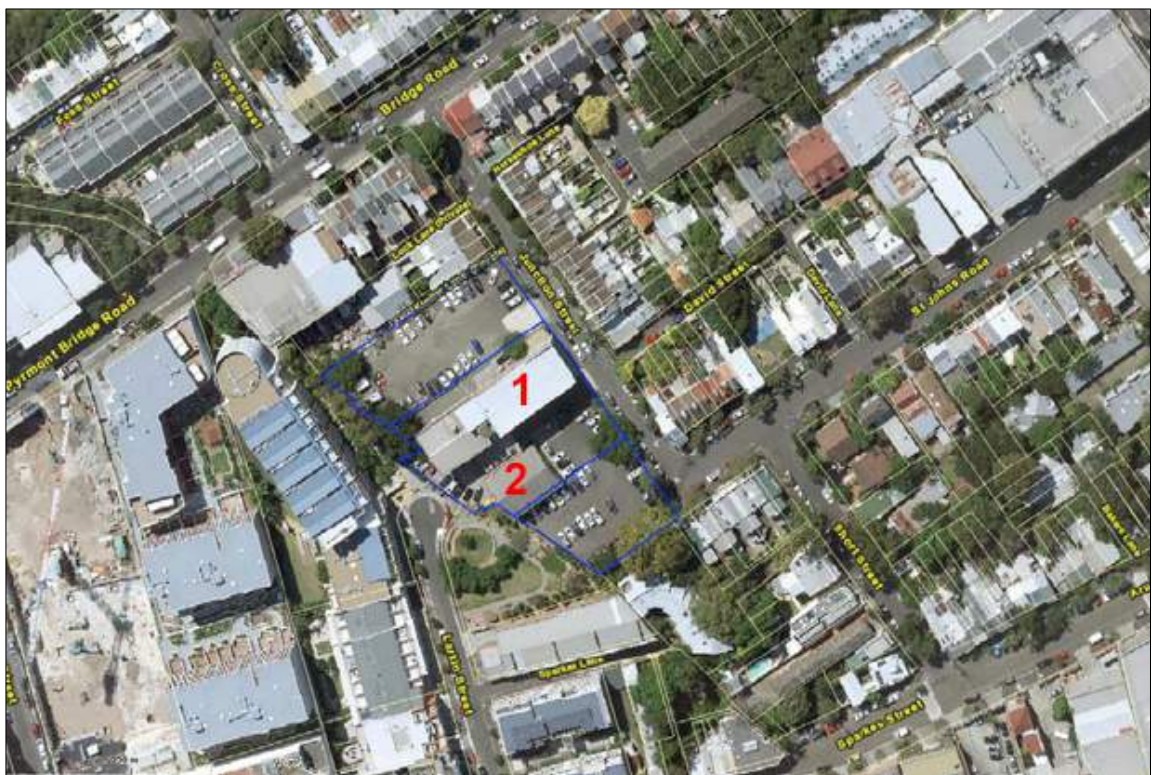


Figure 1: Site Location.
City of Sydney Planning Proposal.

Table 1 identifies the addresses and lots comprising the site. The location of buildings on the site are also identified.

<i>Address</i>	<i>Site Identifier</i>	<i>Buildings</i>
2-10 Junction Street	Lot A in D.P. 439209	
	Lot B in D.P. 439209	
	Lot C in D.P. 439209	
	Lot 1 D.P. 1092420	
12-16 Junction Street	Lot 1 in D.P. 1035720	Building 1: c.1900 brick factory. Building 2: Post World War II brick and weatherboard building
18-32 Junction Street	Lot 1 in D.P. 613650	
	Lot 1 in D.P. 584394	
	Lot B in D.P. 87371	
	Lot 1 in D.P. 575200	

Table 1: Addresses comprising the site and lot identifiers.

2.0 HISTORICAL DEVELOPMENT OF THE SITE

2.1 Original Occupation

The date of the first human occupation of the greater Sydney region is not known. The devastating impact that the European colonists had on the Aboriginal people they dispossessed has resulted in the loss of any in-depth knowledge of these people. The amount and nature of archaeological materials that have survived depends on the preservational conditions of individual sites. Archaeological evidence suggests human occupation of the Sydney region at around 15,000 years ago. In other areas of Australia, however, there is evidence for human occupation 30,000 to 40,000 years ago. There is thus the possibility that some of the practices suggested by historic documents and objects found in the Sydney region may possess histories that extend back further than the available archaeological evidence would suggest.²

At the time of the arrival of the First Fleet in 1788, the wider Sydney region was comparatively sparsely settled. Recent research indicates that the total population around Sydney was between 2,000 and 3,000 people, and, in the greater Sydney region, including the Blue Mountains, between 5,000 and 8,000 people. Although such estimates can be made based on archaeological evidence, the true size of the population will never be known.

Members of Captain James Cook's 1770 journey of exploration provide the earliest known written descriptions of Sydney's original inhabitants. The first European colonists, however, recorded few details about the kinship structures of the Aboriginal people. The immediate and decided impact that the Europeans had on Sydney's indigenous population, as outlined below, create difficulties in the use of the records that they did produce. Recent research suggests the existence of networks of bands, as opposed to the tribal structures implied by colonial records.

² V. Attenbrow, *Sydney Aboriginal Past: investigating the archaeological and historical records*, NSW, University of New South Wales Press Ltd, 2002, pp.3-4.

These bands were themselves subgroups of much larger groups bound by complex rights of language, marriage and ceremony. What were once defined as 'tribal areas' are thus more accurately described as localities where different languages were spoken.³

Three major language groups were thought to have existed in the Sydney region at the end of the eighteenth century. Dharug was the predominant language spoken over much of the Cumberland Plain. The coastal Dharug speaking clans are frequently referred to as the Eora, a term appearing in early European word lists with the suggested meaning 'people.' The Eora occupied the area across the southern shores of Sydney Harbour, from Botany Bay in the south to Parramatta in the west. There is some uncertainty as to whether the subject site lies in the lands of the Gadigal (Cadigal) or the Wangal people. Gadigal land lies south of Port Jackson and stretches from South Head to Petersham with part of the southern boundary lying on the Cooks River. Wangal land lies to the west of Gadigal land and extends along the southern shore of the Parramatta River to Parramatta.

Archaeological evidence suggests that patterns of life in the Sydney region changed little in the period before 1788. Bands moved within their territory at the prompting of seasons and with the availability of food. A coastal diet of fish and shellfish was supplemented by terrestrial food sources, such as edible tubers, figs and apple berries. A wide variety of materials were used in the production of tools and artefacts.

The Aboriginal people within reach of Port Jackson and Botany Bay absorbed the full impact of the European invasion. With no resistance to European diseases, the Eora were decimated by an outbreak of small pox in 1789-90. Traditional lifestyle was further disrupted by the loss of lands and exposure to new technologies. Conflict followed from the meeting of two fundamentally different cultures. Within two and a half years of the arrival of the First Fleet, the patterns of life, which had been followed for thousands of years, were no longer possible. Within forty years, the pre-colonial way of life had all but disappeared from the Sydney region.

Nineteenth century references provide us with only fragmentary accounts of the Aboriginal people who continued to inhabit the Sydney region. The intensive development in the district has destroyed much of the evidence of Aboriginal occupation. The Gadigal people, however, enjoy an unbroken association with their country.

An AHIMS search indicates that there are no Aboriginal sites recorded on or within 50m of the site.⁴ Artefacts have, however, been found on other creek or former creek lines in the Sydney area, including in Angel Place on the line of the former Tank Stream between George and Pitt Streets.⁵ It is noted that no Aboriginal artefacts were located within test archaeological pits dug at Site 2 of the Westons Biscuit Factory Complex on Pyrmont Bridge Road, Camperdown.⁶

Refer to the separate archaeological report prepared by Artefact in Appendix 1 of this report for additional information.

³ P. Turbet, *The Aborigines of the Sydney District Before 1788*, NSW, Kangaroo Press, 2001, p.18.

⁴ Search carried out by A. Fuller on 18 April, 2017.

⁵ Reference cited in Anita Heiss and Melodie-Jane Gibson, *Barani: Aboriginal People and Place*. Online reference.

⁶ Austral Archaeology, *Weston's Biscuit Factory Complex (Site 2), Pyrmont Bridge Road, Camperdown, Archaeological Test Excavations*. Unpublished report dated November 2005. City of Sydney Archives.

2.2 Early European History

The Colony of New South Wales was formally established on 26 January, 1788 on the southern shores of Sydney Harbour at what the local people called 'Warrane' and the colonists 'Sydney Cove.' Ignoring the presence of the Aboriginal people, all land was declared to be Crown Land.

In August 1789, Governor Phillip received instructions regulating the allotment of land for Church and School purposes. Governor Phillips authorised a survey of an area of around 1,000 acres of land in the district known as Petersham Hill or the 'Kangaroo Grounds.' This was divided into three allotments: 400 acres to the north, fronting the harbour, for church and glebe lands; 200 acres to the south for a school master; and 400 acres between reserved for the Crown.

Access into Petersham Hill was provided by 'The Path', later Parramatta Road, formed between 1789 and 1791 to link Sydney with the new settlement at Rose Hill (Parramatta). Nearby Arundel Street, located to the south of the subject site, was part of the original line of the road. When the road was realigned in the 1860s, what is now Arundel Street became known as 'old Parramatta Road' or 'Parramatta Old Road.'

The Crown land was the first of Phillip's three allotments to be cleared when, in 1792, Phillips leased 30 acres of the grant to Lieutenant Governor Grose for 14 years. *Grose Farm*, as this lease was known, was bounded by the Parramatta Road and what are now Missenden Road and Orphan School Creek. Later leases within this area were made to Major Foveaux (1794) and Thomas Laycock (1797). When these leases expired or lapsed, a block of 500 acres was granted by Governor King to the Orphan Institution in 1803.⁷ While the Orphan Institution would later relinquish the grant for land at Cabramatta and Bathurst, it gave its name to Orphan School Creek, which runs through the subject site in the form of a storm water channel.

The 400 acres allotted to the Church were known as 'The Glebe,' being the name in ecclesiastical law given to land devoted to the maintenance of incumbents of the Church. The grant was made to the Church of England (now the Anglican Church), in the person of the Reverend Richard Johnson. Part of the Glebe would later lie within the suburb of Forest Lodge. The Reverend Johnson set about clearing the Glebe for cultivation. It is thought that he probably cleared and cultivated land near the corner of what is now Glebe Road and Mitchell Street before his connection with the Glebe ended in 1794. Johnston thought little about the suitability of the land grant, famously declaring that it was 400 acres for 'which I found not give 400 pence.'⁸ Little occurred on the Glebe over the following thirty years. Later grants and leases impinged on the original boundaries of this grant.

2.3 Early Site History

2.3.1 Three Grants

From 16 January, 1793, successive colonial governors granted land outside the declared boundaries of the Township of Sydney in order to open up the land and augment the Colony's food supplies. The subject site lies on part of three different land grants:

- Grant of 20 acres to Catherine King on 14 March, 1795 (Portion 88).
- Grand of 240 acres to William Bligh on 10 August, 1806 (Portion 103).

⁷ Bernard and Kate Smith, *The Architectural Character of Glebe*, NSW, Sydney University Co-op Bookshop, 1973, p.13.

⁸ Max Solling, *Grandeur and Grit, A History of the Glebe*, NSW, Halstead Press, 2007, p.45.

- Grant to 435 acres made to the Trustees of the Clergy and School Lands on 24 November, 1829.

The majority of the subject site lies on land part of King's grant (known as *Catherine Farm*) and on the Clergy and School lands. Only a small part of the site, being the land located to the west of the stormwater channel, forms part of the grant to William Bligh (known as *Camperdown*).

2.3.2 King's Grant (*Catherine Farm*)

King's grant is one of several grants that impinged on the boundaries of the original Glebe. The grant was made under the hand of Lieutenant Governor Patterson:

'Catherine, the wife of Robert King, twenty acres of land, lying and situate on the northern side of the road to Parramatta, and bounded on the north side by the allotments granted to William Eggleton and William Wooding, in the district of Petersham Hill.'⁹

Nothing further is known of Catherine King. The size of land grant suggests that she may have been an emancipist. In any event, her ownership of the grant was short-lived. Within the same year of receiving the grant, it was acquired by William 'Bones' Eggleton, who had been transported for seven years for stealing cloth. Eggleton had already obtained a 14-year lease of seven acres on nearby Church lands in 1794.¹⁰ What, if anything, Eggleton used the land is unknown.

2.3.3 Bligh's Grant (*Camperdown*)

The majority of William Bligh's grant, known as *Camperdown*, lies on the southern side of Parramatta Road. The part of the subject site that lies on this grant is small, being that part of the site which lies to the west of the storm water channel, originally Orphan School Creek. This land had originally been placed in the hands of the Trustees of the Female Orphan Institute (1803). With their approval, it became part of a 240-acre grant made to the newly appointed Governor William Bligh by his predecessor Governor King on 10 August, 1806. Bligh named the grant *Camperdown* in memory of the Battle of Camperdown in 1797, in which he had fought and distinguished himself.

Following Bligh's death in 1817, *Camperdown* passed into the hands of his daughters. Governor Gipps later made a settlement of Bligh's estate that allowed his heirs to sell the land. In 1840, the estate was surveyed and subdivided into large lots. The first lots were offered for sale in April 1841. A survey of the estate made by W.H. Wells in 1845 shows relatively sparse development across the Estate, in particularly within the area north of Parramatta Road.¹¹ Wells described *Camperdown* in 1848 as:

'A village in NSW....on the road leading from Sydney to Illawarra. It contains 64 houses, and 241 inhabitants, viz., 125 males and 116 females...'¹²

⁹ J.F. Campbell, 'Notes on the Early History of the Glebe', *Royal Australian Historical Society Journal*, Volume 15, 1929, p.300.

¹⁰ Max Solling, *op.cit.*, 2007, p.44.

¹¹ NBRS + Partners, *Weston's Biscuit Factory and Ryvita Plant Redevelopment, Sites 2, 3 and 4 Lyons Road, Barr Street, 7 Pyrmont Bridge Road, Master Plan Heritage Assessment*. Unpublished report dated December 2003, p.4. City of Sydney Archives.

¹² W.H. Wells, *A Geographical Dictionary of Gazetteer of the Australian Colonies*, 1848. This facsimile edition published by The Council of the Library of NSW, Sydney, 1970, p. 113.

2.3.4 Church and School Corporation

During the early 1820s, the original Glebe lands were placed in the hands of the newly created Church and School Corporation. The Corporation received a further grant of 435 acres in November 1829, which included part of the subject site.

The Corporation was created to manage Church lands. The Corporation could sell up to one third of lands granted within each county to fund churches and schools, the improvement of lands, the construction of road and the maintenance of clergy and school masters.¹³

The foundations of the later Municipality of Glebe, in which the subject site originally lay, were laid in 1828 when the original Glebe was subdivided by the Corporation into 27 allotments of varying size, 24 of which were offered for sale in 1828. The smaller 3 to 4 acre allotments at Blackwattle Swamp attracted industry, in particularly noxious trades such as slaughter houses. The surrounding area was consequently developed as small lot subdivisions for the working man and his family. The larger allotments on higher ground attracted the attention of those seeking out-of-town estates.

2.4 The Development of Glebe and the Foundations of Glebe Municipality

The Glebe villa estates built between 1828 and 1844 were concentrated in two areas: along Glebe Point Road, between Marlborough Street and Leichhardt Street, and on either side of Bridge Road, between Glebe Road and Ross Street. This early development lay to the north and west of the subject site. The suburb of Forest Lodge was named after one of the Bridge Road villas, *Forest Lodge*, erected by the noted chemist, druggist and entrepreneur Ambrose Foss in 1836 on land not part of the original Church grant, but part of the adjoining *Catherine Farm*:

‘Ambrose Foss was a central figure shaping the built environment in this neighbourhood. Born in Portsea, Hampshire in 1804, Foss served an apprenticeship to master who called himself a chemist and druggist, surgeon and dentist, and apothecary. After arriving in Sydney in 1827, Foss added supper, grocer and warehouseman to his former master’s list of titles. Foss bought and sold Hereford House and then had Vere design the eight room bungalow with verandahs called Forest Lodge in 1836. Within two years, Foss, in buoyant economic conditions, had invested in the construction of two more picturesque residences nearby- *Oak Lodge* (1837) and *Rose Cottage* (1838). A deacon of the Pitt Street Congregational Church, Foss became a close friend of fellow deacon, draper David Jones, a Welsh immigrant. The two were engaged in commercial activities, forming a mutual protection association to secure the cargo space of ships bringing bounty immigrants....to New South Wales....over speculation in property lead to the bankruptcy of Ross in the depressed 1840s, but he recovered financially and prospered in the long turn. On this death in 1862 he left an estate of £20,000.’¹⁴

By 1841, there were at least thirteen villas upon The Glebe, together with the slab and timber houses of the labouring families. In all, there were 203 people living in Glebe.¹⁵

The Church lands would have a long-term impact on the future development of Glebe. Of the three allotments of The Glebe that remained in Church hands, two were

¹³ B. and K. Smith, *op.cit.*, 1973, p.14.

¹⁴ Max Solling, *op.cit.*, 2007, pp.58-9.

¹⁵ *Ibid*, p.47.

delivered to the Trust of St. Phillip's Church, Sydney, with the intention that the income be used for diocesan purposes; the third was set aside for the residence of the Archdeacon and was henceforth referred to as The Archdeaconry. St. Phillips Estate was subdivided and offered as 28 year leaseholds in 1842. Fourteen years would pass before The Archdeaconry, renamed Bishopthorpe, was likewise subdivided. The allotments comprising the Bishopthorpe Estate were generally larger than those on the St. Phillip Estate and were offered on 99 year leaseholds. Unlike the former, building conditions were attached to the leaseholds, which specified that all allotments have a minimum 40 foot street frontage, that all buildings be constructed of stone or brick and address the street, and that no more than two dwellings were constructed per allotment. The subdivisions of the Church lands in the 1840s corresponded to the subdivision of some of the earlier Glebe villa estates as owners were bankrupted in the financial depression of the 1840s and/or sought to take advantage of the rising value of land within reach of Sydney. W.H. Wells described Glebe in 1848 as containing 264 houses housing 1,055 inhabitants.¹⁶

The Municipality of Glebe was formed in 1859, a year after the NSW Legislative passed the *Municipalities Act* (1858). Present day Forest Lodge was originally located within the Bishopthorpe Ward of the new municipality. By 1861, the municipality supported a population of 3,712 people in 720 dwellings. Within twenty years, this increased to 10,500 people in 2,231 dwellings.¹⁷

2.5 The Forest Lodge Estate

The land title for the site before 1864 is complex and has not been fully resolved for the purposes of this assessment. By the early 1860s, however, all the land part of the subject site to the east of Orphan School Creek lay on a larger parcel of land owned by a syndicate comprised of G.W. Allen, T. Holt, T. Smart and R. Want. Of these men, George Wigram Allen, later Sir George, is the most prominent figure in the development of Glebe. Allen served as Glebe's first Mayor; he later represented Glebe in the Legislative Assembly, where he was speaker from 1875 to 1882. The Allen family built and lived in one of the Glebe villa mansions, *Toxeth Park*, which still stands within the grounds of St Scholastica's College.

Forest Lodge emerged as an identifiable precinct when Allen, Holt, Smart and Want's land was subdivided as the Forest Lodge Estate. Figure 2 reproduces an early advertisement from *The Sydney Morning Herald* for the estate which enumerated its advantages for would be purchasers. The Forest Lodge Estate subdivision catered for a broad spectrum of society- from the well-to-do, to the skilled tradesmen and the general labourer.¹⁸ Subdivision at this time would have been encouraged by the rapid growth in Sydney's population and the extension of Pyrmont Bridge Road from Blackwattle Bay to Camperdown (1859).

¹⁶ W.H. Wells, *A Geographical Dictionary of Gazetteer of the Australian Colonies*, 1848. This facsimile edition published by The Council of the Library of NSW, Sydney, 1970, p. 181.

¹⁷ Statistics cited in Max Solling and Peter Reynolds, *Leichhardt: On the Margins of the City*, Sydney, Allen & Unwin, 1997 p.252.

¹⁸ Max Solling, *op.cit.*, 2007, pp.96-7.

FOREST LODGE ESTATE.

GLEBE VILLA SITES
 adjoining Bishopsthorpe, Textist Park (the estate of George Allen, Esq.), and the properties of J. W. Wood, Esq., and having extensive frontages to the Pyramont Bridge main road, Parramatta Road, and other wide thoroughfares.

—

This eligibly situated estate nearly **ADJOINS THE CITY BOUNDARY**, and has been subdivided into building allotments and villa sites of from **ONE-QUARTER OF AN ACRE AND UPWARDS**.
 Each allotment has a frontage to a wide road, and the subdivision is so arranged that purchasers can secure any area they desire.

The Forest Lodge estate possesses advantages which few other suburban properties can claim. From the elevated position of the land it commands **EXTENSIVE VIEWS** and a **SALUBRIOUS ATMOSPHERE**, while at the same time it is simply a **CONTINUATION OF THE CITY**, being distant only a pleasant walk from the Post Office, thus ensuring all the rural advantages of a suburb without railway, or even omnibus travelling, though the latter convenience may be obtained if required, a few hundred yards from the estate.

The proprietors bring this estate for the first time before the public in a most popular manner, and offer every facility to purchasers to secure in lots to suit their requirements, and on very liberal terms.

—

A FIRST-RATE SUBURBAN SITE
 in a most valuable and improving position which, in a short period, must become a part of the city, and yearly improve in value.

Without further comment, it may be stated that the estate will be **POSITIVELY SOLD**, and intending purchasers are urged at once to secure a **LITHOGRAPHIC PLAN OF THE SUBDIVISION**, and make their selections.

—

TERMS—20 per cent. cash deposit, 20 per cent. in 12 months; the residus may remain on mortgage of the property for a long term of years, at a low rate of interest.

TITLE—unquestionable, full particulars of which can be obtained on application to Messrs. **WANT and SLADE**, solicitors, Pitt-street.

—

RICHARDSON and WRENCH have received instructions to sell by public auction, at the Rooms, Pitt-street, on **FRIDAY, 28th November**, at 11 o'clock,
The FOREST LODGE ESTATE, GLEBE,
 in lots to suit purchasers.
 Plans at the Rooms.

—

DART BROOK, HUNTER RIVER.

Figure 2: Forest Lodge Estate, 1862.
The Sydney Morning Herald, 25 November, 1862.

A plan of the Forest Lodge Estate subdivision, prepared by F.H. Reuss in 1863, identifies G.W. Allen as the owner of all the lots along the western side of Junction Street (Figure 3). As set out below, different parts of the subject site were brought under the provision of the *Real Property Act* at different times. The earlier applications for land part of the site identify Allen or Thomas Holt as the owners of the land in the 1860s.¹⁹ While structures are indicated on some of the lots on the estate surveyed by Reuss' plan, no structures shown on the lots part of the subject site.²⁰ Junction Street is first listed by *John Sands' Sydney and Suburban Directories* in 1868, five years after this survey was prepared.

¹⁹ See Primary Application Nos. 20 and 5047. NSW LPI.

²⁰ Certificate of Title Volume 3 Folio 201. NSW LPI.

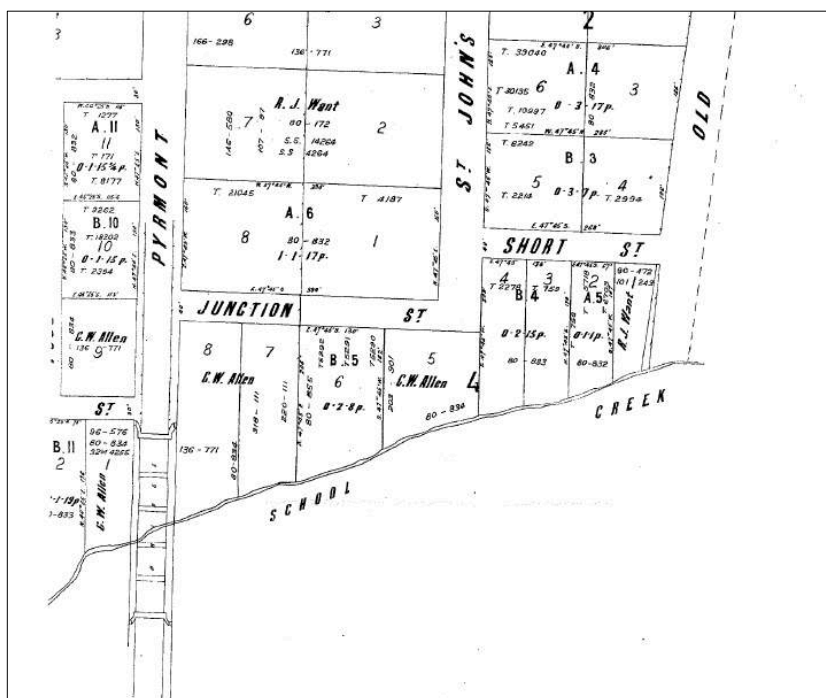


Figure 3: F.H. Reuss, *Plan of the Forest Lodge Estate, Glebe, Parish of Petersham, County of Cumberland*, 30 May, 1863.
NSW LPI.

2.6 Sub Area 1

The following section briefly outlines the history of Lot 1 D.P. 575200 and Lot B D.P. 87371, part of the subject site. This area is outlined in red (Lot 1 D.P. 575200) and yellow (Lot B D.P. 87371) in Figure 4.



Figure 4: Sub Area 1.
SixMaps; annotations in red and yellow by WP Heritage.

2.6.1 Early Owners and Residential Use

The area outlined in red and yellow in Figure 4 stands on part of the Clergy and School land grant of 1829. On 8 March, 1840, 31 acres 2 roods and 16 perches of this grant, including this part of the site, were transferred to Ambrose Foss, who, as identified above, built the villa *Forest Lodge* on part of the original Church Glebe in 1836. This part of the site subsequently formed part of Lot 7 Section 4 of the Forest Lodge Estate. See Figure 3 above.

On 3 December, 1868, this part of Lot 7 Section 4 was transferred from G.W. Allen to F. Dolan, who subsequently took out a mortgage over the land.²¹ The next recorded conveyance was from F.T. Humphrey to M. O'Connor on 4 October, 1872. How Humphrey acquired the land has not been determined for the purposes of this assessment. On 28 September, 1874, the land was conveyed to J. Curby.²² Curby owned the land for less than two years, selling it on 3 April, 1876 to T. Lloyd.²³ Lloyd appears to have entered into some kind of joint ownership with others. Council Rate Records show that, by the year commencing 2 February, 1880, there were three houses and one stable block on Lloyd's Junction Street land.²⁴

Lloyd's land was sold to C. Davis on 27 July, 1881.²⁵ On 28 February, 1884, the land was transferred to M.A. Kimber.²⁶ Council Rate Records show that, by 1889, there were four cottages on Mary Ann(e) Kimber's land, which continued north of the subject site, one of which she occupied. A survey, a detail of which is provided as Figure 5, carried out by the Lands Department in 1889, shows what appear to be three dwellings (two semi-detached and one free standing), a wc and an outbuilding on this part of the site. The semi-detached dwellings fronting the street were of weatherboard construction and are labelled on the plans as Nos. 28 and 30 Junction Street. The free standing dwelling to the rear, the outbuilding and the small wc are marked 'brick.'

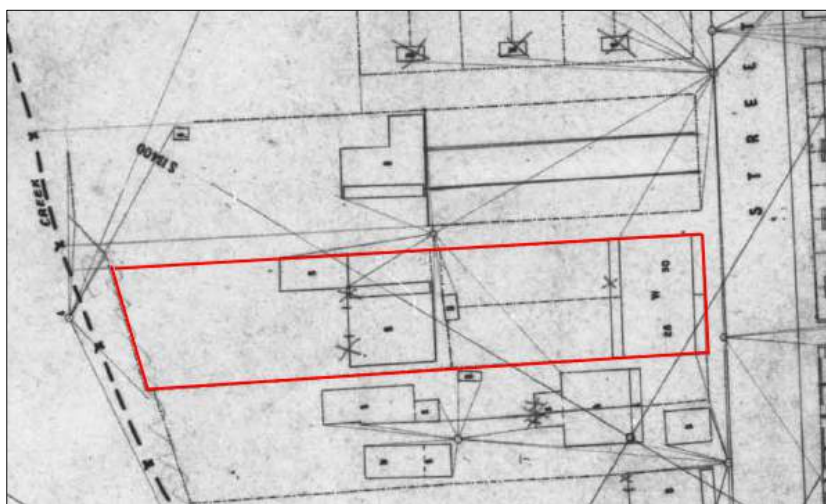


Figure 5: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only.*

Sydney Water Archives, PWDS1544-S361.

²¹ Old System Titles Book 111 No. 320. NSW LPI.

²² Old System Titles Book 158 No. 234. NSW LPI.

²³ Old System Titles Book 234 No. 158. NSW LPI.

²⁴ Glebe Municipality, *Rate Records, Forest Lodge Ward, For the Year Commencing 2 February 1880 and Ending 1 February, 1881.* City of Sydney Archives.

²⁵ Old System Titles Book 225 No.199. NSW LPI.

²⁶ Old System Titles Book 306 No. 28. NSW LPI.

Notes attached to the field survey that preceded the preparation of the above plan provide important information about the state of Orphan School Creek at this time:

'The position of Orphan School Creek cannot now be determined but it may be supposed that the covered wooden drain indicates the place of the old creek bed.'²⁷

No information as to when the Creek was first covered has been located.

The Kimber family continued to own the above land into the 1920s, giving their name to the adjoining laneway. Although it may have existed prior to 1900, Kimber Lane is first recorded by *Sands' Directories* in the early 1900s. Rate Records and *Sands' Directories* indicate numerous different occupiers for the dwellings on Kimber's land during this period. Mary Anne Kimber continued to occupy one of the cottages until at least 1904. When the three terraces were built north of the subject site, the street numbers of the two dwellings on Kimber's land that fronted Kimber Street changed to Nos. 30 and 32 Junction Street.

2.6.2 Industrial Use

On 29 March, 1926, Kimber's land was transferred to Arthur Scriven McKittrick.²⁸ On 10 May, 1927, the land was transferred to Charles William Wane, timber merchant.²⁹ It is around this time that *Sands' Directories* indicate that the use of the site changed from residential to industrial. The obviously residential listings in *Sands' Directories* for this land end in 1927. In the Directory for the following year, 1928, and until the last published *Sands' Directory* of 1932-3, the listing for No. 30-32 Junction Street is for J. Richards, ornamental ironworker and blacksmith. The date cannot be further refined by reference to rate records because the available rate records for the 1920s do not describe the types of improvements on the site. A survey of Glebe carried out by the Housing Improvement Board of NSW in 1939, a detail of which is provided by Figure 6, identifies the type of improvements on the land as 'steel and wire works' and provides an outline of the buildings on this part of the site at this time.

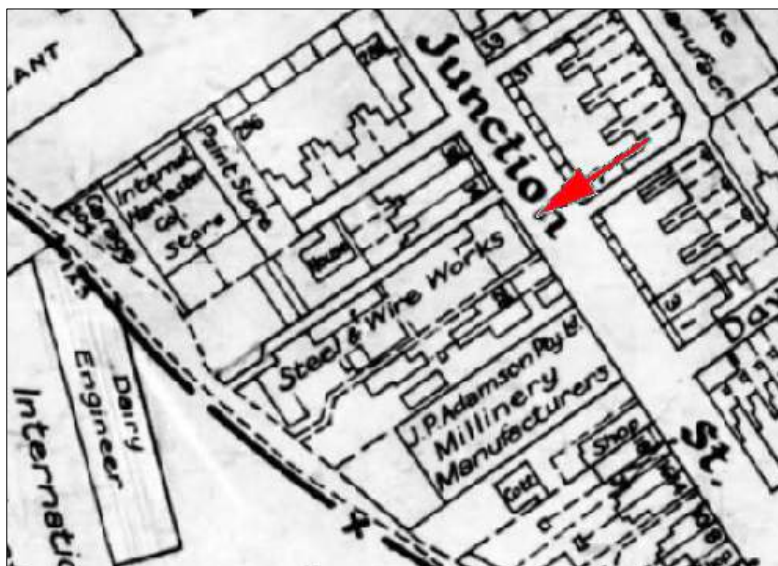


Figure 6:
Housing Improvement
Board of NSW,
Municipality of Glebe
Detail Map, 1939 (Detail
only).

City of Sydney Archives.

²⁷ 'Notes' in J.F. Truscott, *Detailed Survey of Sheet 31 Glebe, Field Book*. No. 1361. Survey dated December 1887.

²⁸ Old System Titles Book 1421 No. 244. NSW LPI.

²⁹ Old System Titles Book 1470 No. 541. NSW LPI.

This footprint corresponds to the building form visible in an aerial photograph dated 1943, Figure 7.

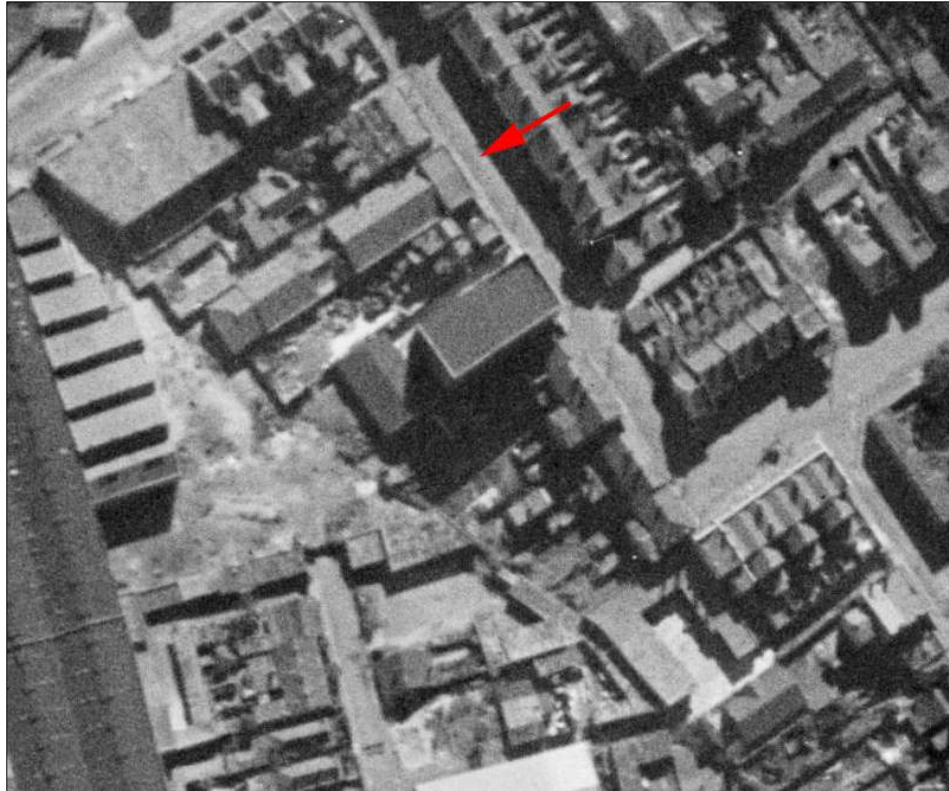


Figure 7: NSW Lands Department, (*Aerial Photograph over Forest Lodge*), 1943.
SIX Maps.

The land was subsequently subdivided and Lot A of this subdivision, being the area outlined in red in Figure 4, was transferred to Gordon Stewart Leys, engineer, on 3 February, 1949 for £1,750.³⁰ The subdivision plan, Figure 8, provides information on the buildings that stood on this part of the site at this time. The building on Lot A (the eastern part of the site) is described as a one and two storey brick factory; there is a 'very old single storey' factory and a 'recent' fibro addition on Lot B. Part of this 'very old factory' may have incorporated the brick structure shown on the site in the 1889 survey.

³⁰ Old System Titles Book 2091 No. 514. NSW LPI.

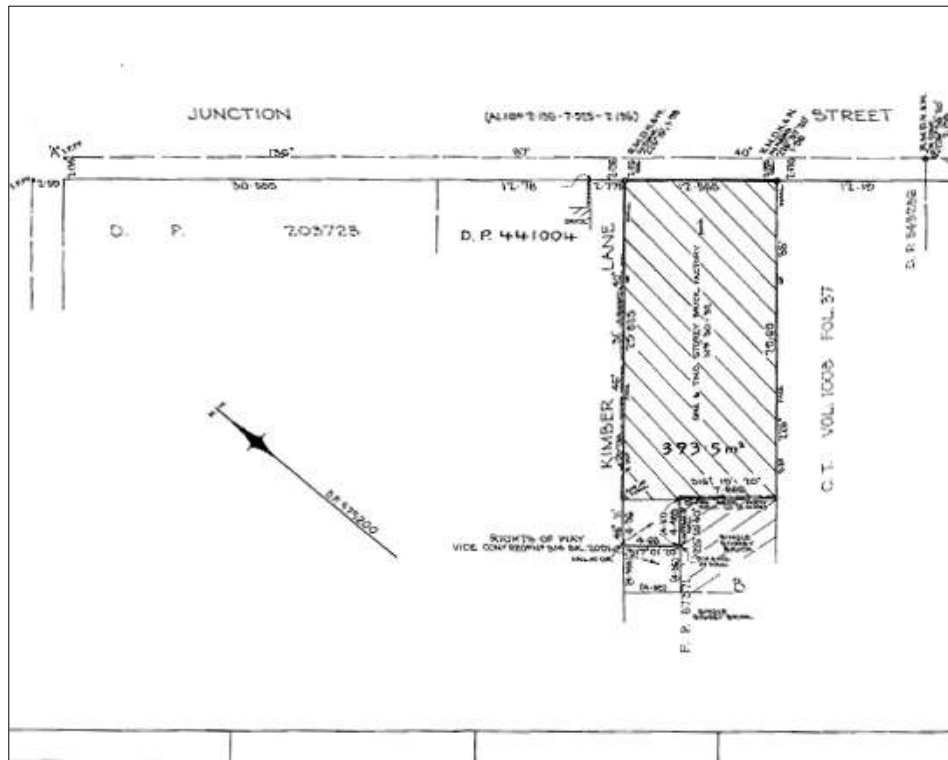


Figure 9: Detail of a survey prepared by T.A. Rollers in August 1974.
NSW LPI. D.P. 575200.

It was Gilbert & Roach Ltd who finally applied to bring the property under the provisions of the *Real Property Act* in 1975.³³ The application states that Gilbert & Roach Ltd were then in occupation.

The land was transferred to A.G. Campbell Pty Ltd on 2 August, 1979.³⁴

The land was transferred to the Local Government Superannuation Board on 15 July, 1982 with a lease back to A.G. Campbell (Self Service) Pty Ltd for three years.³⁵ The land title has not been further investigated beyond this point.

No Council records have been found that indicate when the buildings shown by the above plans were demolished and the existing carpark created.

2.7 Sub Area 2

The following outlines the history of that part of the site outlined in red in Figure 10.

No land title search has been carried out on this part of the site. Without a search, it is not possible to ascertain if this part of the site stood on part of *Catherine Farm* (as for the land to the south) or the Clergy and School lands (as for the land to the north). In any event, this part of the site became part of the Forest Lodge Estate in the early 1860s.

The following history of Sub Area 2 is not fully unresolved. Changes in street numbers and in the subdivision plan over time make the individual lots in the middle of the site difficult to positively identify in *Sands' Directories* and Council records.

³³ Primary Application No. 51513. NSW LPI.

³⁴ Certificate of Title Volume 12832 Folio 238. NSW LPI.

³⁵ *Ibid.*



Figure 10: Sub Area 2.

Six Maps; annotations by WP Heritage.

The 1889 survey shows a number of buildings on this part of the site at this time (Figure 11). There are two brick semi-detached dwellings set back from Junction Street. The outbuildings to the rear are identified as being of brick (northern building) and brick and weatherboard (southern building) construction. The small building on the street line is of brick construction.

The northern-most dwelling, likely originally No. 26 Junction Street and later No. 28 Junction Street, can be identified in *Sands' Directories* at least as early as 1884, at which time it was occupied by William Kidd, Blacksmith. This property had various occupants, including Thomas Byrnes, dray proprietor, in the 1890s. The structures to the rear may well be stables. From 1904 until at least 1920, the Kings occupied this property. When Mrs. Catherine King is listed as the occupant in *Sands' Directory* her occupation is recorded as green grocer; when John King is listed as the occupant, the occupation is recorded as carrier.

If the above property was originally No. 26 Junction Street, then the adjoining property was originally No. 24 Junction Street, described in Rate Records in 1896 as comprising 'cottage, bakery and yard'; in 1899 as 'yard, stables and cottage'; and in 1901 as 'cottage and stables.'³⁶

The small stores that operated on this part of the site formed part of a pattern of local shops that played an important role in the daily lives of people prior to the opening of shopping centres.

³⁶ Glebe Municipal Council, *Rate Records, for the Years 1896, 1899 and 1901*. City of Sydney Archives.

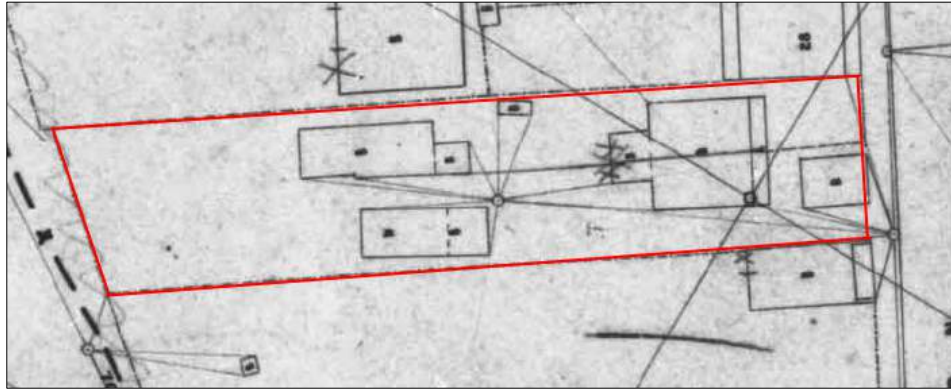


Figure 11: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889.*
Detail only.

Sydney Water Archives, PWDS1544-S361.

The five buildings shown by the 1889 survey stood on the site until at least 1939, when their footprint was recorded by the 1939 Housing Improvement Board survey (Figure 12). The two dwellings and the front outbuilding are clearly visible in the 1943 aerial. It is not clear if the rear buildings still stood in 1943 (Figure 13).

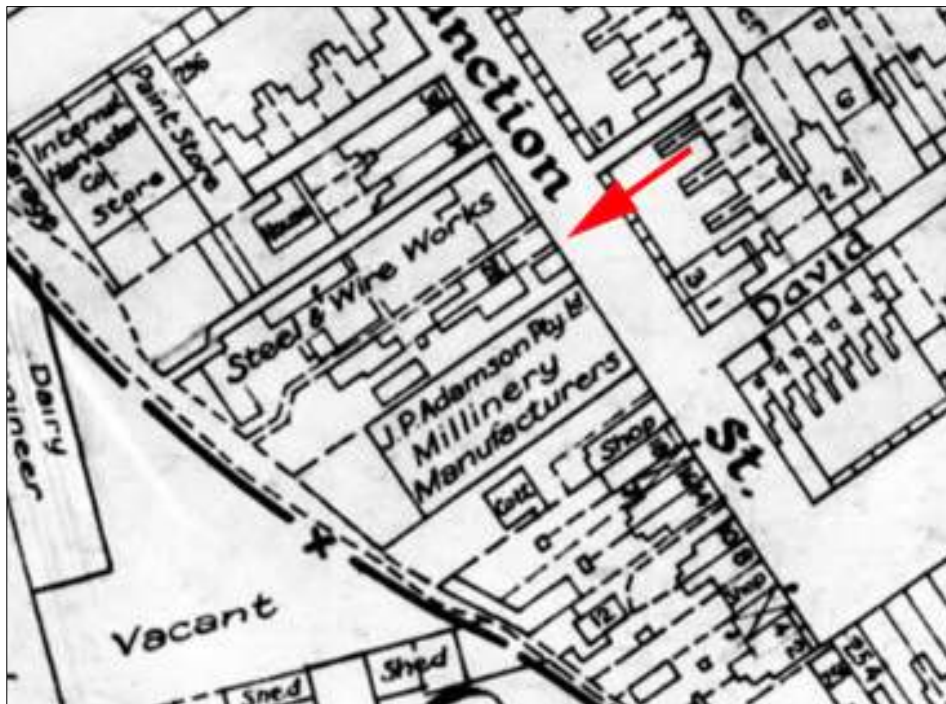


Figure 12: Housing Improvement Board of NSW, *Municipality of Glebe Detail Map, 1939 (Detail only).*

City of Sydney Archives.

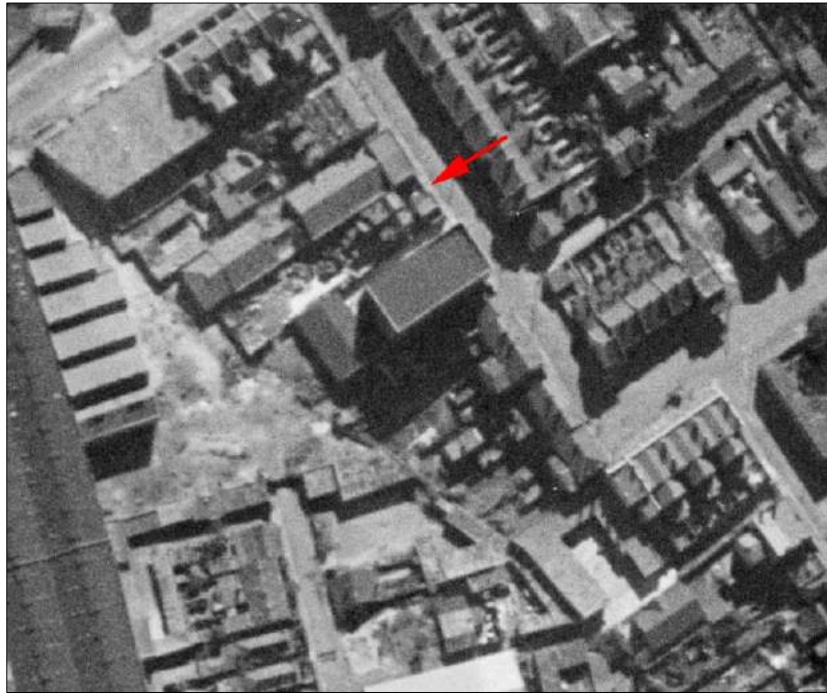


Figure 13: NSW Lands Department, (Aerial Photograph over Forest Lodge), 1943.
SIX Maps.

When this part of the site was cleared for a car park is not known.

2.8 Sub Area 3: The Hat Factory

The section of the site outlined in red in Figure 14 lies on part of Catherine King's grant.



Figure 14: Sub Area 3.
Six Maps; annotations by WP Heritage.

2.8.1 The Site Before 1900

This land was brought under the provisions of the *Real Property Act* in 1864 as one of ten parcels of land on the Forest Lodge Estate owned by the wool merchant, financier and politician, Thomas Holt, who appears to have acquired the land from Foss in 1862.³⁷ The land was described at this time as being ‘unoccupied.’

On 20 September, 1870, this part of the site, identified as part of Lot 6 of the Forest Lodge Estate and comprising 38 ½ perches, was conveyed to John Hayden, dairyman, who retained ownership until 14 November, 1879, when the land was conveyed to John O’Brien, free holder.³⁸ John Hayden may have occupied the land; he is listed, under his profession of dairyman in Junction Street by the *Sands’ Directory* of 1879. The survey plan, Figure 15, dated 1889 shows a small brick building on this site, set in the northeastern corner.

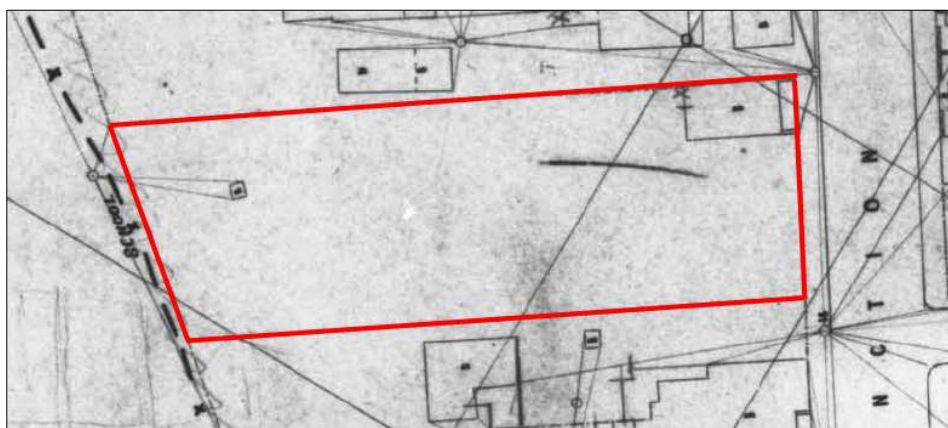


Figure 15: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only.*

Sydney Water Archives, PWDS1544-S361 (detail).

On 29 July, 1890 O’Brien’s land was conveyed to William McMillan, M.L.A.³⁹ Ten years later, on 10 May, 1900, the land was transferred to W. and A. McArthur Ltd (in liquidation). This company appear to have retained ownership of the land in one guise or another until 1926. The various transfers during this period were as follows:

- 28 July, 1908 to W.&A. McArthur Ltd (new company).
- 28 July, 1908 to George Foster Braithwaite of England (gentleman) and Alexander Lawson Ormrod, of England (stock and share broker).
- 5 February, 1924 to W.A. McArthur Ltd.⁴⁰

2.8.2 W.A. McArthur Ltd Straw Hat Factory

It was during the period of W.&A. McArthur Ltd’s period of ownership that the oldest part of the building that still stands on this part of the site was erected. Rate Records clearly demonstrate the northern part of this building was erected in c.1900. The Rate Record for the year commencing February 1901 is the first to describe a factory (a ‘hat factory’) on this land. A c.1900 date of construction is confirmed by the listing of ‘McArthur W. and A, straw hat factory,’ in Junction Street by *Sands’ Directories* for the first time in 1901.

³⁷ *Primary Application 20*. Notification of this application was published in *The Sydney Morning Herald*, 13 June, 1863.

³⁸ Transfers attached to Certificate of Title Volume 3 Folio 201 and volume 108 Folio 202. NSW LPI.

³⁹ Transfer attached to Certificate of Title Volume 478 Folio 240. NSW LPI.

⁴⁰ Transfers attached to *ibid*.

W. & A. McArthur Ltd, founded by Alexander McArthur, were a general mercantile firm with widespread business interests:

'Alexander McArthur (1814-1909), merchant, was born on 10 March 1814 at Enniskillen, County Fermanagh, Ireland, son of John McArthur, Wesleyan minister, and his wife Sarah, née Finlay. Educated privately, he was apprenticed in 1830 to a merchant in Omagh. After severe fevers he migrated to Sydney and arrived on 24 January 1842 in the *Margaret*. He began business with a consignment from his brother William (1809-1887) but soon became partner of William Little and James H. Atkinson. In 1848 he went to Ireland where in 1850 with his brother he formed W. and A. McArthur & Co., softgoods merchants. Alexander returned to Sydney in 1851 and profited handsomely as a shipping agent from the export of gold. His firm built a large Sydney warehouse and opened branches in Adelaide, Melbourne, Brisbane and Auckland. In August 1853 at Toxteth Park he married Maria Bowden, daughter of Rev. W. B. Boyce; they lived at Strathmore, Glebe Point, and had six sons and two daughters.

In 1854-55 McArthur visited England and, on his return, became a member of the Sydney Chamber of Commerce, a shareholder in the Australian Joint Stock Bank, director of many building societies and insurance and mining companies, and a justice of the peace. In June 1859 he was elected for Newtown to the Legislative Assembly as a free trader and an opponent of state aid to religion. On 11 October he moved the acceptance of the native chief's offer to cede Fiji to the Crown. Re-elected in December 1860, he resigned in June 1861 when nominated to the Legislative Council. He vacated his seat through absence in October 1865. In 1843 he had been elected to the committee of the Wesleyan Auxiliary Missionary Society of New South Wales; he was foundation treasurer of the Young Men's Christian Association of Sydney and a committee member of the Benevolent Asylum, the New South Wales Auxiliary Bible Society and other charities. He gave £2000 towards building Newington College.

In 1863 Alexander took over the London business and lived at Raleigh Hall, Brixton. In *Transportation to Western Australia. Three Letters to the Editor of the 'Daily News'* (London, 1864) he questioned 'the moral right [of the British Government] to poison the very atmosphere of four or five large and flourishing colonies' with convicts. In 1879 he and his brother gave £1000 to Ormond College in the University of Melbourne. In 1870-73 McArthur was a member of the first London School Board and in 1874-92 Liberal member for Leicester in the House of Commons, where he advocated the annexation of Fiji, stricter Sabbath observance and Home Rule for Ireland. He was a magistrate for Surrey, deputy-lieutenant for the city of London and a fellow of the Imperial Institute and from 1863 the Royal Geographical Society, and member of the Royal Colonial Institute in 1869, the Victoria Institute and the British Association. In 1898 his firm became a limited liability company with McArthur a director and in 1908 was reconstituted after liquidation. A devout Methodist, he died at Sydenham, London, on 1 August 1909.⁴¹

⁴¹ Ruth Teale, 'McArthur, Alexander (1814-1909)', *Australian Dictionary of Biography*, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/mcarthur-alexander-4057/text6461>, published first in hardcopy 1974, accessed online 12 May 2017.

A 'number of gentleman', including members of the press, were invited by the Company to view their various properties and operations in the City in July 1900. After an inspection of the Company's main warehouse premises in York, Clarence and King Street, which were 'packed with the wealth garnered from all parts of the earth', the party were invited to a new clothing factory opened in King Street and then onto the new straw hat factory in Junction Street Forest Lodge. This hat factory is the extant building. The journalist from the *Evening News* reported:

'The party on arrival found the place gaily decorated outside and inside. The whole process of straw hat making in all its varied details was exhibited in one of the most complete hat factories that could possibly be erected. The establishment is specially in charge of Mr. and Mrs. Wooding, who have come from Luton, Bedfordshire, to take charge of the working of it and to instruct the hands that are being put on.'⁴²

The journalist from *The Sydney Morning Herald* wrote:

'The factory is situated in Junction-Street Forest Lodge. It is expected to develop into a big thing and will shortly employ a large number of hands. Mr. W.W. Fogarty, manager of the department, explained the process of manufacture, an inspection of which proved highly interesting. The factory has been working only about a fortnight. The skilled labour necessary was imported from Luton, Bedfordshire, the recognised home of the straw hat industry. Any model of straw hat can be turned out, and it will now be possible for Messrs. McArthur to meet the demand for local tastes. The natural straw is mainly imported from Japan, from whence it is shipped in bundles of plaits, each containing between 50 and 60 yards. The thinner straw, however, is obtained from Italy. The visitors had an opportunity of watching the operation of making the ordinary sailors hat, from the bleaching of the straw, its rolling, modelling and stitching, blocking, trimming and final packaging. Naturally it is a very clean operation, and most of it can be deftly done by girls.'⁴³

No historic photographs of the hat factory have been found. It is, however, clearly a far humbler building than the Company's York Street warehouse, which is illustrated by Figure 16.

⁴² 'McArthur & Co.'s New Premises', *Evening News*, 30 July, 1900.

⁴³ 'Messrs. W. and A. McArthur Limited', *The Sydney Morning Herald*, 28 July, 1900.



Figure 16: McArthur's & Co., Warehouse, York Street (undated).

State Library of NSW.

The two newspaper reports identify the contractors of the hat factory as A. Deane and Sons. No architect/designer is identified. A. Deane and Sons were a large contracting firm, who are frequently identified in the Sydney press as the contractors for a range of Sydney building projects. By 1898, the Company had been in existence for 42 years. A report in *The Sydney Morning Herald* of 700 employees attending a company picnic in November 1898 provides some indication of the size of the Company at the turn of the century.⁴⁴

When it was first listed in *Sands' Directories* in 1901, W. & A. McArthur Ltd's hat factory was one of eight straw hat manufacturers listed by *Sands' Directories* in the wider Sydney area. These factories were spread across the inner-city suburbs, including in the City, Waterloo, Chippendale and Redfern. W. & A. McArthur Ltd's hat factory flourished in what was then a protectionist environment. In 1903, it was reported that the machinery had been duplicated to keep up with demand and that the factory was turning out '500 dozens' a week.⁴⁵

In the years after the hat factory opened, the Municipality of Glebe reached what was then considered to be capacity. By 1917, the population had reached 23,000 people; there were now 4,500 dwellings.⁴⁶ The appeal of Glebe as a residential area had already begun to decline by this period as increasing numbers of Sydneysiders were seduced by the Garden City ideal and moved to the expanding ring of outer suburbs. The poor condition of the Glebe properties still owned by the Church did nothing to attract people to the area:

'...the Synod...has left itself open to the criticism that although it is now landlord (i.e. after the expiration of the original 99 year leases) it is not attempting to demolish the slums and erect modern buildings...the terraces and cottages built by the lessees have developed into slums; because as the term of the lease neared expiration, no improvement nor any attempt at

⁴⁴ Messrs. A. Deane & Sons Employees' Picnic,' *The Sydney Morning Herald*, 14 November, 1898.

⁴⁵ 'McMillan's Denial', *The Raleigh Sun*, 11 December, 1903.

⁴⁶ Statistics cited in L.G. Norman, *op.cit.*, 1960, p.13.

improvement, were made to keep the property in good repair
...⁴⁷

2.8.3 The Hat Factory as Part of Sydney's Manufacturing Scene

The rapid growth in Sydney's population during the second half of the nineteenth century, when coupled with technological change, contributed to a massive development of manufacturing industries in the city area:

'From the 1860s to 1890s, high levels of British investment were also channelled into Sydney's domestic construction industry and transport infrastructure. Other industries included those supporting domestic market demand for food, drink, tobacco, railways construction, vehicle and carriage building and metals for cities, farm and mining machinery.'⁴⁸

Industry in late nineteenth century Glebe was less marked than in the neighbouring municipality of Balmain and in the City of Sydney and tended to be located on the outer edges of the area.⁴⁹ Most industries in Sydney were relatively small in size. In 1900, 67% of the 2,047 factories in metropolitan Sydney employed between 4 and 30 people; only 61 factories had more than 100 workers. Between 1899 and 1912, the number of people employed in manufacturing in NSW grew from 68,000 to 120,000, with a large percentage involved in the making of foodstuffs, clothing and drinks.⁵⁰ The government's high import tariffs and subsidies during the twentieth century, especially following World War I, continued to foster Sydney's industrialisation and local manufacturing.⁵¹

2.8.4 Adamson & Wilkinson's Hat Factory

The hat factory was conveyed to James Percival Adamson (manufacturer) and Wilfred Vivian Wilkinson (manufacturer) on 19 August, 1926. The building continued to be used as a hat factory. The late 1920s and early 1930s *Sands' Directories* identifies the site as 'Adamson and Wilkinson, millinery manufacturers.' A 1927 article in *The Age* (Melbourne) states that the company were making fur felt hats for women.⁵² Figure 17 illustrates some of their products.

⁴⁷ "The Glebe': The Church as Landlord', *Sydney Morning Herald*, 13 April, 1924.

⁴⁸ City Plan Heritage, *Report on City of Sydney Industrial and Warehouse Buildings Heritage Study, Volumes 1 and 2*, 2014, p.25.

⁴⁹ Max Solling and Peter Reynolds, *op.cit.*, 1997, p.124.

⁵⁰ *Ibid*, p.125.

⁵¹ City Plan Heritage, *op.cit.*, 2014, p.27.

⁵² 'Tariff Board: The Hat Industry. Objection to Increased Duty,' *The Age* (Melbourne), 10 November, 1927.



Figure 17: Advertisement for Adamson and Wilkinson Hats, 1932.

The Telegraph (Brisbane), 26 May, 1932.

Adamson and Wilkinson went into liquidation in 1934. The advertisement for the sale of the factory and its contents provides some indication of the types of machinery it housed and what was being produced. Refer to Figure 18.

ES.	Solicitor, J. H. S. Campbell, McKillop Street, Melbourne.	7 Large room Tree
stered	Inspection of Title and Orders to View from H. R. HARWOOD, auctioneer, 352 Collins st., Melbourne (Cent. 8894). ALBERT DIXON, estate agent, 360 Collins st., Melbourne (Cent. 8912).	TERMS
left, 6ft.	TUESDAY NEXT, MARCH 20.	J. 340
rocco:	At Eleven O'Clock.	At
trick, water pipes,	MILLINERY MANUFACTURERS' PLANT AND STOCK	(Close
ed in	F. R. STRANGE LIMITED Have been Favoured with instructions from N. O. BELL, Esq., F.C.A. (Aust.), As Receiver in the Matter of Messrs. ADAMSON and WILKINSON , Millinery Manufacturers, JUNCTION STREET, FOREST LODGE, SYDNEY (N.S.W.).	Five Ro Gas. Yard, Let 2
Bed-orked	To SELL on the Above Premises, The Whole of the FACTORY PLANT and MACHINERY , EXTENSIVE STOCKS OF RAW MATERIALS And PARTLY MANUFACTURED GOODS , OFFICE FURNITURE , DELIVERY VAN , &c.	Cor Bathro Front Garage 112 P
the	The Machinery Section Comprises Briefly: 78 SEWING-MACHINES , with BENCHES, MOTORS, &c , HAT-BLOCKING MACHINES , 4 IMPORTED STRAW BOATER MACHINES .	J. Auction 340
great	ELECTRIC MOTORS , BOILER , And LARGE QUANTITY OF SUNDRY OTHER PLANT .	At NE
RS	THIS IMPORTANT SALE IS WITHOUT RESERVE, AND IS OPEN FOR IMMEDIATE INSPECTION.	FI
and stent's ment's	Various millinery stocks and plants have come on the market recently, but upon inspection it will be found that this offering is exceptional. The machinery is all in perfect order, the factory has been kept in spotlessly clean condition. The stock is large and varied, and the bulk of it in original packages. Catalogues of this important sale are being prepared, and will be made available upon application to the auctioneers.	Sp
l. coma.	F. R. STRANGE LIMITED , 53-55 George Street North, SYDNEY. 'Phone BW6129. Telegraphic address, "Strangelim," Sydney.	
	THURSDAY NEXT, MARCH 22. At Eleven O'Clock. At 47 ESKDALE ROAD, CAULFIELD.	

Figure 18: Millinery Manufacturer's Plant and Stock.

The Sydney Morning Herald, 7 March, 1934.

The factory was transferred to J.P. Adamson Limited on 8 June, 1934, a new company registered in May 1934 with a capital of £5,000 to carry on the business of silk mercers, cloth manufacturers, furriers, hosiers etc.⁵³ Advertisement in Sydney newspapers indicate that the building continued to be used for hat manufacturing. The company appears to have installed a hand operated elevator in the factory, with tenders for the same being advertised in *Construction* in January 1944.⁵⁴ No physical evidence of this elevator appears to have survived within the building.

While no photographs showing the manufacture of hats within this particular factory have been located, Figure 18 provides a photograph inside another Sydney hat factory, 'Top Dog' in Surry Hills, in 1941, showing the layout of a contemporary hat factory.

⁵³ 'Company News,' *The Sydney Morning Herald*, 8 May, 1934. Transfer attached to Certificate of Title Volume 478 Folio 240, now Volume 6365 Folio 44. NSW LPI.

⁵⁴ 'Tenders Called,' *Construction*, 19 January, 1944.



Figure 18: Sam Hood, *General View of the Factory Floor, Top Dog Factory, March 1941.*

State Library of NSW.

2.8.5 Later Owners

In 1968, J.P. Adamson Ltd began negotiations with A.G. Campbell Pty Ltd for the sale of the hat factory. A.G. Campbell Ltd were a whole sale grocer who already owned No. 14-20 Junction Street and land to the rear of the hat factory accessed from Larkin Street. A plan, Figure 19, lodged at Council in 1968 shows the hat factory as it stood at this time. There is a large shed to the rear, since demolished.

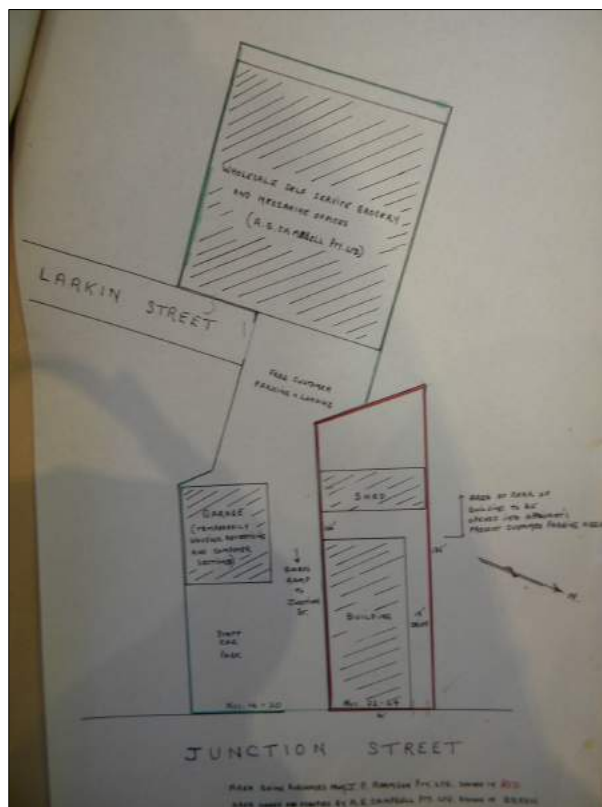


Figure 19:

Plan attached to a letter to the City Building Survey from A.G. Campbell dated 4 March, 1968 showing land already owned by A.G. Campbell (outlined in green) and land they are negotiating to purchase, outlined in red.

DA 1968/234.

This shed was likely to have been erected between 1939 and 1943. It is not visible in the Housing Improvement Board survey of 1939 (Figure 20), but is visible in the 1943 aerial (Figure 21).

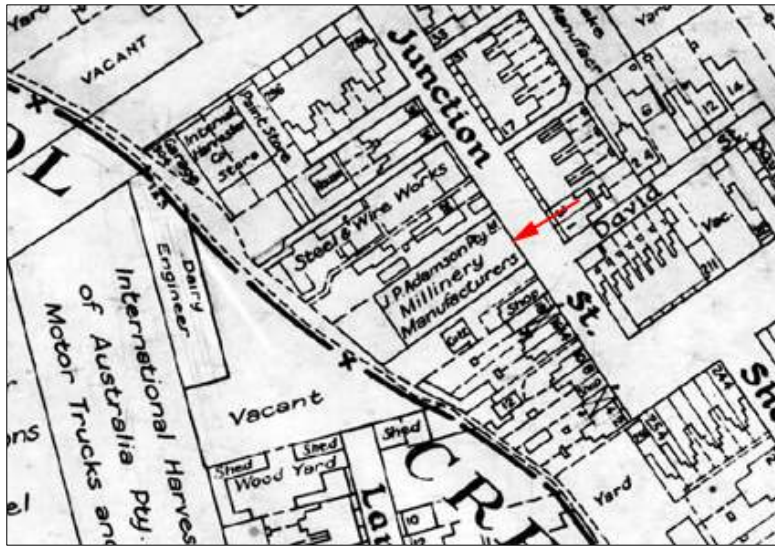


Figure 20: Housing Improvement Board of NSW, Municipality of Glebe Detail Map, 1939 (Detail only).
City of Sydney Archives.



Figure 21: NSW Lands Department, (Aerial photograph over Forest Lodge), 1943.
SIX Maps.

The site was conveyed to A.G. Campbell Pty Ltd on 5 July, 1968.⁵⁵ Figure 22 reproduces a Certificate of Title issued in February 1971, showing the footprint of buildings on this part of the site at this time.

⁵⁵ Transfer attached to Certificate of Title Volume 6365 folio 44, now Volume 11519 Folio 4. NSW LPI.

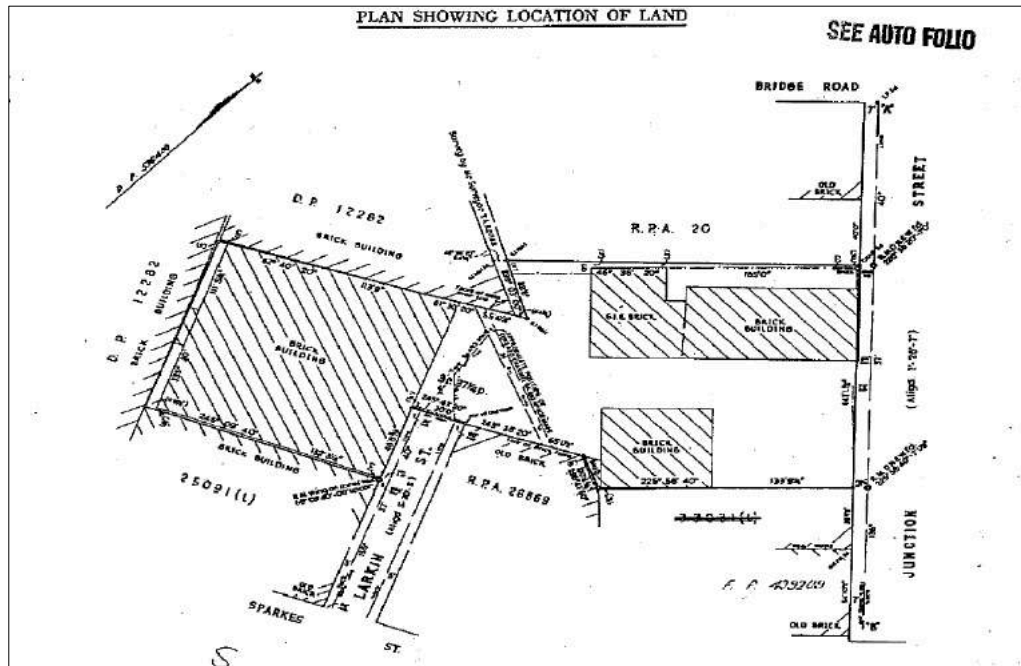


Figure 22: Certificate of Title Volume 11519 Folio 4. Edition issued 9 February, 1971. NSW LPI.

The above plan shows that the shed to the rear of the former hat factory had been removed by this time and replaced with an 'L-shaped' addition, also since demolished. No building records relating to this addition were located in the City of Sydney Archives. Similarly, no records relating to the construction of the extant addition were located. Stylistically, it was likely to have been erected in the 1970s.

This part of the site was conveyed to the Local Government Superannuation Board on 15 July 1982. The land was leased back to A.G. Campbell (Self Service) Pty Ltd for three years.⁵⁶ The title has not been investigated beyond this point.

2.9 Sub Area 4

The following outlines the history of that part of the site outlined in red in Figure 23.

⁵⁶ Certificate of Title Volume 11519 Folio 4. NSW LPI.



Figure 23: Sub Area 4
SIXMaps; annotations by WP Heritage.

On 28 February, 1870, this part of the site, identified as part of Lot 6 and comprising 17 $\frac{3}{4}$ perches, was conveyed from Holt to George Rollings, boot maker.⁵⁷

Rollings is first listed in *John Sands' Sydney and Suburban Directories* in Junction Street in 1870. The early directories are alphabetical only, making it difficult to say if he was occupying this particular site in Junction Street. He can, however, be clearly located on this site in the directory of 1879 and is listed as the owner and occupier of a dwelling on this land in the Rate Record for the year commencing 2 February 1880. Rollings continues to be listed by *Sands' Directories* on this site until 1894. Early listings identify him solely as a bootmaker; in 1890, he is listed as a grocer and bootmaker. The Rate Record of 1896 lists Martha Rollings as the owner and occupier and describes the improvements as shop and residence. By 1899, the occupant was John Harriot, grocer; in 1900 and 1901, William Atfield, green grocer; in 1903 and 1904, William Bousfield; and 1907 and 1910 Nathan Cohen, grocer.

Rate records indicate that there was a second dwelling on Rolling's land, listed as 'off' the street. In 1896 and 1899 this was occupied by Annie Brown and in 1901 by W.A. Brown.

The two dwellings on the site are shown by the 1889 survey, which also identifies them as being of brick construction (Figure 24).

⁵⁷ Certificate of Title Volume 3 Folio 201 now Volume 108 Folio 201. NSW LPI.

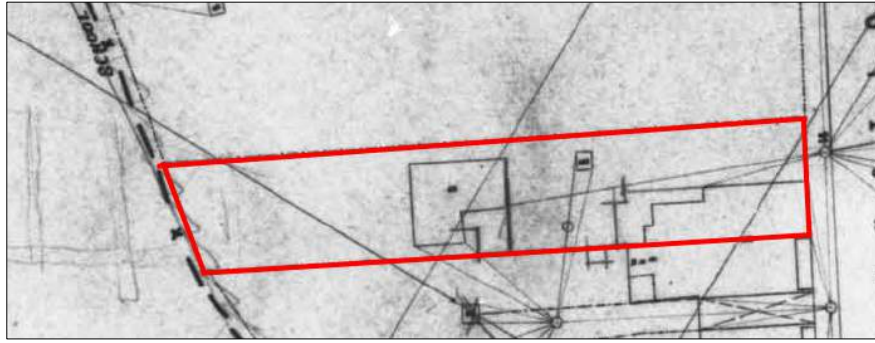


Figure 24: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only.*

Sydney Water Archives, PWDS1544-S361.

Rollings conveyed his land to William Wiltshire, a builder, on 3 March, 1909.⁵⁸ *Sands' Directories* indicate that Wiltshire occupied his land.⁵⁹

Wiltshire sold the land to James Tumeth, horse breaker, on 14 October, 1921.⁶⁰ Tumeth is never listed as a resident of Junction Street in *Sands' Directories*. Different tenants are listed for this land from 1921 through to the last published directory of 1932-3. There are two, possibly three, listings for this site during this period. There is only one listing for 1930 and for 1932-3, being for Mrs. M. Amos, grocer and Mrs. Ruby Manning, grocer, respectively. The 1939 survey of Glebe clearly identifies a shop, with a cottage to the rear at this time. Refer to Figure 25.



Figure 25: Housing Improvement Board of NSW, *Municipality of Glebe Detail Map, 1939 (Detail only).*

City of Sydney Archives.

⁵⁸ Certificate of Title Volume 108 Folio 201. NSW LPI.

⁵⁹ Street numbers in *Sands' Directory* during this period are varied.

⁶⁰ Certificate of Title Volume 109 Folio 201 now Volume 4561 Folio 90. NSW LPI.

The National Trust Limited took ownership of the site as the mortgagee in possession on 21 June, 1934. Five months later, on 20 November, 1924, it was conveyed to Mary Helen Birch.⁶¹

The site was conveyed to Terence Ireland Carter, hydrographer, on 29 August, 1960. It was transferred on the same day to A.G. Campbell Pty Ltd.⁶² No. 20 Junction Street was dismantled with Council permission in 1962 as part of an application to use Nos. 14, 16, 18 and 20 Junction Street as a car park.⁶³ The demolition also provided access to a grocery warehouse to the rear, beyond the subject site boundaries.⁶⁴

In 1975, architects Lipson, Kaad and Fotheringham made an application to construct a new three storey building on No. 22-24 Junction Street, fronting Junction Street and adjacent to the former hat factory. The former hat factory was now being used as the company headquarters of A.G. Campbell Pty Ltd. The new building was intended to be an extension of the headquarters. The existing improvements on the site at this time were described as being a single storey brick factory with a concrete floor and an A/C roof, then being used as a garage.⁶⁵ The proposed building was never erected.

The site was conveyed to the Local Government Superannuation Board on 15 July 1982. The land was leased back to A.G. Campbell (Self Service) Pty Ltd for three years.⁶⁶ The title has not been investigated beyond this point.

Figure 26 reproduces a survey of this part of the site carried out in 2001 for the purposes of subdivision, showing the buildings that stood upon it at that time.

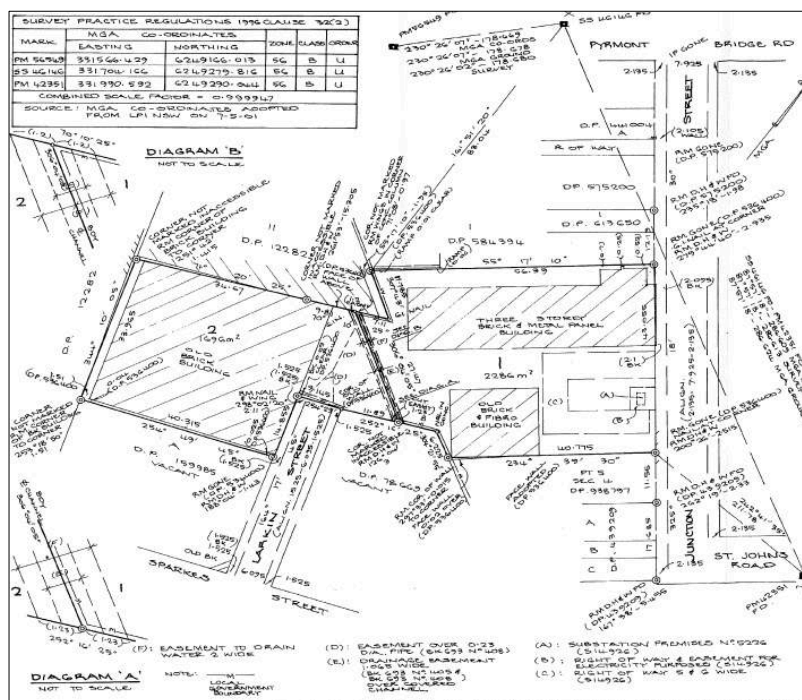


Figure 26: Detail of a survey carried out by S.T. Conroy in August 2001.
NSW LPI. D.P. 1035720.

⁶¹ Certificate of Title Volume 4561 Folio 90. NSW LPI.

⁶² Certificate of Title Volume 4561 Folio 91, now Volume 11519 Folio 4. NSW LPI.

⁶³ Information obtained from DA Record 1954/106 relating to a development application for No. 22-24 Junction Street. City of Sydney Archives.

⁶⁴ DA 1961/404. City of Sydney Archives.

⁶⁵ DA Application No. 1954/106. City of Sydney Archives.

⁶⁶ Certificate of Title Volume 11519 Folio 4. NSW LPI.

The site was conveyed to the Local Government Superannuation Board on 15 July 1982.⁶⁷ The title has not been investigated beyond this point.

2.10 Sub Area 5

The following relates to that part of the site outlined in red in Figure 27.



Figure 27: Sub Area 5
SIX Maps; annotation by WP Heritage.

This part of the site was brought under the provisions of the *Real Property Act* in 1880. The Schedule attached to the application indicates that the land, comprising 26 perches and part of Lot 5 Section 4 of the Forest Lodge Estate, was conveyed by G.W. Allen to Maria Caldwell, wife of William Caldwell, on 17 June, 1880.⁶⁸ When Maria brought the property under the Provisions of the *Real Property Act* in 1880, the land was valued at £200.⁶⁹

William Caldwell is first listed in Junction Street in the *Sands' Directory* of 1879. The Rate Record for the year commencing 1880 confirms that there was a house on this land at this time. Later directories identify him as a commission agent. William Caldwell and later Maria Caldwell continued to be listed on this site until at least 1915. Figure 28 reproduces a survey on this part of the site prepared in 1880 at the time that the Primary Application was made.

⁶⁷ Certificate of Title Volume 11519 Folio 4. NSW LPI.

⁶⁸ Schedule attached to Primary Application No. 5047. NSW LPI.

⁶⁹ *Ibid.*

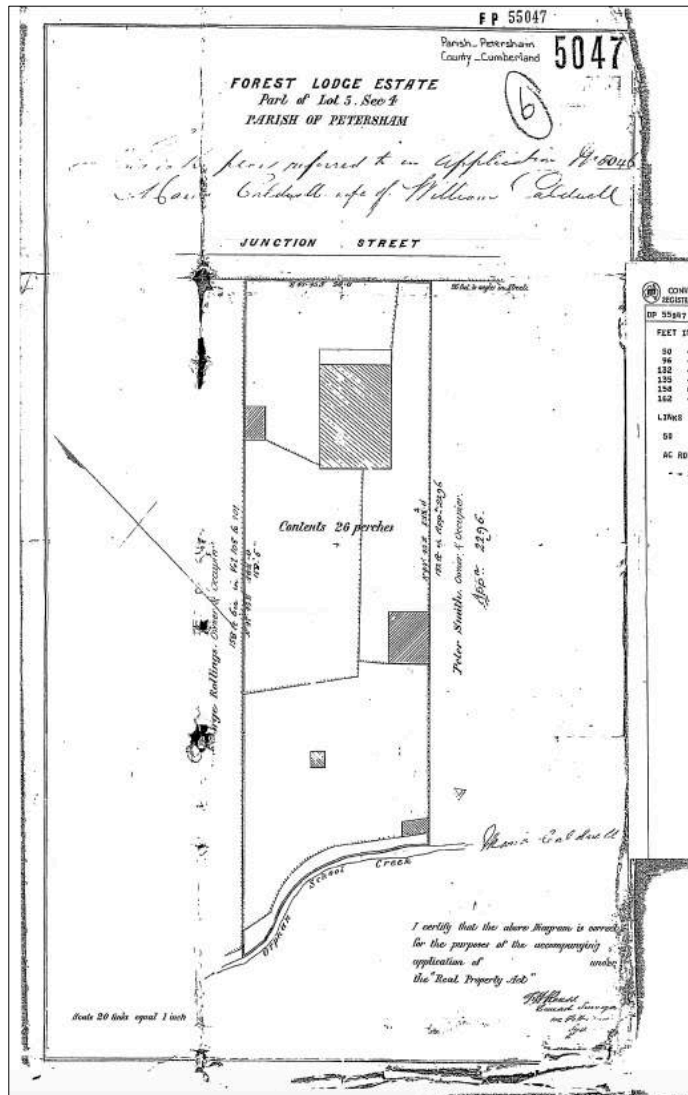
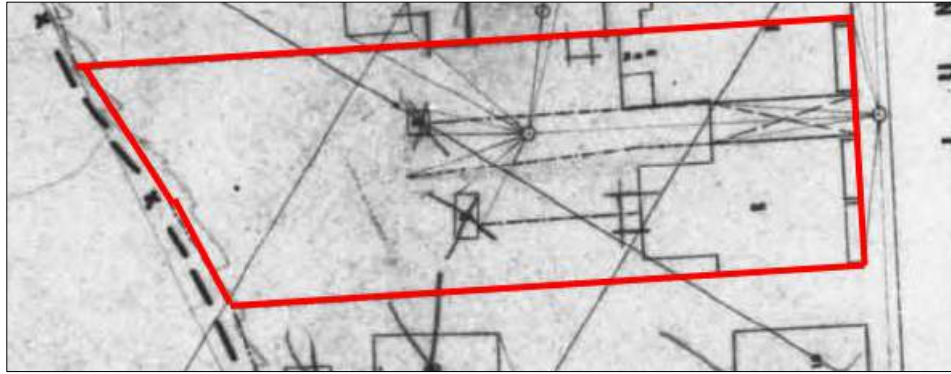


Figure 28: F.H. Reuss, Forest Lodge Estate Part of Lot 5 Section 4 Parish of Petersham, 1880.
NSW LPI D.P. 5047.

Caldwell evidently replaced the building shown by Figure 29. The Rate Record for 1889 lists three houses owned by the Caldwells on their land, identified as Nos. 14, 16 and 18 Junction Street. Figure 29 provides a detail from the 1889 survey showing these three houses. The buildings are identified as being of brick construction. The rate record for this year describes each property as comprising 'house and stables.' Note what appears to be a covered cart way between what became Nos. 16 and 18 Junction Street.



**Figure 29: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889.*
Detail only.**

Sydney Water Archives, PWDS1544-S361.

Various people occupied the dwellings on this part of the site as tenants of the Caldwells. Richard Martin, cab proprietor, occupied No. 14 from at least 1890 through to 1905. John Harriot occupied No. 16 from at least 1900 through to 1912; William Caldwell occupied No. 18. The Rate Record for 1901 continues to describe each property as comprising a house and stables.

Maria Caldwell conveyed the property to Walter Henry Gors, gentleman, on 2 June, 1913.⁷⁰ Over the following years, ownership of the property changed on several occasions as follows:

- Justin McSweeney, contractor, 23 November, 1914.
- Albert Hassall Cooper, grazier, 14 October, 1918.
- Janet Cooper, widow, by transmission, 22 August, 1922.
- Clarence Alexander Sherriff, grocer (and his bankrupt estate), 16 April, 1923.
- Robert Anderson, estate agent; Eadith, Minnie and Sabina Anderson, spinsters, 22 August, 1928.⁷¹

None of these owners occupied the site; the buildings continued to be tenanted. The Housing Improvement Board survey plan of 1939, Figure 30, shows a similar footprint for the three dwellings on the site to the 1889 survey, with a large outbuilding running across the rear of the three lots.

⁷⁰ Certificate of Title Volume 514 Folio 206. NSW LPI.

⁷¹ Transfers attached to Certificate of Title Volume 514 Folio 206 and Volume 3353 Folio 223. NSW LPI.

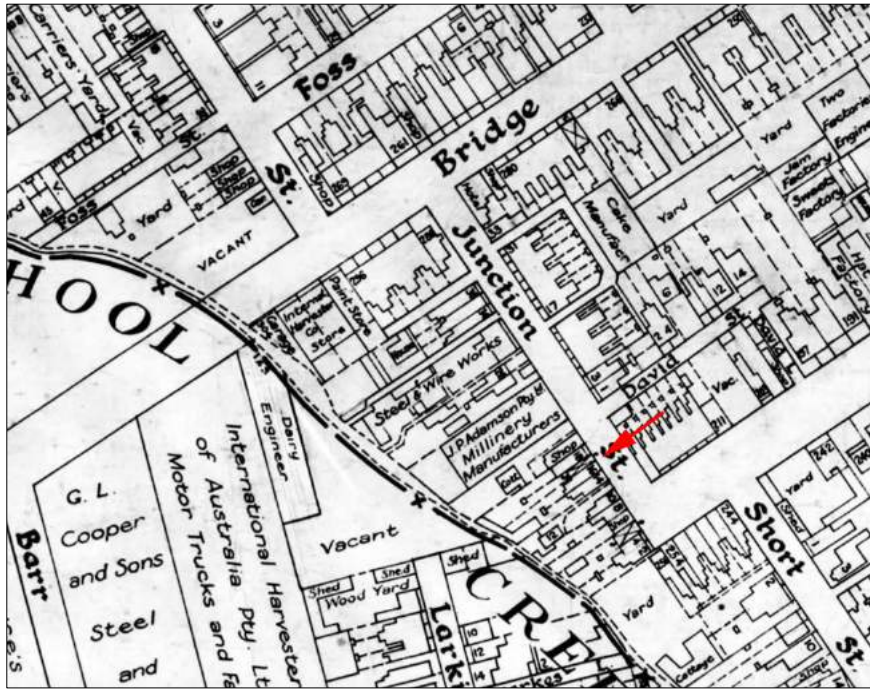


Figure 30: Housing Improvement Board of NSW, *Municipality of Glebe Detail Map, 1939 (Detail only)*.
City of Sydney Archives.

There is no evidence of the brick building that now stands on this site in the 1939 survey above or in the 1943 aerial photograph, Figure 31, below.

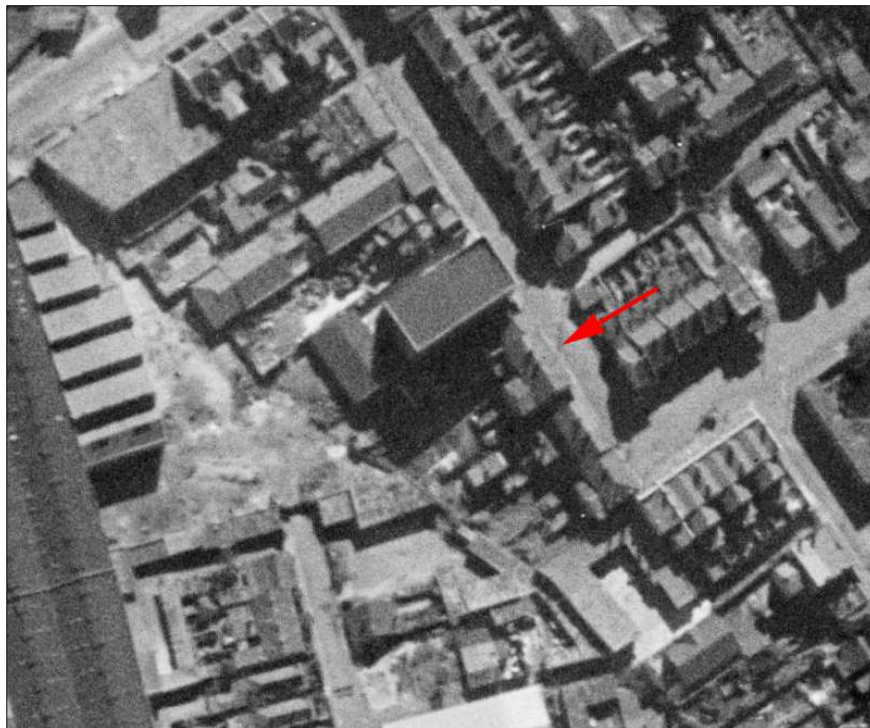


Figure 31: NSW Lands Department, *(Aerial Photograph over Forest Lodge), 1943*.
SIX Maps.

On 17 January, 1947, the property was transferred to Alexander Gordon Campbell, company manager. Just over three years later, on 1 May, 1951, the property was transferred to A.G. Campbell Pty Ltd.⁷²

In 1962, the existing dwellings at Nos. 14, 16, 18 and 20 Junction Street, were dismantled, with Council permission, for use as a car park.⁷³

The existing building on the site is likely to have been constructed in the 1950s-1960s. The building appears to have been partially erected from recycled materials. No Council records relating to its construction have been located.

This part of the site was conveyed to the Local Government Superannuation Board on 15 July 1982.⁷⁴ The title has not been investigated beyond this point.

2.11 Sub Area 7

No land title search has been carried out on this part of the site, which is defined by Figure 32.



Figure 32: Sub Area 5.

SIX Maps; annotation by WP Heritage.

Rate Records indicate that, by 1880, there were several houses and one shop-residence on this part of the site. By 1899, what were then Nos. 2, 4 and 6 Junction Street were owned by Lydia Woodford. Nos. 2 and 4 were described as houses and No. 6 as a shop-residence. Woodford did not occupy any of these dwellings. The street numbers on this part of the site have remained unchanged.

By the late 1890s, Nos. 8, 10 and 12 Junction Street were owned by Peter Smith, who occupied No. 10; various other Smiths, presumably relatives, occupied the other dwellings. The survey of 1899, Figure 33, shows that the buildings fronting the street

⁷² Transfers attached to Certificate of Title Volume 4212 Folios 181 to 184 inclusive, Volume 5736 Folio 22; Volume 11519 Folio 4. NSW LPI.

⁷³ Information obtained from DA Record 1954/106 relating to a development application for No. 22-24 Junction Street. City of Sydney Archives.

⁷⁴ Certificate of Title Volume 11519 Folio 4. NSW LPI.

were all of brick construction. The outbuilding behind No. 10 was of brick construction; the outbuilding behind No. 6 was of stone construction. The plan does not show if the stone retaining wall along this boundary had been erected by this time.

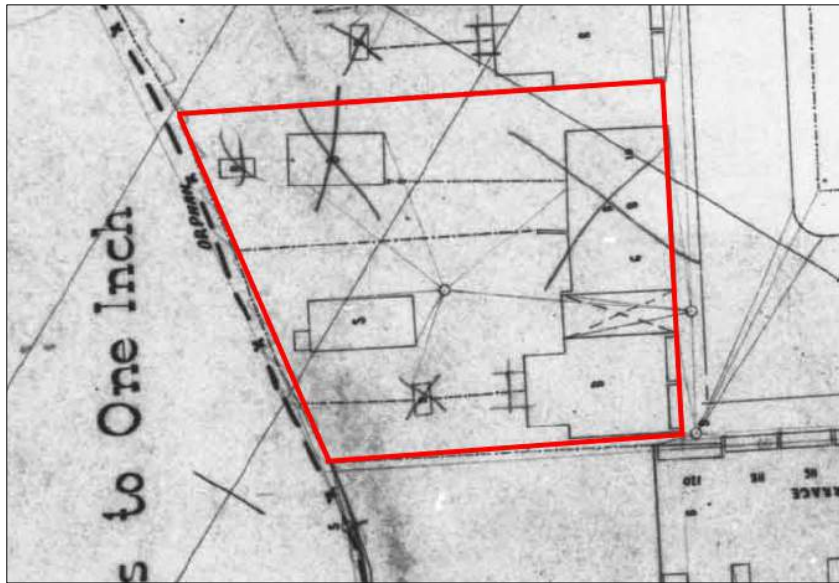


Figure 33: J.F. Truscott, *Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only.*

Sydney Water Archives, PWDS1544-S361.

Sands' Directories indicate that No. 6 continued to be used as a shop-residence until at least 1932-3; it is marked as a 'shop' in the 1939 survey of Glebe.⁷⁵ *Sands' Directories* indicate that it was a grocer's shop from at least 1895 until at least 1932-3. Little change is evident from the 1889 survey and the aerial photograph of 1943 (Figure 34).



Figure 34: NSW Lands Department, *(Aerial Photograph over Forest Lodge), 1943.*

SIX Maps.

⁷⁵ Housing Improvement Board of NSW, *Municipality of Glebe Detail Map, 1939* (Detail only). City of Sydney Archives.

Council records show that, by 1968, Nos. 8-12 Junction Street were being used by Lawson Brothers Carriers as part of their depot at Nos. 2-10 Larkin Street. No. 12 was described as being the site of a demolished dwelling; Nos. 8 and 10 were described as two 'old' storey brick terrace houses, currently being used for storage and garaging.⁷⁶ Council records do not indicate when the dwellings were finally demolished.

2.12 Sub Area 8

As shown by Figure 35, this area comprises only a small part of the site. The Orphan School Creek formed the boundary of the Camperdown Estate, being the grant originally made to William Bligh on 10 August, 1806. This part of the site was first subdivided as part of Lot 24 of the Camperdown Estate in the 1840s. The primary frontage of Lot 24 was to Larkin Street. This land has a complex history of ownership; it was not brought under the provisions of the *Real Property Act* until 1945 by A.G. Campbell, acting for A.G. Campbell Pty Ltd, at which time it was described as vacant land.



Figure 35: Sub Area 5.
SIX Maps; annotation by WP Heritage.

2.13 Recent Whole Site History

In 1997, Robertson and Marks made an application to Leichhardt Council for the construction of 15 warehouse units at No. 2-32 Junction Street (i.e. the entire site) and the use of the former hat factory as offices.⁷⁷ Figure 36 reproduces a detail of the elevation of the former hat factory provided as part of this application. If accurate, it provides evidence that the changes made to this elevation since this time are recent in date. Although approved, the work did not proceed.

⁷⁶ DA 1968/623. City of Sydney Archives.

⁷⁷ DA 59/97. City of Sydney Archives.



Figure 36:
Robertson & Marks
Architects, Warehouse
Development, 32
Junction Street,
Camperdown,
Elevations and
Sections, dated 20
November 1996 (GA-
04 A).
 City of Sydney
 Archives, DA 59/97.

3.0 SITE ASSESSMENT

3.1 The Site

The following should be read in conjunction with the site aerial photograph, Figure 1.

The site is irregular in shape and approximately 4,824 sqm in size. The principal frontage to the site is to Junction Street (eastern boundary). The site also fronts Kimber Lane (northern boundary). There is a gentle slope across the site to the south west.

There is a sandstone block retaining wall, comprising blocks of irregular sizes, along the southern part of the eastern boundary fronting Junction Street. This wall is approximately 1.8m in height at the southern end, falling to ground level towards the midpoint of the boundary.

Fencing types varies around the site:

- There is a high face brick wall along the southern boundary.
- There is a metal framed and wire fence above the sandstone retaining wall along the southern part of the eastern (Junction Street) boundary. This fence ends where it meets a short section of modern metal palisade fencing, with matching gates, marking the southern-most entrance to the site.
- There is a second entrance into the site from Junction Street north of the former factory building. This entrance has metal framed gates with wire infill. North of this entrance, continuing to the northern boundary, there is a metal framed and wire fence.
- There is a dilapidated metal post and wire fence along the northern boundary.
- There is a modern metal palisade fence along the western boundary.

As demonstrated by the aerial photograph, Figure 1, there is very limited planting on the site.

There are two buildings on the site, the location of which is shown by Figure 1. Building 1 (being the former hat factory) lies on the eastern boundary towards the centre of the site; Building 2 is located to the south of Building 1 and has a deep-set back into the site. The remainder of the site is bitumen surfaced and used for car

parking. As detailed in the separate archaeological assessment (Appendix 1), there are sandstone retaining walls, brick footings of former buildings, sandstone garden beds, and a sandstone drain along the southern extent of the site within the site area.

Figures 37 to 43 illustrate the character of the site. Refer also to the photographs in the following sections and to the photographs in the archaeological report, which detail brick footings and a sandstone drain along the southern boundary.



Figure 37:
Looking south across
the car park on the
southern part of the
site.



Figure 38:
The carpark on the
northern part of the
site.



Figure 39:
The southern-most entrance off Junction Street, showing the sandstone retaining wall that allows for the fall in the site. Also showing the northern most extent of the stone wall along the eastern boundary.



Figure 40:
Section of the sandstone retaining wall along the eastern (Junction Street) boundary.



Figure 41:
Section of the sandstone retaining wall along the eastern boundary.



Figure 42:
The southern end of the wall along the eastern boundary, where it meets the brick wall running along the southern boundary.



Figure 43:
Remnant stone work close to Building 2.

3.2 The Buildings

3.2.1 Building 1

Building 1 is the former Federation period hat factory, with a later rear addition. The building is free standing and three storeys in height.

3.2.1.1 Original Building

Exterior

The original building is constructed of face brick loadbearing walls. The roof slopes towards the rear, behind a low front parapet, and is clad in corrugated metal.

The **principle elevation** is the eastern elevation, addressing Junction Street. This elevation, illustrated by Figure 44, is constructed of common brick laid in English bond. The window sills at first and second floor levels, the brick arches above openings (with one exception) and the brick string courses marking floor levels are in contrasting red brick.

There are four differently sized flat arched openings at ground floor level fitted with metal framed doors or windows. The metal frames are inset into the openings. The southern-most opening is the largest. The door set in this opening is further inset than the others at this level. This is the only opening where the brick arch of the opening is constructed in common bricks, as opposed to red brick. The two windows at this level have sloping concrete capped sills.

First floor level is marked by a shallow projecting stringcourse comprised of three rows of red bricks. At first floor level, there are regularly spaced openings of two different sizes fitted with metal framed windows. These windows have red brick sills constructed of 'special' or 'moulded' bricks and red bricks above the window arch.

Second floor level and second floor ceiling height are marked by five-row corbelled red brick stringcourses. The window openings at second floor level align with the window openings of the level below. The window frame, sill and brick fan details similarly match those of the first floor level.

There is clear evidence that the elevation originally extended further northwards at ground floor level. Refer to Figure 45.



Figure 44:
Front (eastern)
elevation.



Figure 45:
Evidence of alteration to the eastern elevation. The moulded corner bricks suggest an opening in the removed wall.

The **northern elevation** is constructed of common brick laid in stretcher bond. Figures 46 to 48 illustrate this elevation. There is a later (c.1970s-1980s) single storey brick extension attached to the eastern end of this elevation and set back from the eastern elevation. Refer to Figure 45 above and Figure 49 below. The brickwork of the main building behind this addition and above it at first floor level has been rendered.

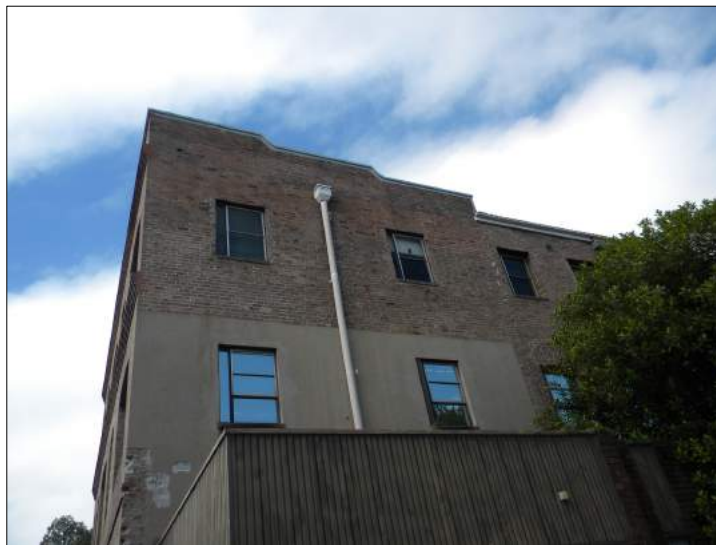
There is clear evidence that the pattern of openings in this elevation has been altered over time. As illustrated by Figures 46 and 47, the existing pattern of openings is regular. Windows are fixed metal framed windows or metal framed double hung windows. With the exception of the windows within the section of rendered wall, windows have brick sills. The windows in the rendered section have rendered sills. Note the stepped parapet at the eastern end of the elevation.



Figure 46: The eastern end of the northern elevation.



Figure 47: Western end of the northern elevation.



**Figure 48:
Detail of the eastern
end of the northern
elevation.**



Figure 49:
Later extension on the
northern side of the
building.

The **southern elevation** has been sheeted over in corrugated metal sheeting. Where the slope of the site increases, the lower ground floor level is of painted brick. There are openings fitted with louvres/grills at this level. As illustrated by Figure 50, the openings in this elevation are arranged in two groups. Windows are fixed metal framed windows or metal framed double hung sash windows.



Figure 50: The southern elevation.

The western, **rear wall**, of the original building is concealed by the later addition. Where the addition is set in on the southern side, the rear wall of the original building is visible and clad in metal sheeting. Refer to Figure 51.



Figure 51: The western elevation of the original building where it abuts the later addition.

Interior

No existing floor plans of the building have been made available.

The fit-out of the ground and first floor levels of this part of the building is contemporary in style. There are modern partitions at ground and first floor levels and modern staircases connecting the two levels, including the fire-stair on the southern side. Of particular note, is clear evidence of the original structure of the building including:

- Timber posts with stop chamfered edges.
- Timber bearers into which the posts are fitted.
- Narrower timber joists set into the floor bearers and supported by herringbone struts.
- Narrow timber floor boards to levels 1 and 2. The ground floor is of concrete.

Figures 52 and 53 illustrate the ground floor, where the structure is most exposed.

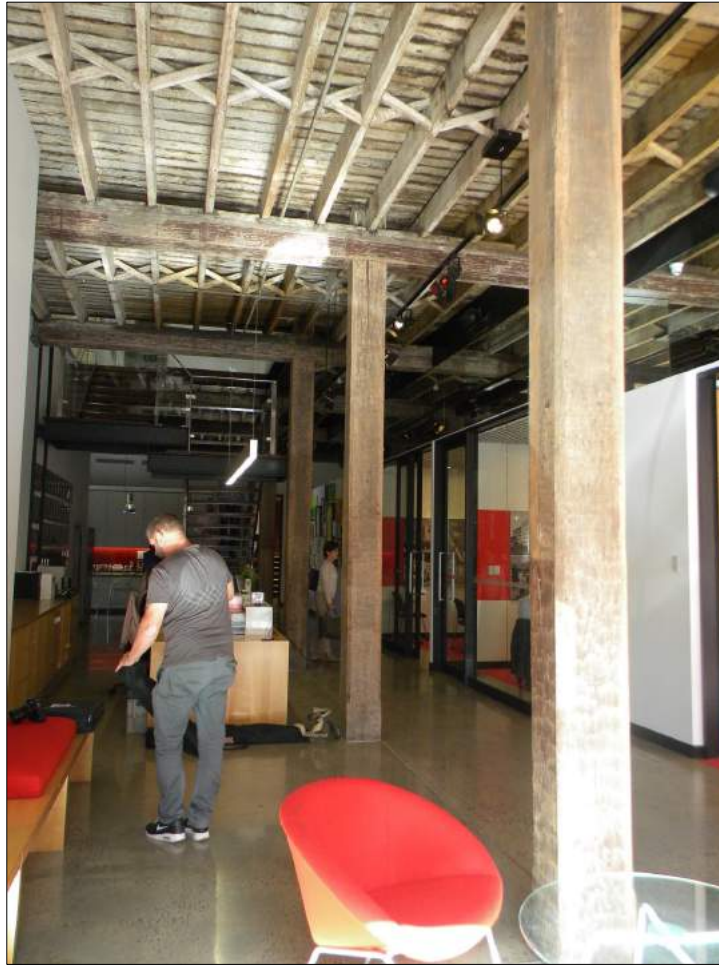
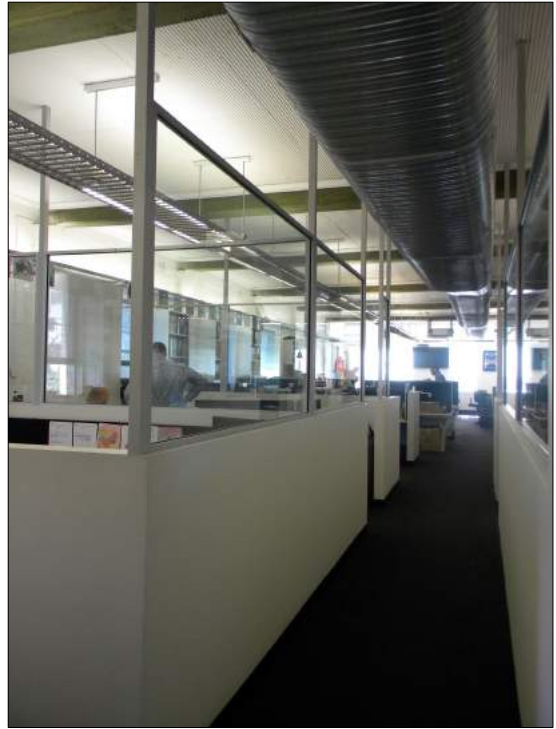


Figure 52:
Ground floor,
showing the polished
concrete floor, posts,
bearers, joists, floor
boards and cross
bracing.



Figure 53:
Detail of the first floor
structure.

At first floor level, the floorboards are concealed by carpet and other finishes. The exterior walls are of painted brick. There are modern partitions. The ceiling, between the bearers, is lined with metal sheet with an approximate one inch corrugation. Figures 54 to 60 illustrate this level.



Figures 54 and 55: First floor interiors, showing partitioning and exposed bearers with corrugated steel lined ceilings.



Figure 56:
One of the timber posts at first floor level.



Figure 57:
Detail of a wall vent set
in the exterior wall.



Figure 58:
Detail of the corrugated
metal sheet ceiling with
simple cornice detail
against the beam.

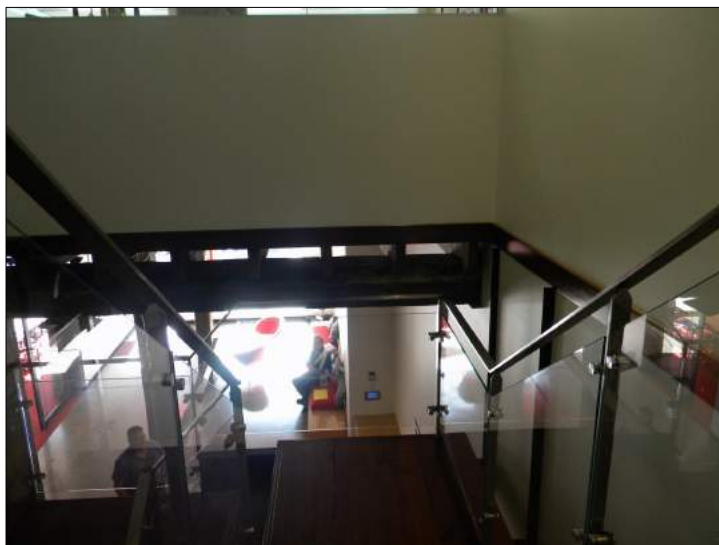


Figure 59:
New timber and glass
staircase leading from the
entrance lobby to the first
floor.



Figure 60:
Fire stairs on the southern side of the building.

At second floor level, the timber floor, posts and roof structure are concealed by modern finishes. Exterior walls are of painted brick. There are modern partitions and a drop-in panel ceiling. Where ceiling tiles have been removed, a timber lined ceiling (two different profiles) is visible. Refer to Figures 61 to 64.

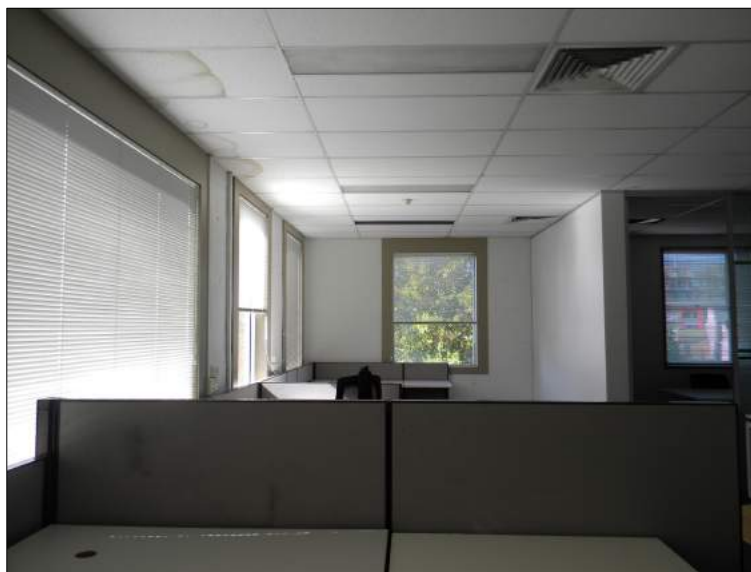


Figure 61:
Showing the character of the fit out at second floor level.

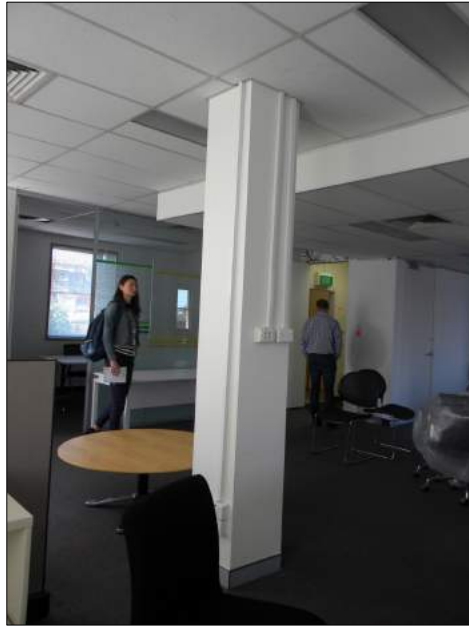


Figure 62:
The original posts have been clad.



Figure 63:
Timber lining boards
above the false ceiling.

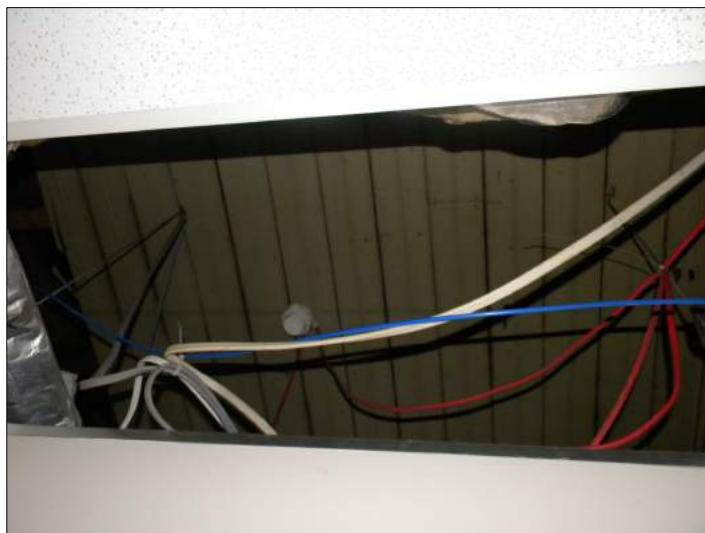


Figure 64:
Timber lining boards
above the false ceiling,
showing a different
profile from Figure 60.

3.2.1.2 Later Addition

Exterior

The later addition on the western side of the original building is three storeys in height and has a flat roof. The fall of the site means that it lies below the height of the original building. Ground floor level of the original building corresponds to first floor level of the addition. Plant equipment is mounted on the roof close to the original building, where it is protected by a metal awning.

As illustrated by Figures 65 to 67, the addition is constructed of dark face brick with white rendered frame work. The first and second floor levels overhang to the rear. Windows are arranged in bands and are fixed or double hung metal framed windows. The band of windows at first floor level on the northern side have white projecting hoods. The building has lined eaves and wide metal-clad fascias.



Figure 65:
The northern elevation
of the addition.



Figure 66:
The cantilever on the
western side.



Figure 67:
The southern elevation of the addition.

Interior

The interior fit out is consistent with a c.1970s-1980s fit out, with later alterations. Figures 68 illustrates a typical interior within the addition.



Figure 68:
Typical interior within the addition.

3.2.2 Building 2

3.2.2.1 Exterior

Building 2 is a free standing, single storey, framed building with brick and weatherboard clad walls and a pitched roof clad in corrugated asbestos sheeting. The roof has small roof lights. Documentary evidence shows that this building was erected in the Post World War II period. It would appear to have been constructed, at least in part, with recycled materials.

The **eastern elevation** is gabled ended. The lower part of the wall is constructed of painted brickwork laid in stretcher bonding. The gable is clad in corrugated asbestos sheeting with a matching fascia. There are three irregularly spaced and sized openings in the brick wall, fitted with metal framed windows and security bars. Figure 69 illustrates this elevation.



Figure 69:
Eastern elevation
of Building 2.

The **northern elevation** is constructed of face brickwork. There is a header row between every five rows of stretcher bonding. The vertical posts of the frame work are visible. There are no openings in this elevation. Refer to Figure 70.



Figure 70:
The northern
elevation of
Building 2.

The **southern elevation** is constructed of face brickwork. The bond pattern is more irregular than for the northern elevation. There are three, irregularly size and spaced openings in this elevation, fitted with metal framed windows and security bars. Refer to Figure 71. There is clear evidence that the wall once continued to the east (refer to Figure 69 above and Figure 71 below).



Figure 71:
The southern
elevation of
Building 2.

The **western elevation** is clad in wide weatherboards. There is a large opening fitted with a roller door and a smaller opening fitted with a timber door. Refer to Figure 72.



Figure 72:
The western
elevation of
Building 2.

3.2.2.2 Interior

There is no available floor plan for this building. The floor is of concrete. The walls and ceiling are lined with plasterboard (or equivalent). There is a simple cove cornice. Figures 73 to 75 illustrate the interior of this building.



Figure 73:
Looking towards
the roller door in
the western
elevation.



Figure 74: Evidence of removed partition walls.
Figure 75: Openings with metal caging.



3.3 The Surrounding Area

3.3.1 The General Area

For the following refer to Figure 76, an aerial photograph over the site and the surrounding area.



Figure 76: Aerial photograph over the site and the surrounding area.
NSW Lands Department, 2016.

The site is located within the Hereford and Forest Lodge Conservation Area as it is defined by Schedule 5 Part 2 of the *Sydney LEP 2012*. The State Heritage Inventory describes this Conservation Area as follows:

‘The area has undulating topography, sloping steeply to Orphans Creek in the west and Minogue Crescent in the north. The precinct is bounded by the Teeth Estate to the north, Bishopthorpe Estate and Parramatta Road to the south, Orphans Creek to the west and Glebe Point Road to the east.

The precinct is bisected by Bridge Road and Ross Street, both major traffic thoroughfares. The area has a dense pattern of narrow streets, which align with the Glebe Point Road, and generally disregards the topography.

Redevelopment of the former Children’s Hospital dominates the south - western corner. There are relatively few street trees, with exception of a notable avenue of Water Gums in Woolley Road. The interface with the former Children’s Hospital site has been landscaped.

The irregular grid pattern of streets and irregular subdivisions result in a less consistent housing stock than surrounding precincts. Predominantly two storey terrace housing on relatively small allotments, the area also includes single storey cottages and terraces,

grand three storey terraces and fine villas on Bridge Road such as Reussdale. Building setbacks vary greatly, from immediately adjacent to the boundary to 10 metre setbacks, some containing established front gardens.

Enhancing the character of the area are a number of significant institutional/civic buildings. These include the St. James' Group comprising the Church, Presbytery, School and Hall. In St John's Road there is the St John's Village (retirement home), Glebe Fire Station, Glebe Town Hall and the former Rehboth Primitive Methodist Church and Hall. In Bridge Road there is the former Glebe Presbyterian Church and Forest Lodge Public School whilst in Ross Street there is the Salvation Army Hall.

Near Glebe Town Hall, in St John's Road and returning into Ross Street is a small commercial strip which includes a number of Federation era buildings with early shopfronts, and the Victorian Regency style Nag's Head Hotel.

There are several large amalgamated allotments which reflect the layer of industrial development that occurred in the early 20th century.

Many of these have been redeveloped as residential sites in recent times.

The following significant public domain features are located within the Conservation Area:

Street Tree Plantings: Woolley Road, Water Gums

Public Park: Kirsova Playground

Public Park: St James Park

Night Soil Lanes: Off Reuss Street

Night Soil Lanes: Off St Johns Road

Sandstone Stairs: Arundel Street

Orphan Creek: Forest Lodge western boundary

Monument: Foley Park

Public Stairs: Arundel Street

Public Stairs: Great Western Highway

Public Stairs: Kerridge Place

Vent shaft M.W.S. & D.B: York Street. ⁷⁸

3.3.2 To the East: Junction Street

Junction Street runs north-north-west from St. Johns Road towards Bridge Street. The street rises gently in this direction and carries traffic in either direction. There is remnant stone kerbing to the street, including in front of the subject site. There are footpaths to either side of the street and irregularly spaced street trees.

The eastern side of the street is lined with substantially intact two storey Victorian period terrace rows. North of the subject site, on the opposite side of Kimber Lane, lie three Federation period semi-detached single storey dwellings, being Nos. 34-38 Junction Street. Continuing north, lies a substantial attached Victorian period building on the corner with Bridge Road.

⁷⁸ *Hereford and Forest Lodge Heritage Conservation Area, Glebe.* State Heritage Inventory Database No.: 2427756.

The new residential flat developments that lie to the west of the site, described below, are clearly visible from Junction Street.

3.3.3 To the North

To the north of the site lies Kimber Lane. The lane is a narrow cul-de-sac that falls gently to the west. It is not kerbed and guttered. The northern side of the eastern end of the lane is formed by the side wall of No. 34 Junction Street, the end terrace in the row of Federation period terraced noted above. No. 1 Kimber Lane lies to the rear of No. 34 Junction Street. There is a single storey light industrial building on this site.

3.3.4 To the South

To the south of the site lies No. 2A Short Street, a townhouse complex, largely screened from the site brick walls and by vegetation, and No. 256 St. Johns Road, the end terrace in a row of two storey Victorian period terraces.

3.3.5 To the West

To the west of the site, behind the former line of the Orphan School Creek, lies Larkin Street Park, Camperdown. The park comprises lawn, paths and planting. The five/seven storey-plus residential flat buildings that line the western side of Larkin Street are clearly visible across the site.

Figure 77 to 84 illustrate the immediate setting of the site. Refer also to the photographs in Section 4.5 below.



Figure 77:
Junction
Street,
opposite the
site.



Figure 78:
Junction Street,
opposite the site.



Figure 79:
No. 34-38 Junction
Street, north of the
site.



Figure 80:
Looking across the
site towards Kimber
Lane and the side
elevation of No. 34
Junction Street.



Figure 81:
Looking south of the site towards the townhouses at No. 2A Short Street.



Figure 82:
Looking south west of the site towards the Larkin Street Park and light industrial building, No. 12-14 Larking Street. The modern residential flat buildings in Larkin Street and beyond are clearly visible.



Figure 83:
Looking west through the site towards the residential flat buildings in Larkin Street and beyond.



Figure 84:
Looking west of the
site at the northern
end.

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 Summary of Existing Citations and Listings for the Site

4.1.1 Statutory Listings

No. 2-32 Junction Street, Forest Lodge is subject to the following statutory heritage listings:

- The site is located within the Hereford and Forest Lodge Heritage Conservation Area as defined by Schedule 5 Part 2 of the *Sydney LEP 2012* (C33). As demonstrated by Figure 82 below, the site lies on the edge of the Conservation Area.

The site is:

- Not listed on the State Heritage Register under the auspices of the *NSW Heritage Act 1977*.
- The site is not listed as a heritage item by Schedule 5 Part 1 of the *Sydney LEP 2012*.

The State Heritage Inventory provides the following statement of significance for the Conservation Area:

'Hereford and Forest Lodge Conservation Area has historic significance for its rare surviving early residential development Swiss Cottages (c. 1842) and Glenwood (c. 1837). The area possesses the ability to evidence early villa estates; Hereford (c. 1829), Rosebank (c. 1832) and Forest Lodge (c. 1836) and their incremental subdivision.

The conservation area is also of historic significance for a number of important civic and institutional buildings such as St James' Church and School, Forest Lodge Public School, Glebe Fire Station and Glebe Town Hall. Considerable social significance arises out of the presence and use of these buildings for over 100 years. The Town Hall also provides evidence of the incorporation of the Municipality of Glebe in 1859.

Hereford and Forest Lodge Conservation Area has aesthetic significance for its ability to illustrate various periods of development and architectural styles and building types (some of a very early date), and its landscape qualities. Residential development, encouraged by the tram extension in Hereford/ Forest Lodge, reflects the varied character of historic subdivisions, divided by the historic and aesthetically important Bridge Road. The predominant Victorian character is supported by several other important historic layers. The diverse social mix that is reflected in the building stock and inherent to the character of the suburb.

The area contains a number of aesthetically significant and prominent buildings such as the Glebe Town Hall, Glebe Fire Station, St James' Church, the former Glebe Presbyterian Church as well as a number of villas particularly in Bridge Road such as Reussdale.

The area has rarity value for the survival of early pre 1860s residential development so close to the city centre.⁷⁹

Junction Street is ranked 'B' in terms of integrity by the listing sheet.

4.1.2 Non-Statutory Listings and Heritage Studies

No. 2-32 Junction Street, Forest Lodge:

- Is not listed on the Register of the National Estate.
- Is not listed on the National Trust of Australia (NSW) Register.
- Is identified as 'detracting' within the Conservation Area by the Contributions Plan in the *Sydney DCP 2012*. See Figure 86 below.

4.2 Heritage Items in the Vicinity of the Site

4.2.1 Heritage Act 1977

There are no heritage items listed on the State Heritage Register, under the auspices of the *NSW Heritage Act 1977*, in the vicinity of the site.

4.2.2 Sydney LEP 2012

Figure 85 provides a detail of the *Sydney LEP 2012* heritage plan. In this plan, heritage items are coloured brown and numbered. Conservation Areas are hatched in red and numbered. The site is outlined in blue.

⁷⁹ *Hereford and Forest Lodge Heritage Conservation Area, Glebe*. State Heritage Inventory Database No.: 2427756.

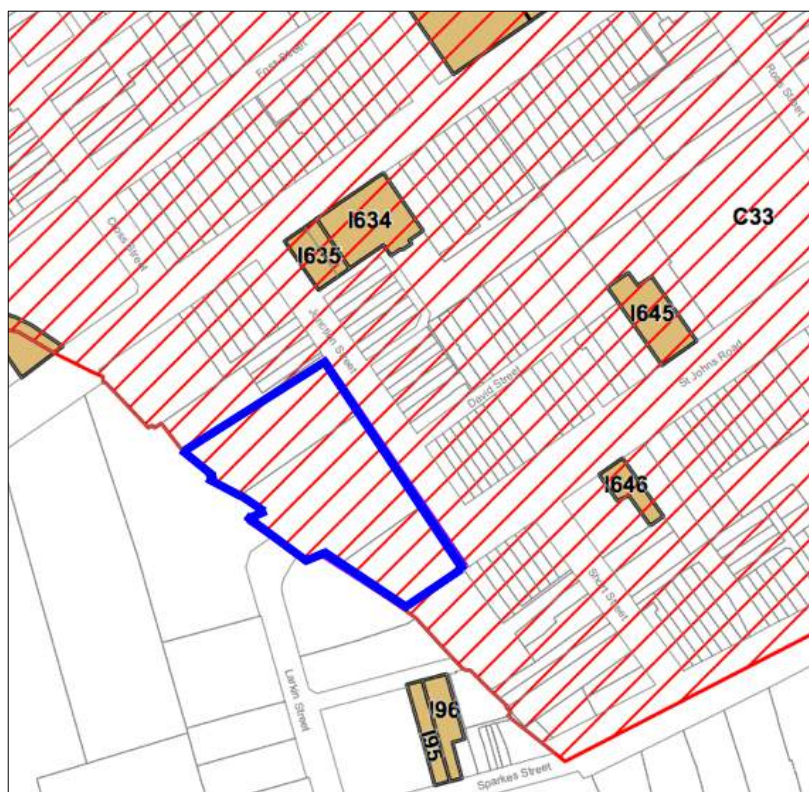


Figure 85: Detail of the Sydney LEP 2012 Heritage Plan.
Sydney LEP 2012.

Under Schedule 5 Part 1: Heritage Items

There are no heritage items directly adjoining the site. The closest heritage items to the site are:

- *Bridge Hotel and terrace group including interiors, No. 282-284 Bridge Street, Forest Lodge. I635.*
- *Terrace group "Magnolia Terrace" including interiors and front fencing, No. 272-280 Bridge Road, Forest Lodge. I634.*
- *House, including interior, No. 242 St. Johns Road, Forest Lodge. I646.*
- *Terrace House, including interior, No. 12 Sparkes Street, Camperdown. I96.*
- *Terrace House, including interior, No. 14 Sparkes Street, Camperdown. I95.*

Under Schedule 5 Part 2: Conservation Areas

There are no other conservation areas within the immediate vicinity of the site. As noted above, this site is located along part of the western boundary of the Hereford and Forest Lodge Conservation Area.

Contribution According to the Sydney DCP 2012

As identified above, the site is identified as detracting within the conservation area by the Contributions Plan in the *Sydney DCP 2012*. Figure 86 demonstrates that the remainder of Junction Street is ranked as 'contributory' to the Conservation Area. In Figure 86 contributory items are dark yellow, neutral items are light yellow and detracting items are brown. The site is outlined in blue.



Figure 86: Detail of the Contributions Plan for this part of the City of Sydney
Sydney DCP 2012.

4.3 Integrity

4.3.1 The Site in General

The site boundaries are relatively recent in date. Prior to World War II, this site comprised numerous individual lots. Past lot patterns on this site are no longer apparent outside of documentary records.

The date of the stone retaining wall along part of the eastern boundary is unknown. It may date from the 1870s-1880s when the first buildings were erected on these lots.

The pattern of buildings on the site has changed considerably over time as new buildings were erected and others demolished. Given the extent of demolition that has occurred on this site since the 1960s, there is little surviving understanding of earlier patterns of building on this site outside of historic records.

For further information, refer to the archaeological report in Appendix 1.

4.3.2 Building 1

Exterior

Building 1 demonstrates a moderate level of external integrity. The basic form of the original building- three storey with sloping roof- remains. While the building remains readily identifiable as a Federation period industrial building, the following alterations are noted:

- Large openings have been cut into the rear wall for the construction of the c.1970s addition. This building, while not detracting from the ability to understand the form and detailing of the original building, has no architectural merit.

- There is evidence that brickwork has been removed from the northern end of the eastern elevation. What this brickwork was, is not clear. Moulded bricks indicate an opening.
- The pattern of openings in the front elevation at ground floor level appears to have been altered. Openings may have been cut down to ground level (see Figure 36 above). It is further noted that the largest opening at ground floor level (at the southern end) is the only opening without contrasting bricks above. It may be a later opening or has been rebuilt. The window and door frames in the front elevation are modern replacements. They are not sympathetic to the building.
- The southern elevation and what can be seen of the rear elevation of the original building have been clad in metal sheeting.
- The pattern of openings in the southern and northern elevations have been altered over time and windows replaced. The existing metal framed windows are not sympathetic to the building.

Interior

It would appear that the internal structure of the building- comprising timber posts, beams, joists and timber floors (except the ground floor)- is substantially intact.

There is no evidence of original partitioning.

There are no original staircases or evidence of the location of any machinery, such as hoists or the hand operated lift installed in 1934.

The date of the corrugated metal ceilings on the first floor is uncertain. Corrugated metal ceilings were available in the Federation period.

There would appear to be a timber ceiling above the existing ceiling at second floor level. Two profiles are visible. These ceilings may be original to the building.

4.3.3 Building 2

It is difficult to assess the integrity of Building 2 because it appears to have been partially constructed out of recycled materials. Alterations to opening are evident on the southern side. The southern wall may have extended further east at one stage in the building's history.

4.4 View Corridors

The subject site, or parts of it, are visible from Junction Street, from the western end of David Street, from the western end of St. Johns Road and from Larkin Street.

The focus of view corridors towards the site is the former hat factory. The massing and scale of the building relative to the adjoining one and two storey buildings, together with its nil front setback, make it visible on approach in either direction along Junction Street. View corridors on approach are raking views across the front elevation and of the altered side elevations. Closer to the site, view corridors also include the residential flat buildings to the west and the rear addition. The corner of the building is visible from the bottom of David Street.

Building 2 has less prominence in general view corridors towards the site because it is a small building with a deep setback.

Figures 87 to 90 illustrate view corridors towards the site.



Figure 87:
View towards the site
on approach along
Junction Street from
the south.



Figure 88:
View towards the site
on approach along
Junction Street from
the north.



Figure 89:
View towards the site
on approach along
Junction Street from
the north. Closer to
the site than Figure 85,
the full side elevation
is visible.



Figure 90:
View towards the site from the western
end of David Street.

4.5 Comparative Analysis

The following considers Building 1 only.

Factories and other industrial buildings, as a class of building, are well documented in the City of Sydney. According to the recent City of Sydney *Industrial and Buildings Warehouse Study*:

‘The NSW heritage database listings identify the large concentration and dominance of the State’s significant industrial resources located in the Sydney area.

Across New South Wales, a total of 146 warehouses, 89 factories, 14 woolstores, 72 substations and 35 other industrial buildings are identified in the NSW database as local heritage items. Nine warehouse, two factories, one woolstore, 13 substations and 11 other industrial buildings are also listed at the state level on the State Heritage Register as some of the most important heritage sites in NSW. Some industrial sites may be listed twice at both statutory levels.

Of these 292 listed industrial buildings and sites across New South Wales, 186 are located in the Sydney local government area. Warehouses are particularly concentrated in Sydney where 122 of the total of 146 locally listed warehouses are found.’⁸⁰

The above survey concludes with regard to the City of Sydney:

‘As a result of a comprehensive survey and assessment of over 470 industrial buildings, structures or complexes, 63 heritage items and 2 conservation areas are recommended for heritage listing. The 63 heritage items include 75 industrial properties containing approximately 99 industrial buildings or structures.

⁸⁰ City Plan Heritage, *op.cit.*, 2014, Volume 1, p.30.

The two conservation areas contain 36 further industrial buildings or sites.’⁸¹

Building 1 was not in an area that was focused upon by this study. The study mainly covered the western and southern areas of the City of Sydney, excluding the CBD, Ultimo/Pymont and the northern and eastern parts of the City. It identified potential heritage items, but did not review the contribution of industrial buildings in existing conservation areas.

Building 1 is typical of many industrial buildings of the late Victorian and Federation periods. Figures 91 to 99 below provide a number of examples from within the City of Sydney. These buildings are either listed as heritage items on Schedule 5 Part 1 of the *Sydney LEP 2012* and/or are contributory items within a Conservation Area listed by Schedule 5 Part 2 of the *LEP 2012*. As demonstrated, these buildings vary substantially in size from modest two storey buildings to large four storey warehouses. In common with these examples, Building 1 is constructed of load bearing brick walls around an internal structure comprising timber and/or metal members and timber floors. The degree of architectural detailing varies. Most warehouse buildings of this period express a strong regularity in the treatment of the front elevation. Building 1 also relies on brick stringcourses and a limited use of moulded and contrasting coloured brick to relieve the front elevation. In other examples, architectural detailing includes the division of the principal elevation into bays through the use of expressed columns, the use of render and/or sandstone and modulated parapets. When compared to the examples provided by Figures 91 to 99, Building 1 can be understood to be a comparably modest, simple and utilitarian building.



Figure 91:
Former McMurtrie, Kellermann & Co.
factory No. 181 Lawson Street, Darlington,
c.1883 and later. Listed by the *Sydney LEP*
2012.

Industrial and Buildings Warehouse Study.



Figure 92:
Former W.H. Gissing Factory, No. 197-207
Wilson Street, Newtown, c.1907. Listed by
the *Sydney LEP* 2012.

Industrial and Buildings Warehouse Study.

⁸¹ City Plan Heritage, *op.cit.*, 2014, Volume 1, p.33.



Figure 93:
Federation period warehouse at No.9-11
Layton Street, Camperdown.
Listed by the *Sydney LEP* 2012.
State Heritage Inventory.



Figure 94:
Former Edward Hill & Co. Factory, No. 268-
274 Devonshire Street, Surry Hills, c.1914.
Listed by the *Sydney LEP* 2012.
Industrial and Buildings Warehouse Study.



Figure 95:
Former Allington Stoveworks factory
including interiors, 13-15 Marshall Street,
Surry Hills, c.1884. Listed by the *Sydney*
***LEP* 2012.**
Industrial and Buildings Warehouse Study.



Figure 96:
Former Grace Brothers Furniture Repository, No. 1-
3 Ross Street, Forest Lodge, c.1913. Listed by the
***Sydney LEP* 2012 and contributory within the**
Hereford and Forest Lodge Conservation Area.
State Heritage Inventory.



Figure 97:
Small industrial building at No. 189 St. Johns Road, Federation/Interwar period. This building is contributory within the Hereford and Forest Lodge Conservation Area.
Google Maps.



Figure 98:
Greens Woolstore, 22 Bridge Road, Glebe. Listed by the *Sydney LEP 2012* and contributory within the Lydhurst Conservation Area.



Figure 99:
Former Federation period warehouse, No. 24 Lyndhurst Street, Glebe. Contributory within the Lyndhurst Conservation Area.
Google Maps.

4.6 Assessment Under NSW Heritage Division Criteria

The site is assessed for significance under the following criterion of the New South Wales Heritage Office, now Division. The following relates primarily to the buildings on the site. Where other aspects of the site have significance, they are noted under the appropriate criterion.

4.6.1 Criterion (a)

An item is important in the course, or pattern, of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

The mixed residential and industrial development that has occurred on this site over time is representative of the way in which some areas on the outskirts of the Glebe Municipality developed. This aspect of the site's history survives only in historic records.

Building 1 has local historic significance for the evidence it provides of the small-scale industries that were once located on the outskirts of the former Municipality of Glebe. Built in c.1900 for W.& A. McArthur as a straw hat factory, it was later occupied by Wilkinson & Adamson (later J.P. Adamson Ltd), who continued to manufacture hats. It is typical of the modest-sized clothing factory that thrived in the inner-city suburbs during the protectionist environment of the Federation and Interwar periods.

Building 2 has no significance under this criterion.

4.6.2 Criterion (b)

An item has strong or special association with the life or works of a person, or group of persons, of importance in New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Building 1 has minor significance under this criterion for its association with W. & A. McArthur Ltd, a large and well-known colonial mercantile house with widespread business interests. This association lies in historic records only. There is nothing in the fabric of the building that specifically demonstrates that it was erected for this company.

Building 2 has no significance under this criterion

4.6.3 Criterion (c)

An item is important in demonstrating aesthetic characteristics and/or a high degree of technical achievement in New South Wales (or the local area)

Although altered, Building 1 remains identifiable as a modest Federation period and style factory. The building demonstrates typical characteristics of the period including load bearing face brick walls and a timber framed structure. The building contributes to a streetscape that, with the exception of the subject site, is characterised by Victorian and Federation period terraces. This contribution is not fully realised because of the unsympathetic alterations that have been carried out to the building.

Building 2 has no significance under this criterion.

The stone wall along part of the eastern boundary has minor significance under this criterion.

4.6.4 Criterion (d)

An item has strong or special association with a particular community or cultural group in New South Wales (or the local area) for social, cultural or spiritual reasons

Social significance requires further study to ascertain the value of the site to the local community. This is outside of the scope for this assessment.

4.6.5 Criterion (e)

An item has potential to yield information that will contribute to an understanding of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Building 1 is not likely to yield information not already provided by other examples of this building type. It does, however, provide evidence of the industrial development that once stood on the outskirts of the Glebe Municipality during the Federation through to the Post World War II period.

Building 2 has no significance under this criterion.

A separate archaeological assessment has been prepared for the site as a whole. This report concludes that the site has:

- No potential for Aboriginal archaeological remains
- Nil-low potential for locally significant historical archaeological remains associated with the early land grants
- Nil-low potential for locally significant historical archaeological remains associated with Forest Lodge and early subdivisions
- Low-moderate potential for locally significant historical archaeological remains associated with 1880s residential and industrial development of the site
- Moderate-high potential for non-significant historical archaeological remains associated with the twentieth century development of the site
- High potential for non-significant historical archaeological remains associated with late twentieth century to present development of the site.⁸²

4.6.6 Criterion (f)

An item possesses uncommon, rare or endangered aspects of New South Wales' cultural or natural history (of the cultural or natural history of the local area)

The site is not significant under this criterion.

4.6.7 Criterion (g)

An item is important in demonstrating the principal characteristics of a class of New South Wales (or a class of the local areas):

- **Cultural or natural places; or**
- **Cultural or natural environments**

Building 1 is representative of a modest inner-city Federation period factory.

Building 2 has no significance under this criterion

⁸² See Appendix 1.

5.0 CONCLUSIONS AND RECOMMENDATIONS

5.1 With Regard to the Significance of the Site and its Contribution to the Conservation Area

5.1.1 Building 1

The original part of Building 1 meets the criterion for identification as a contributory building within the Conservation Area, where contributory buildings are defined as.

‘Contributory – contributory buildings contribute to the character and significance of the heritage conservation area. They have a reasonable to high degree of integrity and date from a key development period of significance of the heritage conservation area. They are either:

- buildings from a significant historical period and are highly or substantially intact;

or

- are from a significant historical period and are altered yet recognisable and reversible.’

The original part of Building 1 is contributory to the Conservation Area for the following reasons:

- It dates from a significant period of development within the area.
- Provides evidence of the modest manufactureries that operated on the outskirts of Glebe during the Federation and Interwar periods.
- Remains recognisable as being of its period and style. The unsympathetic doors and windows added to the exterior of the building are reversible.
- In terms of integrity, the building is comparable to other warehouse buildings of this period ranked as being contributory within a conservation area.

Recommendation:

It is recommended that the lot containing the former hat factory be ranked on the Contributions Plan as contributory in the Conservation Area.

5.1.2 Conservation Area Boundary

Junction Street should continue to form the boundary of the Hereford and Forest Lodge Heritage Conservation Area. The buildings on the eastern side of the street and the western side of the street north of Kimber Lane are substantially intact and are ranked as being ‘contributory’ in the Conservation Area. With the regrading of the former hat factory to contributory, as recommended above, all the Victorian and Federation period building stock in the street will be ranked as contributory.

While the higher density development west of Junction Street is visible from the street, it does not detract from the ability to understand to appreciate the qualities of the streetscape. A sensitive infill development on the site along the lines proposed in Council’s draft DCP amendment, will help mediate between the higher density of the area to the west of the Conservation Area and the remainder of the Conservation Area to the east.

Recommendation:

It is recommended that Junction Street continue to form the boundary of the Hereford and Forest Lodge Conservation Area.

5.2 With Regard to the Draft DCP Amendments

The following table comments on each aspect of the heritage controls suggested in 'Section 6.3.X.6 Heritage Conservation' of the *Draft DCP 2012: 2-32 Junction Street, Forest Lodge* dated September 2016.

DCP Control	Comment
(1) The existing warehouse building at 12 Junction Street to the extent of the stepped side parapet (approximately 10 metres from the building's front façade) must be retained and conserved. Alterations may be made to the remainder of the building. The existing contemporary rear addition does not need to be retained.	It is recommended that this part of the control be amended to require that the original part of the warehouse building be retained in its entirety. This recognises that the original internal timber structure is substantially intact. There are many examples of the successful adaptive re-use of industrial buildings of this type. It is agreed that the existing rear addition can be removed.
(2) A schedule of conservation works for the warehouse must be prepared by a suitably qualified heritage consultant and must include, but not be limited to, reinstating the original timber façade windows and conservation of the face brickwork.	Agreed. Any application for new works on the site should be accompanied by such a schedule. The reasons for the addition of the metal cladding on the sides of the building should be investigated, alongside options for its removal.
(3) New buildings fronting Junction Street must respond positively to the character of the existing warehouse building and be setback from Junction Street so that they are behind the front building line of the warehouse building.	Agreed. The suggested setback of 3m from Junction street is appropriate if this is sufficient to allow for the retention of the stone wall, or the substantial retention of the stone wall, along the southern part of the boundary in situ.

DCP Control	Comment
<p>(4) New buildings fronting Junction Street must be sympathetic to and complement the fine grained character of the conservation area, existing terraces on Junction Street and the warehouse building through:</p> <p>(a) A fine grain design and massing that responds to the vertical rhythm and horizontal elements of buildings in the area and reduces the perceived length of the Junction Street elevation,</p> <p>(b) The use of materials and finishes compatible with materials and finishes of nearby contributory buildings in the conservation area and the warehouse building, and</p> <p>(c) Being compatible with the proportions of contributory buildings within the conservation area including bulk, scale and detailing.</p>	<p>Agreed. In addition, it is noted that:</p> <p>The setback and massing controls provided by the diagrams in the <i>Draft DCP</i> represent an appropriate response to this site that provides the opportunity not only for compatible development around the former hat factory and within the Conservation Area, but also for this site to moderate between the higher density of the area to the west and the lower density of the area to the east.</p> <p>Note: The recommendation above that the original part of the warehouse building be retained in its entirety.</p>
<p>(5) A heritage assessment and heritage impact statement must be prepared by a suitably qualified heritage consultant assessing the significance of the site, including the sandstone retaining wall, and the impact of the proposed development on the significance of the site and conservation area.</p>	<p>This is a requirement of Section 5.10 of the <i>Sydney LEP 2012</i>. The information in this report could form the basis for this assessment.</p>
<p>(6) An archaeological assessment must be prepared and submitted with any future development application. Depending on the findings of the heritage assessment and archaeological assessment, the in-situ sandstone retaining wall to Junction Street may need to be retained.</p>	<p>It is recommended that the stone wall along the eastern boundary be retained, or substantially, retained in-situ.</p> <p>An archaeological assessment has been carried out as part of this assessment (see Appendix 1). This assessment indicates that no more than the normal archaeological safeguards for construction on any site need be considered. These are usually included in the condition of consent for an application.</p>

5.3 Managing the Significance of the Site

Given the conclusions presented in Section 5.1 and 5.2 above, the following management provisions are recommended for the former hat factory:

- The full extent of the original section of Building 1 should be retained, including the brick walls, internal timber structure and any surviving original ceilings. The later rear addition can be removed.
- No new openings, or changes to existing openings, should be made above ground floor level in the front elevation.
- The windows in the front elevation and the side elevations, where they remain visible in an approved development, should be replaced with

timber framed windows in keeping with the style and period of the building.

- Any new works to the building should investigate why the metal cladding was added to the sides of the building and consider its removal.
- The provisions for warehouses and industrial buildings older than fifty years of age set out in Section 3.10.1 of the *Sydney DCP 2012* are applicable to this building and should be complied with in any proposals for works to it. These provisions provide for outcomes such as the retention of the internal structure of the building, an understanding of the volumes of original spaces, as well as protection for the surviving original internal fabric, such as floors and ceilings.

In addition to the above:

- It is further recommended that the stone retaining wall along the eastern boundary of the site be retained, or substantially retained, in-situ by any future proposed development.

6.0 APPENDIX 1

Archaeological Assessment
Artefact Heritage

2-32 Junction Street, Forest Lodge

Archaeological Assessment

May 2017

Report to Weir Phillips Heritage

On behalf of City of Sydney



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EXECUTIVE SUMMARY

Artefact Heritage has been engaged by Weir Phillips Heritage, on behalf of City of Sydney, to provide an archaeological assessment for the site at 2-32 Junction Street, Forest Lodge (hereby referred to as the study area). This assessment will accompany an amended Planning Proposal where amendments to the site-specific development control plans of the study area have been proposed. The Planning Proposal seeks to redevelop the site for modern apartments with an added greenspace and public access way between St Johns Road and Larkin Street. The proposal would retain and redevelop the three storey brick warehouse located at 12 Junction Street.

On 19 December 2016 the Department of Planning and Environment provided a Gateway Determination that the planning proposal can proceed subject to conditions. One of the conditions requires the City to update the Planning Proposal to include a heritage assessment of the site before publicly exhibiting it. Subsequent discussions with the Department indicate the purpose of the assessment is to assess the significance of the site including the warehouse and Orphan School Creek and assess the boundary of the conservation area. An archaeological assessment is also required.

The study area is located within the City of Sydney Local Government Area (LGA). The principal planning control is the *Sydney Local Environmental Plan 2012 (Sydney LEP 2012)* and the *Sydney Development Control Plan 2012 (City of Sydney DCP 2012)*. An amendment to the DCP has been applied for. The site is listed within the Hereford and Forest Lodge Heritage Conservation Area (LEP no. C33). This heritage item is listed on Schedule 5 Part 1 of the Sydney LEP 2012.

The aim of this archaeological assessment is to assess the archaeological potential and significance of the study area, undertake additional background research where required, review any previous reports, and assess the impact of the proposal on any potential archaeological remains.

Conclusions

The study area has been assessed as having:

- no potential for Aboriginal archaeological remains
- nil-low potential for locally significant historical archaeological remains associated with the early land grants
- nil-low potential for locally significant historical archaeological remains associated with Forest Lodge and early subdivisions
- low-moderate potential for locally significant historical archaeological remains associated with 1880s residential and industrial development of the site
- moderate-high potential for non-significant historical archaeological remains associated with the twentieth century development of the site
- high potential for non-significant historical archaeological remains associated with late twentieth century to present development of the site

Recommendations

It is therefore recommended that:

- A detailed archaeological impact assessment and research design based on this assessment report would be prepared to inform management measures prior to construction.
- Once construction methodology and detailed designs of the site are known, impacts to potential historical archaeology should be avoided and mitigated. Mitigation measures may include:
 - Test excavation
 - Salvage excavation
 - Archaeological monitoring
 - Heritage Interpretation
- If impacts to relics are proposed a s140 Excavation permit would be required in accordance with the NSW Heritage Act 1977 provisions.

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1.0 INTRODUCTION

1.1 Background

Artefact Heritage has been engaged by Weir Phillips Heritage, on behalf of City of Sydney, to provide an archaeological assessment for the site at 2-32 Junction Street, Forest Lodge (hereby referred to as the study area). This assessment will accompany an amended Planning Proposal where amendments to the site-specific development control plans of the study area have been proposed. The Planning Proposal seeks to redevelop the site for modern apartments with an added greenspace and public access way between St Johns Road and Larkin Street. The proposal would retain and redevelop the three storey brick warehouse located at 12 Junction Street.

On 19 December 2016 the Department of Planning and Environment provided a Gateway Determination that the planning proposal can proceed subject to conditions. One of the conditions requires the City to update the Planning Proposal to include a heritage assessment of the site before publicly exhibiting it. Subsequent discussions with the Department indicate the purpose of the assessment is to assess the significance of the site including the warehouse and Orphan School Creek and assess the boundary of the conservation area. An archaeological assessment is also required.

The study area is located within the City of Sydney Local Government Area (LGA). The principal planning control is the *Sydney Local Environmental Plan 2012 (Sydney LEP 2012)* and the *Sydney Development Control Plan 2012 (City of Sydney DCP 2012)*. An amendment to the DCP has been applied for. The site is listed within the Hereford and Forest Lodge Heritage Conservation Area (LEP no. C33). This heritage item is listed on Schedule 5 Part 1 of the Sydney LEP 2012.

The aim of this archaeological assessment is to assess the archaeological potential and significance of the study area, undertake additional background research where required, review any previous reports, and assess the impact of the proposal on any potential archaeological remains.

1.2 The study area

The study area is located at 2-32 Junction Street, Forest Lodge (Figure 1). The study area is situated within the City of Sydney LGA and in the Parish of Petersham, County of Cumberland. The study area is located within the boundary of the Metropolitan Local Aboriginal Land Council (MLALC).

It is bounded by Junction Street to the east, Kimber Lane to the north, Orphan School Creek and Larkin Street Reserve to the west, and residential properties to the south. The study area comprises:

- 2-10 Junction Street: Lot A, B, C DP 439209; Lot 1 DP 1092420;
- 12-16 Junction Street: Lot 1 DP 1035720;
- 18-32 Junction Street: Lot 1 DP 584394; Lot 1 DP 613650; Lot 1 DP 575200; Lot B DP 87371.

The study area is currently utilised by a three storey brick warehouse, a brick, timber and metal shed, and a bitumen carpark.

Figure 1: Study area



1.3 Aims and objectives

The aims of this report are to assess the potential impact of the proposed works on historical archaeological resources within the study area. This includes an assessment of archaeological potential and archaeological significance for the study area.

The report includes:

- Outline of the statutory background to the proposal (Section 2.0);
- Overview of the historical development of the study area (Section 3.0);
- Overview of the site inspection (Section 4.0);
- Assessment of Aboriginal archaeological potential (Section 5.0);
- Assessment of historical archaeological potential (Section 7.0);
- Assessment of the heritage significance of any potential archaeological remains (Section 8.0);
- Overview of the proposal and statement of heritage impact (Section 9.0);
- Conclusions and recommendations, including proposed mitigation strategies for the management of significant archaeological resources and statutory requirements, are outlined in Section 9.0.

1.4 Limitations and constraints

This report provides an assessment of Aboriginal and non-Aboriginal (historical) archaeological resources only. An assessment of built heritage is provided in a separate heritage assessment report.

Under the Due Diligence Code of Practice Guidelines (OEH 2010) Aboriginal community consultation was not required to conduct this assessment.

1.5 Report authorship

This report was prepared by Shona Lindsay (Heritage Consultant) and reviewed by Dr Sandra Wallace (Director).

Historical background and LPI information has been drawn from the heritage assessment report prepared by Weir Phillips Heritage.

2.0 STATUTORY CONTEXT

There are several items of legislation, heritage registers and heritage management guidelines that are relevant to the project. A summary of these Acts and the potential legislative implications for the project follow.

2.1.1 National Parks and Wildlife Act (1974)

The National Parks & Wildlife Act 1974, administered by the OEH provides statutory protection for all Aboriginal 'objects' (consisting of any material evidence of the Aboriginal occupation of NSW) under Section 90 of the Act, and for 'Aboriginal Places' (areas of cultural significance to the Aboriginal community) under Section 84.

The protection provided to Aboriginal objects applies irrespective of the level of their significance or issues of land tenure. However, areas are only gazetted as Aboriginal Places if the Minister is satisfied that sufficient evidence exists to demonstrate that the location was and/or is, of special significance to Aboriginal culture.

The Act was recently amended (2010) and as a result the legislative structure for seeking permission to impact on heritage items has changed. An s.90 permit is now the only AHIP available and is granted by the OEH. Various factors are considered by OEH in the AHIP application process, such as site significance, Aboriginal consultation requirements, ESD principles, project justification and consideration of alternatives. The penalties and fines for damaging or defacing an Aboriginal object have also increased.

As part of the administration of Part 6 of the Act OEH has developed regulatory guidelines on Aboriginal consultation, which are outlined in *Aboriginal Cultural Heritage Consultation Requirements for Proponents (2010)*. Guidelines have also been developed for the processes of due diligence - *Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW (2010)*, and for investigation of Aboriginal objects - *Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales (2010)* in accordance with the 2010 amendment to the Act.

2.1.2 Native Title Act (1994)

The Native Title Act 1994 was introduced to work in conjunction with the Commonwealth Native Title Act. Native Title claims, registers and Indigenous Land Use Agreements are administered under the Act.

There are no Native Title claims within the study area.

2.1.3 Environmental Protection and Biodiversity Conservation Act 1999

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) provides a legislative framework for the protection and management of matters of national environmental significance, that is, flora, fauna, ecological communities and heritage places of national and international importance. Heritage items are protected through their inclusion on the World Heritage List, Commonwealth Heritage List or the National Heritage List.

The EPBC Act stipulates that a person who has proposed an action that will, or is likely to, have a significant impact on a World, National or Commonwealth Heritage site must refer the action to the Department of the Environment and Minister for the Environment (hereafter Minister). The Minister will then determine if the action requires approval under the EPBC Act. If approval

is required, an environmental assessment would need to be prepared. The Minister would approve or decline the action based on this assessment.

A significant impact is defined as “an impact which is important, notable, or of consequence, having regard to its context or intensity.” The significance of the action is based on the sensitivity, value and quality of the environment that is to be impacted, and the duration, magnitude and geographic extent of the impact. If the action is to be undertaken in accordance with an accredited management plan, approval is not needed and the matter not need be referred to the Minister.

2.1.3.1 Commonwealth Heritage List

The Commonwealth Heritage List has been established to list heritage places that are either entirely within a Commonwealth area, or outside the Australian jurisdiction and owned or leased by the Commonwealth or a Commonwealth Authority. The Commonwealth Heritage List includes natural, Indigenous and historic heritage places which the Minister is satisfied have one or more Commonwealth Heritage values.

The study area is not registered on the Commonwealth Heritage List.

2.1.3.2 National Heritage List

The National Heritage List has been established to list places of outstanding heritage significance to Australia. It includes natural, historic and Indigenous places that are of outstanding national heritage value to the Australian nation.

The study area is not registered on the National Heritage List.

2.1.4 New South Wales Heritage Act 1977

The NSW *Heritage Act 1977* (Heritage Act) provides protection for items of ‘environmental heritage’ in NSW. ‘Environmental heritage’ includes places, buildings, works, relics, movable objects or precincts considered significant based on historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic values. Items considered to be significant to the state are listed on the State Heritage Register and cannot be demolished, altered, moved or damaged, or their significance altered without approval from the Heritage Council of NSW.

Archaeological relics

The Heritage Act also provides protection for ‘relics’, which includes archaeological material or deposits. Section 4 (1) of the Heritage Act (as amended in 2009) defines a relic as:

“...any deposit, artefact, object or material evidence that:

- (a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and*
- (b) is of State or local heritage significance”*

Sections 139 to 145 of the Heritage Act prevent the excavation or disturbance of land known or likely to contain relics, unless under an excavation permit. Section 139 (1) states:

A person must not disturb or excavate any land knowingly or having reasonable cause to suspect that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, damaged or destroyed unless the disturbance is carried out in accordance with an excavation permit.

Excavation permits are issued by the Heritage Council of NSW, or its Delegate, under Section 140 of the Heritage Act for relics not listed on the State Heritage Register or under Section 60 for relics listed on the State Heritage Register. An application for an excavation permit must be supported by an Archaeological Research Design (ARD) and Archaeological Assessment prepared in accordance with the NSW Heritage Division archaeological guidelines. Minor works that would have a minimal impact on archaeological relics may be granted an exception under Section 139 (4) or an exemption under Section 57 (2) of the Heritage Act.

Definition of works

The Heritage Act defines 'works' as being in a separate category to archaeological 'relics'. 'Works' refer to past evidence of infrastructure. 'Works' may be buried, and therefore archaeological in nature, however, exposure of a 'work' does not trigger reporting obligations under the Act. The following examples are commonly considered to be 'works': Former road surfaces or pavement, kerbing, evidence of former infrastructure (such as drains or drainage pits where there are no relics in association), tram and train tracks and ballast and evidence of former rail platforms and bridges.

2.1.4.1 State Heritage Register

The State Heritage Register was established under Section 22 of the Heritage Act and is a list of places and objects of particular importance to the people of NSW, including archaeological sites. The State Heritage Register is administered by the Heritage Division of the Office of Environment and Heritage (OEH) and includes a diverse range of over 1500 items, in both private and public ownership. To be listed, an item must be deemed to be of heritage significance for the whole of NSW.

The study area is not registered on the State Heritage Register

2.1.4.2 Section 170 registers

Under the Heritage Act all government agencies are required to identify, conserve and manage heritage items in their ownership or control. Section 170 of the Heritage Act requires all government agencies to maintain a Heritage and Conservation Register that lists all heritage assets and an assessment of the significance of each asset. They must also ensure that all items inscribed on its list are maintained with due diligence in accordance with State Owned Heritage Management Principles approved by the Government on advice of the NSW Heritage Council. These principles serve to protect and conserve the heritage significance of items and are based on NSW heritage legislation and guidelines.

The study area is not registered on any Section 170 registers

2.1.5 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (EP&A Act) establishes the framework for cultural heritage values to be formally assessed in the land use planning and development consent process. The EP&A Act requires that environmental impacts are considered prior to land development; this includes impacts on cultural heritage items and places as well as archaeological sites and deposits. The Proposal is subject to assessment under Part 5 of the EP&A Act. The EP&A Act also requires that local governments prepare planning instruments (such as Local Environmental Plans [LEPs] and Development Control Plans [DCPs]) in accordance with the EP&A Act to provide guidance on the level of environmental assessment required.

Sydney LEP 2012

The study area falls within the boundaries of the City of Sydney LGA. Clause 5.10 outlines the provisions which apply to heritage conservation and requirements in relation to development applications affecting a heritage item or within a conservation area. The aim of the LEP in relation to heritage is to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, views and archaeological sites. The LEP lists identified items of heritage significance in Schedule 5.

The study area is located within the Hereford and Forest Lodge Heritage Conservation Area (LEP Item no. C33).

Sydney DCP 2012

The DCP provides guidelines for development proposals and heritage under Part 8. It provides examples of the types of development and how this could affect heritage, and what requirements are needed before development can commence, such as heritage impact statements. Controls are listed depending on what type of development is proposed. The controls for currently listed LEP items encourage the retention of the items while enabling sympathetic change. New development must not diminish the significance of the item.

3.0 HISTORICAL CONTEXT

3.1 Background

The majority of the following historical background has been taken from the heritage assessment prepared by Weir Phillips Heritage which accompanies this report. Additional information has been collected from early parish maps, town plans, aerial photographs, photographs, newspaper articles, and written histories of the site.

3.2 Aboriginal ethnohistory

The date of the first human occupation of the greater Sydney region is not known. The devastating impact that the European colonists had on the Aboriginal people they dispossessed has resulted in the loss of any in-depth knowledge of these people. The amount and nature of archaeological materials that have survived depends on the preservation conditions of individual sites. Archaeological evidence suggests human occupation of the Sydney region at around 15,000 years ago. In other areas of Australia, however, there is evidence for human occupation 30,000 to 40,000 years ago. There is thus the possibility that some of the practices suggested by historic documents and objects found in the Sydney region may possess histories that extend back further than the available archaeological evidence would suggest.¹

At the time of the arrival of the First Fleet in 1788, the wider Sydney region was comparatively sparsely settled. Recent research indicates that the total population around Sydney was between 2,000 and 3,000 people, and, in the greater Sydney region, including the Blue Mountains, between 5,000 and 8,000 people. Although such estimates can be made based on archaeological evidence, the true size of the population will never be known.

Members of Captain James Cook's 1770 journey of exploration provide the earliest known written descriptions of Sydney's original inhabitants. The first European colonists, however, recorded few details about the kinship structures of the Aboriginal people. The immediate and decided impact that the Europeans had on Sydney's indigenous population, as outlined below, create difficulties in the use of the records that they did produce. Recent research suggests the existence of networks of bands, as opposed to the tribal structures implied by colonial records. These bands were themselves subgroups of much larger groups bound by complex rights of language, marriage and ceremony. What were once defined as 'tribal areas' are thus more accurately described as localities where different languages were spoken.²

Three major language groups were thought to have existed in the Sydney region at the end of the eighteenth century. Dharug was the predominant language spoken over much of the Cumberland Plain. The coastal Dharug speaking clans are frequently referred to as the Eora, a term appearing in early European word lists with the suggested meaning 'people.' The Eora occupied the area across the southern shores of Sydney harbour, from Botany Bay in the south to Parramatta in the west. Cadigal (Gadigal) land lies south of Port Jackson and stretches from South Head to Petersham with part of the southern boundary lying on the Cooks River. On the western border lies the territory of the Wangal clan, which extends along the southern shore of the Parramatta River to Parramatta.

¹ V. Attenbrow, *Sydney Aboriginal Past: investigating the archaeological and historical records*, NSW, University of New South Wales Press Ltd, 2002, pp.3-4.

² P.Turbet, *The Aborigines of the Sydney District Before 1788*, NSW, Kangaroo Press, 2001, p.18.

Archaeological evidence suggests that patterns of life in the Sydney region changed little in the period before 1788. Bands moved within their territory at the prompting of seasons and with the availability of food. A coastal diet of fish and shellfish was supplemented by terrestrial food sources, such as edible tubers, figs and apple berries. A wide variety of materials were used in the production of tools and artefacts.

The Aboriginal people within reach of Port Jackson and Botany Bay absorbed the full impact of the European invasion. With no resistance to European diseases, the Eora were decimated by an outbreak of small pox in 1789-90. Traditional lifestyle was further disrupted by the loss of lands and exposure to new technologies. Conflict followed from the meeting of two fundamentally different cultures. Within two and a half years of the arrival of the First Fleet, the patterns of life, which had been followed for thousands of years, were no longer possible. Within forty years, the pre-colonial way of life had all but disappeared from the Sydney region. Nineteenth century references provide us with only fragmentary accounts of the Aboriginal people who continued to inhabit the Sydney region. The intensive development in the district has destroyed much of the evidence of Aboriginal occupation. The Gadigal people, however, enjoy an unbroken association with their country.

3.3 Early site history

3.3.1 Early European history

The Colony of New South Wales was formally established on 26 January, 1788 on the southern shores of Sydney Harbour at what the local people called 'Warrane' and the colonists 'Sydney Cove.' Ignoring the presence of the Cadigal people, all land was declared to be Crown Land.

In August 1789, Governor Phillip received instructions regulating the allotment of land for Church and School purposes. Governor Phillips authorised a survey of an area of around 1,00 acres of land in the district known as Petersham Hill or the Kangaroo Grounds. This was divided into three allotments: 400 acres to the north, fronting the harbour, for church and glebe lands; 200 acres to the south for a school master; and 400 acres between reserved for the Crown.

Between 1789 and 1791, a rough track, later Parramatta Road, was created to link Sydney with the new settlement at Rose Hill (Parramatta). Nearby Arundel Street, which lies south of the subject site, was part of the original line of the road. When the road was realigned in the 1860s, what is now Arundel Street became known as 'old Parramatta Road' or 'Parramatta Old Road.'

The Crown land became the first of Phillip's three allotments to be cleared when, in 1792, Phillips leased 30 acres of it to Lieutenant Governor Grose for 14 years. Grose Farm was bounded by the Parramatta Road and what are now Missenden Road and Orphan School Creek. Later grants within this area were made to Major Foveaux (1794) and Thomas Laycock (1797). When these leases expired or lapsed, a block of 500 acres was granted to Governor King to the Orphan Institution in 1803. The block included the original farms of Grose, Foveaux and Laycock, the whole of the present University of Sydney grounds and Victoria Park, extending as far east as present-day Chippendale.³ While the Orphan Institution would later relinquish the grant for others in Cabramatta and Bathurst, it gave its name to Orphan School Creek, which runs through the subject site in the form of a storm water channel. Orphan School

³ Bernard and Kate Smith, *The Architectural Character of Glebe*, NSW, Sydney University Co-op Bookshop, 1973, p.13.

Creek originally flowed from the current Cricket Ground of Sydney University at the southern end of Ross Street.⁴

The 400 acres allotted to the Church were known as the Glebe, being the name is ecclesiastical law to the land devoted to the maintenance of incumbents of the Church. The grant was made to the Church of England (now Anglican Church), in the name of the Reverend Richard Johnson. Part of the Glebe would later lie within the suburb of Forest Lodge. The Reverend Johnson set about clearing the Glebe for cultivation. It is thought that he probably cleared and cultivated land near the corner of what is now Glebe Road and Mitchell Street before his contact with the Glebe ended in 1794. Johnston thought little about the suitability of the land grant, famously declaring that it was 400 acres for 'which I found not give 400 pence.'⁵ Little occurred on the Glebe over the following thirty years. Later grants and leases impinged on the boundaries of the original Glebe.

3.3.2 Early land grants

From 16 January, 1793, successive colonial governors granted land outside the declared boundaries of the Township of Sydney in order to open up the land and augment the Colony's food supplies. The subject site lies on part of three different land grants (Figure 2):

- Grant of 20 acres to Catherine King on 14 March, 1795 (Portion 88).
- Grant of 240 acres to William Bligh on 10 August, 1806 (Portion 103).
- Grant to 435 acres made to the Trustees of the Clergy and School Lands on 24 November, 1829.

The majority of the site lies on land part of King's grant (known as Catherine Farm) and on the Clergy and Church lands. Only a small part of the site, being the land located to the west of Orphan School Creek, forms part of the grant to William Bligh (known as Camperdown).

3.3.2.1 King's Grant (Catherine Farm)

King's grant is one of several that impinged on the boundaries of the original Glebe. The grant, was made under the hand of Lieutenant Governor Patterson:

*'Catherine, the wife of Robert King, twenty acres of land, lying and situate on the northern side of the road to Parramatta, and bounded on the north side by the allotments granted to William Eggleton and William Wooding, in the district of Petersham Hill.'*⁶

Nothing further is known of Catherine King. The size of land grant suggests that she may have been an emancipist. Her ownership of the grant was short-lived. Within the same year of receiving the land grant, it was acquired by William 'Bones' Eggleton, who had been transported for seven years for stealing cloth. Eggleton had already obtained a 14-year lease of seven acres comprising part of the nearby Church lands in 1794.⁷

3.3.2.2 Bligh's Grant (Camperdown)

The majority of William Bligh's grant of Camperdown lies on the southern side of Parramatta Road. The part of the subject site that lies on this grant is small; it comprises the small part of

⁴ <http://ramin.com.au/forest-lodge/history.shtml>

⁵ Max Solling, *Grandeur and Grit, A History of the Glebe*, NSW, Halstead Press, 2007, p.45.

⁶ J.F. Campbell, 'Notes on the Early History of the Glebe', *Royal Australian Historical Society Journal*, Volume 15, 1929, p.300.

⁷ Max Solling, p.44.

the site that lies to the west of Orphan School Creek. This land had originally been placed in the hands of the Trustees of the Female Orphan Institute (1803). With their approval, it became part of a 240-acre grant made to newly appointed Governor William Bligh by his predecessor Governor King on 10 August, 1806. Bligh named the grant Camperdown in memory of the Battle of Camperdown in 1797, in which he had fought and distinguished himself. Following his death in 1817, the grant subsequently passed into the hands of his daughters. Governor Gipps later made a settlement of Bligh's Estate, allowing the heirs and trustees to sell the land. In 1840, the estate was surveyed and subdivided into large lots. The first lots were offered for sale in April 1841. A survey of the estate made by W.H. Wells in 1845 shows relatively sparse development across the Estate, in particular that area north of Parramatta Road.⁸ Wells described Camperdown in 1848 as:

*'A village in NSW....on the road leading from Sydney to Illawarra. It contains 64 houses, and 241 inhabitants, viz., 125 males and 116 females...'*⁹

3.3.2.3 Church and School Corporation

During the early 1820s, the Glebe lands were placed in the hands of the newly Church and School Corporation. The Corporation received a further grant of 435 acres in November 1829, which appears to have included part of the subject site. The Corporation was created to manage Church lands and could sell up to one third of lands granted within each county to fund churches and schools, the improvement of lands, the construction of road and the maintenance of clergy and school masters.¹⁰

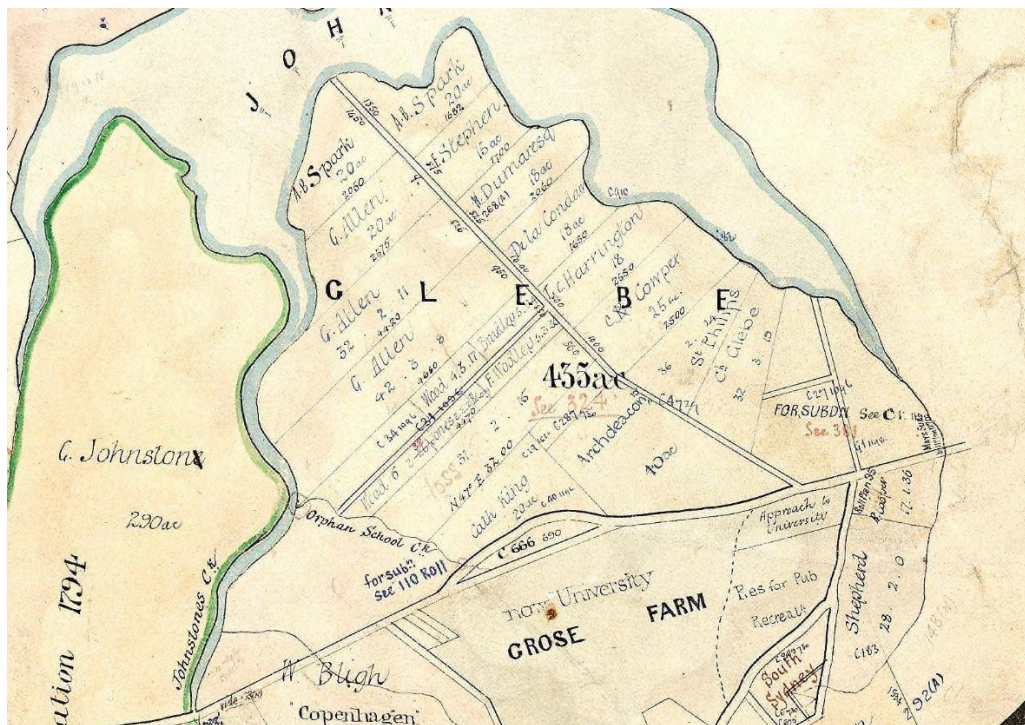
The foundations of modern Glebe were laid in 1828 when the original Glebe was subdivided by the Corporation into 27 allotments of varying size, 24 of which were offered for sale in 1828. The smaller 3 to 4 acre allotments at Blackwattle Swamp attracted industry, in particularly noxious trades such as slaughter houses. The surrounding area was consequently developed as small lot subdivisions for the working man and his family. The larger allotments on higher ground attracted the attention of those seeking out-of-town estates.

⁸ NBRS + Partners, Weston's Biscuit Factory and Ryvita Plant Redevelopment, Sites 2, 3 and 4 Lyons Road, Barr Street, 7 Pyrmont Bridge Road, Master Plan Heritage Assessment, December 2003, p.4.

⁹ W.H. Wells, *A Geographical Dictionary of Gazetteer of the Australian Colonies*, 1848. This facsimile edition published by The Council of the Library of NSW, Sydney, 1970, p. 113.

¹⁰ Bernard and Kate Smith, *The Architectural Character of Glebe*, Sydney, University Co-operative Bookshop, 1973, p.14.

Figure 2: Petersham Parish Map c 1840s showing the land grants in Glebe. LPI



3.4 Development of Glebe and Forest Lodge

3.4.1 The Development of Glebe and the Foundations of Glebe Municipality

The Glebe villa estates built between 1828 and 1844 were concentrated in two areas: along Glebe Point Road, between Marlborough Street and Leichhardt Street; and on either side of Bridge Road, between Glebe Road and Ross Street. They thus lay to the north and west of the subject site. The suburb of Forest Lodge was named for one of the Bridge Road villas, Forest Lodge, erected by the noted chemist, druggist and entrepreneur Ambrose Foss in 1836 on land not part of the original Church grant, but part of the adjoining Catherine Farm:

'Ambrose Foss was a central figure shaping the built environment in this neighbourhood. Born in Portsea, Hampshire in 1804, Foss served an apprenticeship to master who called himself a chemist and druggist, surgeon and dentist, and apothecary. After arriving in Sydney in 1827, Foss added supper, grocer and warehouseman to his former master's list of titles. Foss bought and sold Hereford House and then had Vere design the eight room bungalow with verandahs called Forest Lodge in 1836. Within two years, Foss, in buoyant economic conditions, had invested in the construction of two more picturesque residences nearby- Oak Lodge (1837) and Rose Cottage (1838). A deacon of the Pitt Street Congregational Church, Foss became a close friend of fellow deacon, draper David Jones, a Welsh immigrant. The two were engaged in commercial activities, forming a mutual protection association to secure the cargo space of ships bringing bounty immigrants.....to New South Wales.....over speculation in property lead to the bankruptcy of Ross in the depressed 1840s, but he recovered

*financially and prospered in the long turn. On this death in 1862 he left an estate of £20,000.*¹¹

Forest Lodge was described in a real estate advertisement in 1848 as:

*"that delightful Residence at the Glebe...consisting of seven rooms, pantry, storeroom, kitchen, coach-house, stable and other detached offices. The garden and paddocks comprise about 2 ½ acres ground, the former stocked with choice fruit trees, &c. Immediate possession can be had".*¹²

By 1841, there were at least thirteen villas within Glebe, together with the slab and timber houses of the labouring families. In all, there were 203 people living in Glebe.¹³

The Church lands would have an ongoing impact on the future development of Glebe. Of the three allotments of The Glebe that remained in Church hands, two were delivered to the Trust of St. Phillip's Church, Sydney, with the intention that the income be used for diocesan purposes; the third was set aside for the residence of the Archdeacon and was henceforth referred to as The Archdeaconry. St. Phillips Estate was subdivided and offered as 28 year leaseholds in 1842. Fourteen years would pass before The Archdeaconry, renamed Bishopthorpe, was likewise subdivided. The allotments comprising the Bishopthorpe Estate were generally larger than those on the St. Phillip Estate and were offered on 99 year leaseholds. Unlike the former, building conditions were attached to the leaseholds, which specified that all allotments have a minimum 40 foot street frontage, that all buildings be constructed of stone or brick and address the street, and that no more than two dwellings were constructed per allotment. The subdivisions of the Church lands in the 1840s corresponded to the subdivision of some of the earlier Glebe villa estates as owners were bankrupted in the financial depression of the 1840s and/or sought to take advantage of the rising value of land within reach of Sydney. W.H. Wells described Glebe in 1848 as containing 264 houses housing 1,055 inhabitants.¹⁴

The Municipality of Glebe was formed in 1859, a year after the NSW Legislative passed the *Municipalities Act* (1858). Present day Forest Lodge was located within the Bishopthorpe Ward of the new municipality. By 1861, the municipality supported a population of 3,712 people in 720 dwellings. Within twenty years, this increased to 10,500 people in 2,231 dwellings.¹⁵

3.4.2 The Forest Lodge Estate

As set out below, the land title for the site before 1864 is complex and has not been fully ascertained for the purposes of this assessment. By the early 1860s, all the land part of the subject site to the east of Orphan School Creek lay on a larger parcel of land owned by a syndicate comprised of G.W. Allen, T. Holt, T. Smart and R. Want. Of these men, George Wigram Allen, later Sir George, is the most prominent figure in the development of Glebe. Allen served as Glebe's first Mayor. He later represented Glebe in the Legislative Assembly, where

¹¹ Max Solling, *Grandeur and Grit: A History of Glebe*, NSW, Halstead Press, 2007, pp.58-9.

¹² Sydney Morning Herald, Thursday 9 March 1848, page 4

¹³ Max Solling, *Grandeur and Grit: A History of Glebe*, NSW, Halstead Press, 2007, p.47.

¹⁴ W.H. Wells, *A Geographical Dictionary of Gazetteer of the Australian Colonies*, 1848. This facsimile edition published by The Council of the Library of NSW, Sydney, 1970, p. 181.

¹⁵ Statistics cited in Max Solling and Peter Reynolds, *Leichhardt: On the Margins of the City*, Sydney, Allen & Unwin, 1997 p.252.

he was speaker from 1875 to 1882. The Allen family built and lived in one of the Glebe villa mansions, *Toxeth Park*, which still stands within the grounds of St Scholastica's College, Glebe.

Forest Lodge emerged as an identifiable precinct when Allen, Holt, Smart and Want's land was subdivided as the Forest Lodge Estate. Figure 3 reproduces an early advertisement from *The Sydney Morning Herald* for the estate, which enumerated its advantages for would be purchasers. Subdivision at this time was encouraged by the extension of Pyrmont Bridge Road from Blackwattle Bay to Camperdown (1859). The Forest Lodge Estate subdivision catered for a broad spectrum of society- from the wellto-do, to the skilled tradesmen and the general labourer.¹⁶

Figure 3: Forest Lodge Estate, 1862. *The Sydney Morning Herald*, 25 November, 1862.

FOREST LODGE ESTATE.

GLEBE VILLA SITES
adjoining Bishopsthorpe, Toxeth Park (the estate of George Allen, Esq.), and the properties of J. W. Wood, Esq., and having extensive frontages to the Pyrmont Bridge main road, Parramatta Road, and other wide thoroughfares.

This eligibly situated estate nearly **ADJOINS THE CITY BOUNDARY**, and has been subdivided into building allotments and villa sites of from **ONE-QUARTER OF AN ACRE AND UPWARDS**.

Each allotment has a frontage to a wide road, and the subdivision is so arranged that purchasers can secure any area they desire.

The Forest Lodge estate possesses advantages which few other suburban properties can claim. From the elevated position of the land it commands **EXTENSIVE VIEWS** and a **SALUBRIOUS ATMOSPHERE**, while at the same time it is simply a **CONTINUATION OF THE CITY**, being distant only a pleasant walk from the Post Office, thus ensuring all the rural advantages of a suburb without railway, or even omnibus travelling, though the latter convenience may be obtained if required, a few hundred yards from the estate.

The proprietors bring this estate for the first time before the public in a most popular manner, and offer every facility to purchasers to secure in lots to suit their requirements, and on very liberal terms.

A FIRST-RATE SUBURBAN SITE in a most valuable and improving position which, in a short period, must become a part of the city, and yearly improve in value.

Without further comment, it may be stated that the estate will be **POSITIVELY SOLD**, and intending purchasers are urged at once to secure a **LITHOGRAPHIC PLAN OF THE SUBDIVISION**, and make their selections.

TERMS—20 per cent. cash deposit, 20 per cent. in 12 months; the residue may remain on mortgage of the property for a long term of years, at a low rate of interest.

TITLE—unquestionable, full particulars of which can be obtained on application to Messrs. **WANT and SLADE**, solicitors, Pitt-street.

RICHARDSON and WRENCH have received instructions to sell by public auction, at the Rooms, Pitt-street, on **FRIDAY, 28th November**, at 11 o'clock,
The FOREST LODGE ESTATE, GLEBE,
In lots to suit purchasers.
Plans at the Rooms.

DART BROOK, HUNTER RIVER.

A plan of the Forest Lodge Estate subdivision prepared by F.H. Reuss in 1863 identifies G.W. Allen as the owner of all the lots along the western side of Junction Street (Figure 4). As set out

¹⁶ Max Solling, Grandeur and Grit: *A History of Glebe*, NSW, Halstead Press, 2007, pp.96-7.

3.5.1 Sub Area 1

The following section briefly outlines the history of Lot 1 D.P. 575200 and Lot B D.P.87371, part of the subject site. This area is outlined in red (Lot 1 D.P. 575200) and yellow (Lot B D.P. 87371) in Figure 5.

Figure 5: Sub Area 1 SixMaps; annotations in red and yellow by WP Heritage.



The area outlined in red and yellow in Figure 5 stands on part of the Clergy and School Land grant of 1829. On 8 March, 1840, 31 acres 2 roods and 16 perches of this grant, including this part of the site, was transferred to Ambrose Foss, who, as identified above, built the villa Forest Lodge on part of the original Church Glebe in 1836. This part of the site subsequently formed part of Lot 7 Section 4 of the Forest Lodge Estate. See Figure 4 above.

On 3 December, 1868, the subject land was transferred from G.W. Allen to F. Dolan, who subsequently took out a mortgage over the land.¹⁹ The next recorded conveyance was from F.T. Humphrey to M. O'Connor on 4 October, 1872. How Humphrey acquired the land is not clear.²⁰ On 28 September, 1874, the land was conveyed to J. Curby.²¹ Curby owned the land for less than two years, selling it on 3 April, 1876 to T. Lloyd.²² Lloyd appears to have entered into some kind of joint ownership with others. Council Rate Records show that, by the year

¹⁹ Old System Titles Book 111 No. 320. NSW LPI.

²⁰ Old System Titles Book 132 No. 501. NSW LPI.

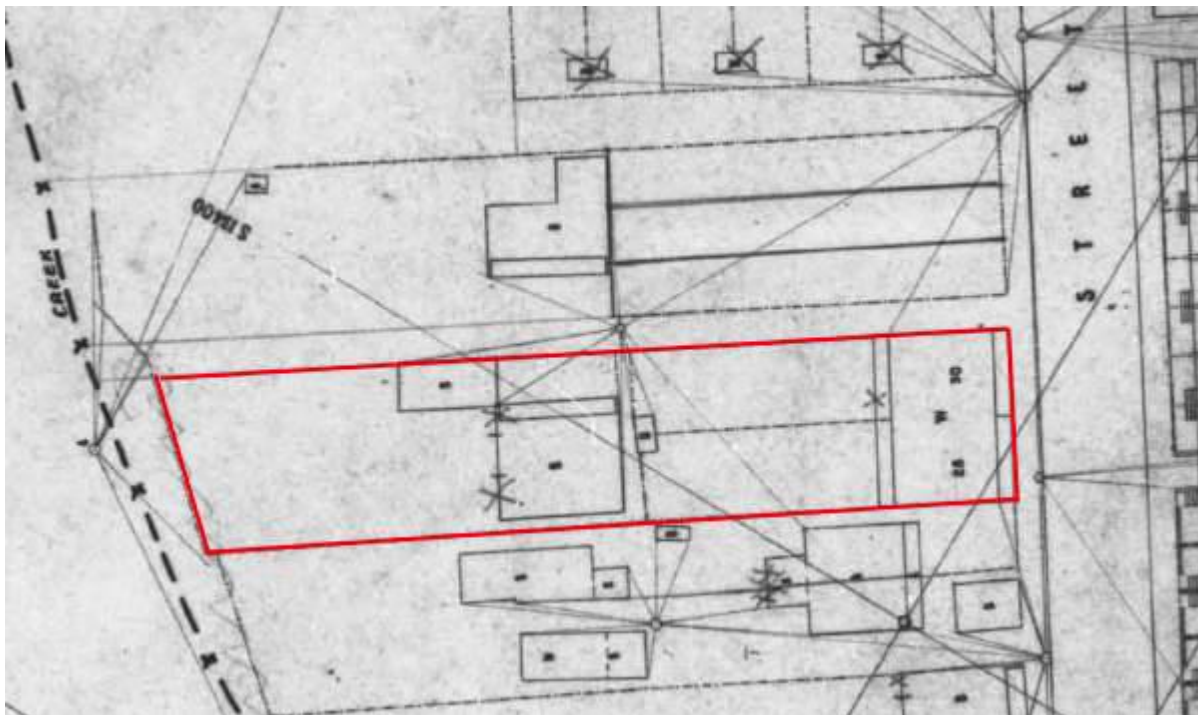
²¹ Old System Titles Book 158 No. 234. NSW LPI.

²² Old System Titles Book 234 No. 158. NSW LPI.

commencing 2 February, 1880, there were three houses and one stable block on Lloyd's Junction Street land.²³

Lloyd's land was sold to C. Davis on 27 July, 1881.²⁴ On 28 February, 1884, the land was transferred to M.A. Kimber.²⁵ Council Rate Records show that, by 1889, there were four cottages on Mary Ann(e) Kimber's land, which continued north of the subject site, one of which she occupied. A survey, Figure 6, carried out by the Lands Department in 1889, shows what appear to be three dwellings (two being semi-detached and one free standing), a wc and an outbuilding on this part of the site. The semi-detached dwellings fronting the street were of weatherboard construction and are labelled on the plans as Nos. 28 and 30 Junction Street. The small wc to the rear is marked 'brick', as is the free standing dwelling and outbuilding to the rear.

Figure 6: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only. Sydney Water Archives, PWDS1544-S361 (detail).



Notes attached to the field survey that preceded the preparation of the above plan provide important information about the state of Orphan School Creek at this time:

'The position of Orphan School Creek cannot now be determined but it may be supposed that the covered wooden drain indicates the place of the old creek bed'.²⁶

No references as to when the Creek was first covered have been located. The Kimbers continued to own the land in the 1920s, giving their name to the adjoining laneway. Kimber Lane is first recorded in Sands' Directories in the early 1900s. Rate Records and Sands'

²³ Glebe Rate Records, Forest Lodge Ward, For the Year Commencing 2 February 1880 and Ending 1 February, 1881. City of Sydney Archives.

²⁴ Old System Titles Book 225 No.199. NSW LPI.

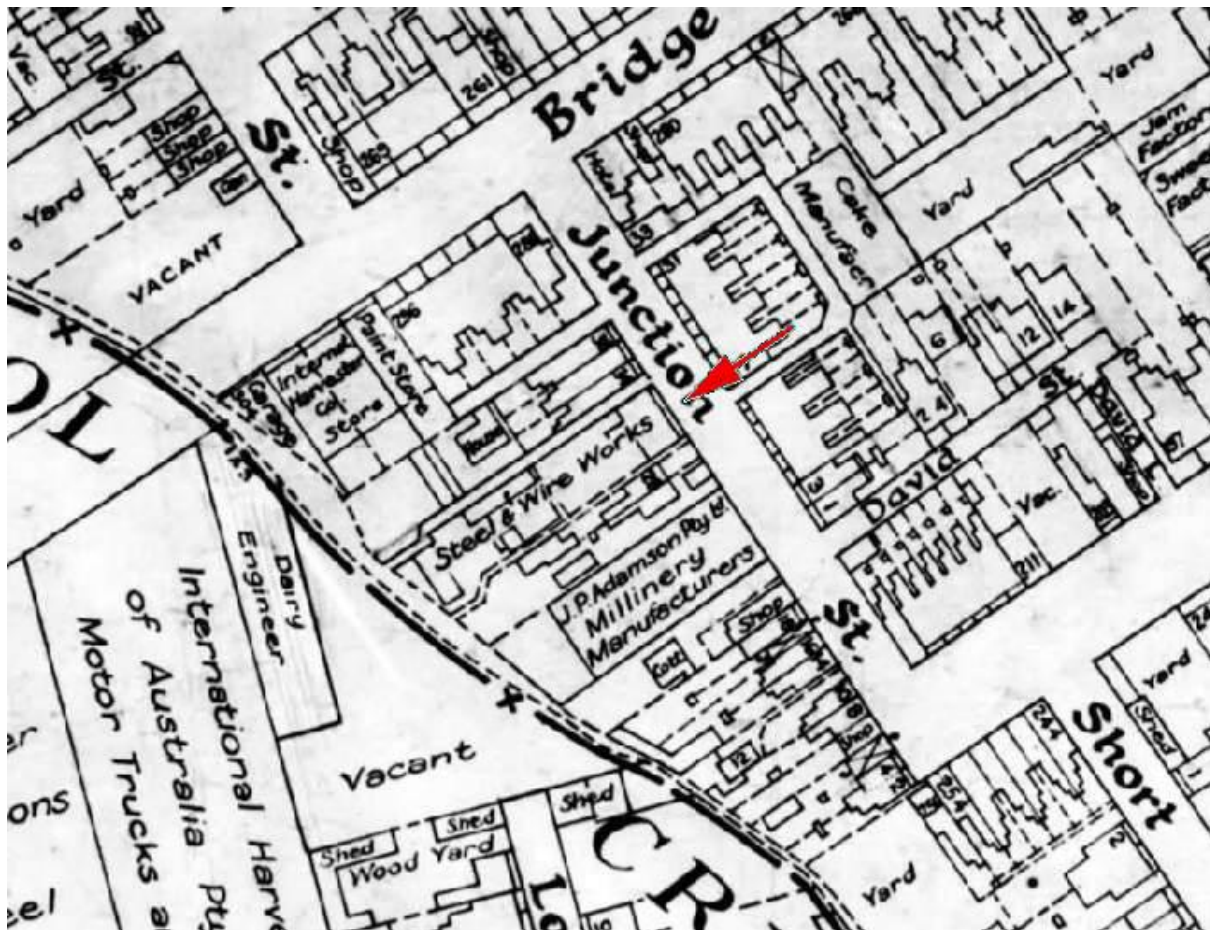
²⁵ Old System Titles Book 306 No. 28. NSW LPI.

²⁶ 'Notes' in J.F. Truscott, Detailed Survey of Sheet 31 Glebe, F.B. No. 1361. Survey dated December 1887.

Directories indicate numerous different occupiers for the dwellings on Kimber's land. Mary Anne Kimber continued to occupy one of the cottages until at least 1904. When the three terraces were built north of the subject site, the street numbers of the two dwellings on Kimber's land fronting Kimber Street changed to Nos. 30 and 32 Junction Street.

On 29 March, 1926, Kimber's land was transferred to Arthur Scriven McKittrick.²⁷ On 10 May, 1927, the land was transferred to Charles William Wane, timber merchant.²⁸ It is around this time that Sands' Directories indicate that the use of the site changed from residential to commercial. The obviously residential listings in Sands' Directories for this land end in 1927. In the Directory for the following year, 1928, and until the last published Sands' Directory of 1932-3, the listing for No. 30-32 Junction Street is for J. Richards, ornamental ironworker and blacksmith. The date cannot be further refined by reference to rate records because the available rate records for the 1920s do not describe the types of improvements on the site. A survey of Glebe carried out by the Housing Improvement Board in 1939, a detail of which is provided by Figure 7, identifies the site as a steel and wire works and provides an outline of the building on the site at that time.

Figure 7: Housing Improvement Board of NSW, Municipality of Glebe, Detail Map, 1939 (Detail only). City of Sydney Archives.

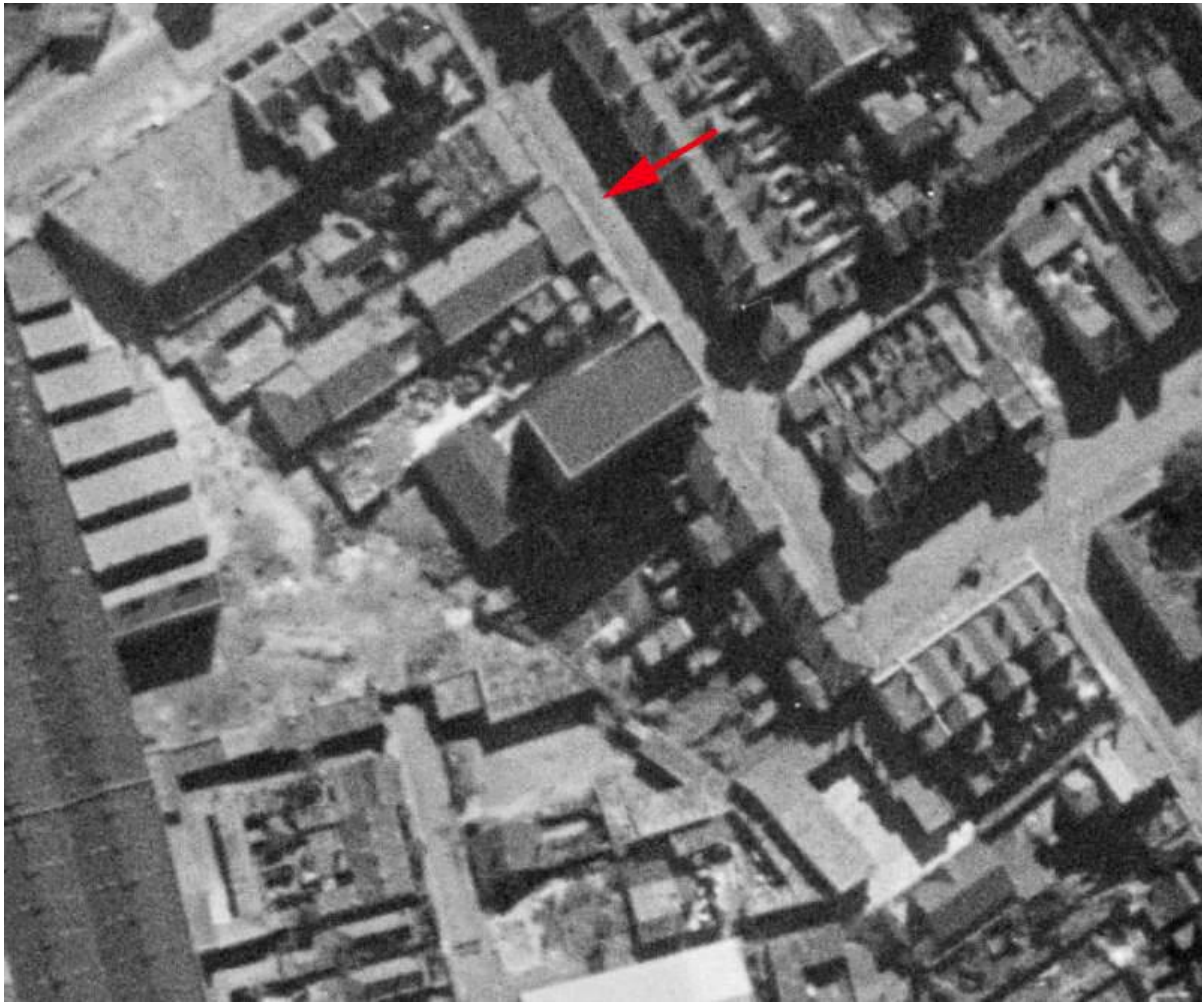


This footprint corresponds to the building form visible in an aerial photograph dated 1943, Figure 8.

²⁷ Old System Titles Book 1421 No. 244. NSW LPI.

²⁸ Old System Titles Book 1470 No. 541. NSW LPI.

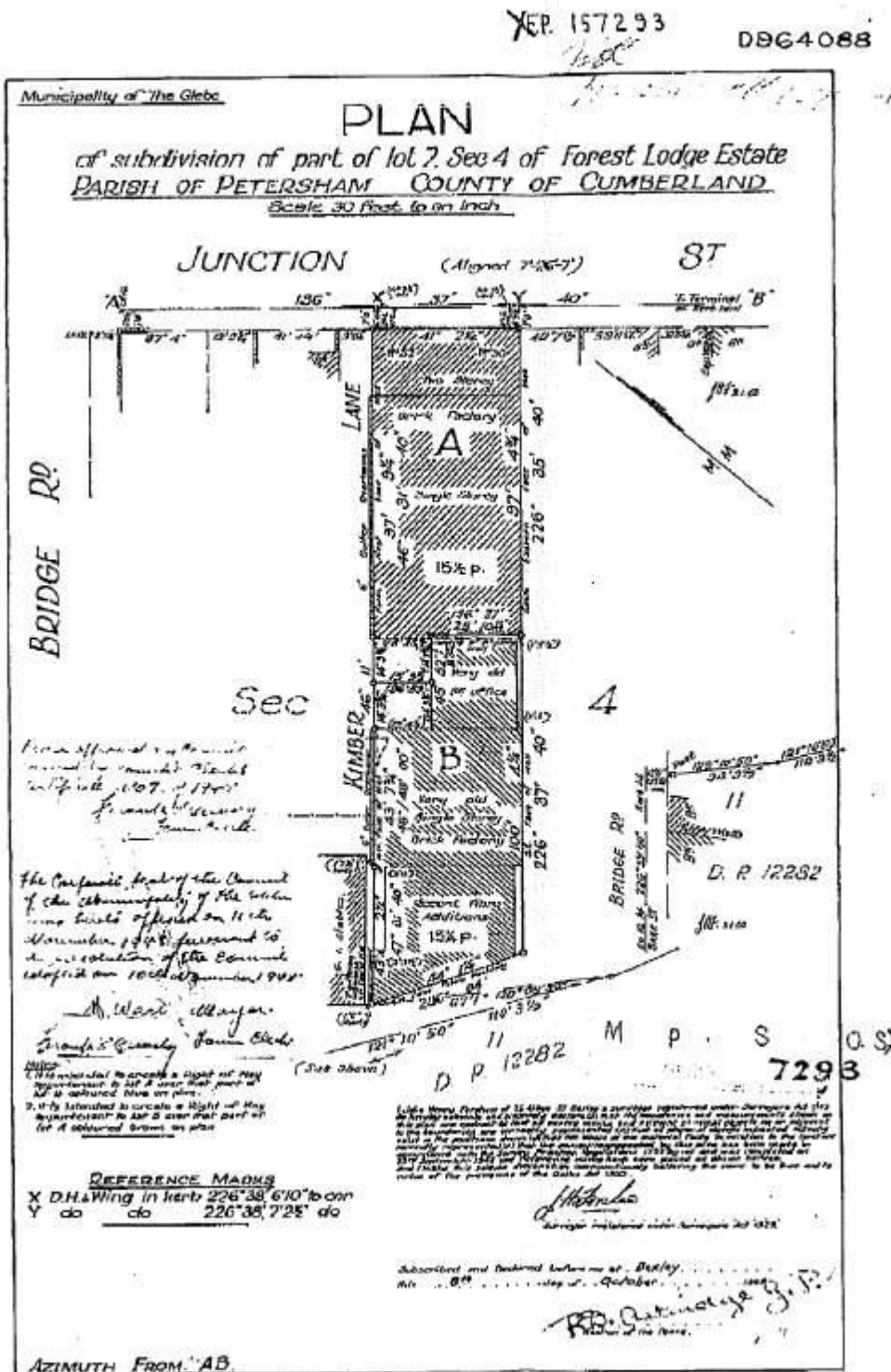
Figure 8: NSW Lands Department, Aerial photograph over the site, 1943. SIXMaps.



The land was subsequently subdivided and Lot A of this subdivision, being the area outlined in red in Figure 5 was, transferred to Gordon Stewart Leys, engineer, on 3 February 1949 for £1,750.²⁹ The subdivision plan, Figure 9, provides information on the buildings that stood on this part of the site at this time. The building on Lot A (the eastern part of the site) is described as a one and two storey brick factory; there is a 'very old single storey' factory and a 'recent' fibro addition on Lot B. Part of this 'very old factory' may have incorporated the brick structure shown on the site in the 1889 survey.

²⁹ Old System Titles Book 2091 No. 514. NSW LPI.

Figure 9: Detail of a survey prepared by J.H. Fargher in 1949. NSW LPI.



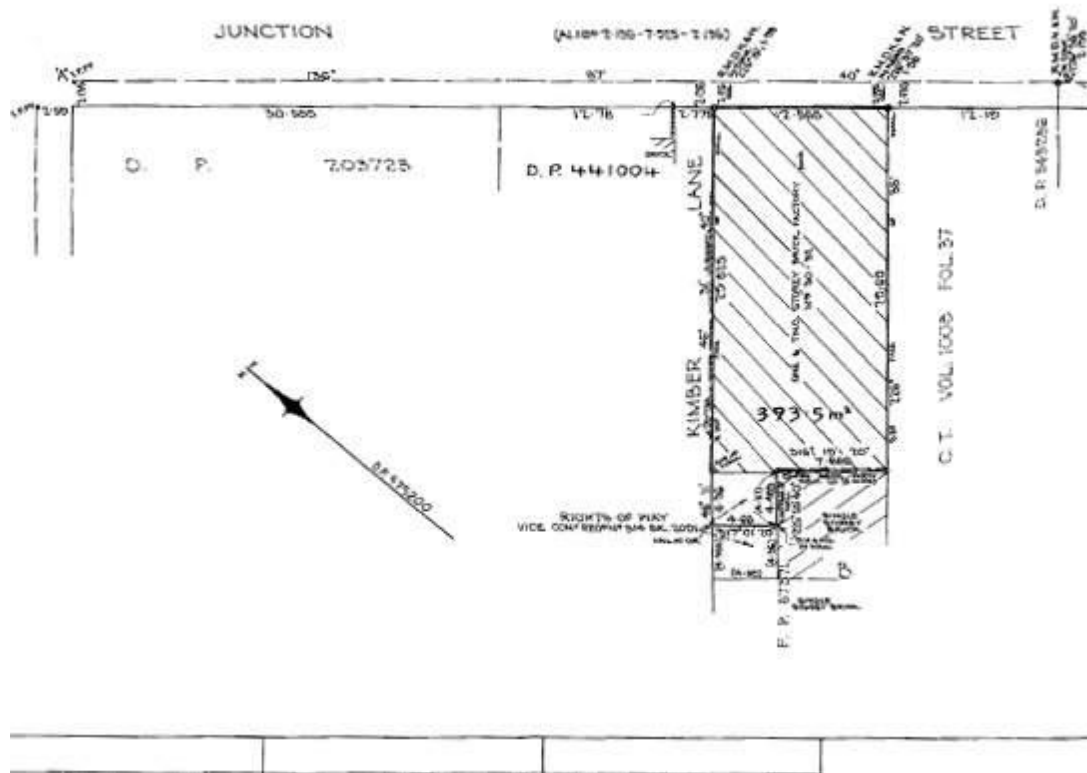
Lot A was transferred to McIntyre Pty Ltd.³⁰ The land was further subdivided and the land part of the site (now Lot 1 D.P. 575200) conveyed to Gilbert & Roach Pty Ltd.³¹ A plan dated in

³⁰ Old System Titles Book 3158 No. 464. NSW LPI.

³¹ Certificate of Title Volume 12832 Folio 238. NSW LPI.

1974, Figure 10, shows that a one and two storey building still lay on this part of the site at this time, most likely being the same building shown in the 1947 survey.

Figure 10: Detail of a survey prepared by T.A. Rollers in August 1974. D.P. 575200. NSW LPI.



It was Gilbert & Roach Ltd who finally applied to bring the property under the provisions of the Real Property Act in 1975.³² The application states that Gilbert & Roach Ltd were then in occupation.

The land was transferred to A.G. Campbell Pty Ltd on 2 August, 1979.³³

The land was transferred to the Local Government Superannuation Board on 15 July, 1982 with a lease back to A.G. Campbell (Self Service) Pty Ltd for three years.³⁴ The land title has not been further investigated beyond this point.

No Council records have been located detailing when the building shown by Figure 8 to Figure 10 were demolished and the existing carpark created.

3.5.2 Sub Area 2

The following outlines the history of that part of the site outlined in red in Figure 33.

No land title search has been carried out on this part of the site. Without a search, it is not possible to ascertain if this part of the site stood on part of Catherine Farm (as for the land to

³² Primary Application No. 51513. NSW LPI.

³³ Certificate of Title Volume 12832 Folio 238. NSW LPI.

³⁴ Certificate of Title Volume 12832 Folio 238. NSW LPI.

the south) or the Clergy and School lands (as for the land to the north). In any event, this part of the site became part of the Forest Lodge Estate in the early 1860s.

The following history of Sub Area 2 is somewhat speculative. Changes in street numbers and the subdivision plan over time make the individual lots in the middle of the site difficult to positively identify in Sands' Directories and Council records.

Figure 11: Sub Area 2. SixMaps; annotations by WP Heritage.

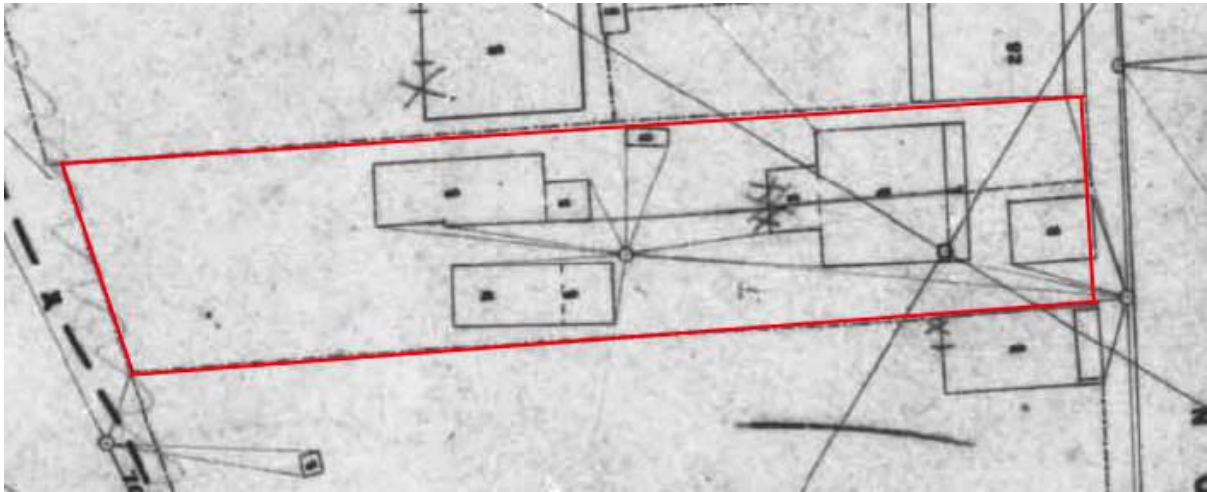


The 1889 survey (Figure 12) shows a number of buildings on this part of the site at this time. There are two brick semi-detached dwellings set back from the front of the site. The outbuildings to the rear are brick (northern building) and brick and weatherboard (southern building) construction. The small building on the street line is of brick construction.

The northern most dwelling, likely originally No. 26 Junction Street and later No. 28 Junction Street, can be identified in Sands' Directories at least as early as 1884, at which time it was occupied by William Kidd, Blacksmith. This property had various occupants, including Thomas Byrnes, dray proprietor, in the 1890s. The structures to the rear may well be stables. From 1904 until at least 1920, the Kings occupied this property. When Mrs. Catherine King is listed as the occupant in Sands' Directory her occupation is recorded as green grocer; when John King is listed as the occupant, the occupation is recorded as carrier.

If the above property was originally No. 26 Junction Street, then the adjoining property was originally No. 24 Junction Street, described in Rate Records in 1896 as comprising 'cottage, bakery and yard' and in 1899 as 'yard, stables and cottage' and, in 1901 as 'cottage and stables.'

Figure 12: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only. Sydney Water Archives, PWDS1544-S361 (detail).



The five buildings shown by the 1889 survey stood on the site until at least 1939, when their footprint was recorded by the 1939 survey (Figure 13). The two dwellings and the front outbuilding are clearly visible in the 1943 aerial (Figure 14). It is not clear if the rear buildings still stood in 1943. When the site was cleared for a car park is not known.

Figure 13: Housing Improvement Board of NSW, Municipality of Glebe, Detail Map, 1939 (Detail only). City of Sydney Archives.

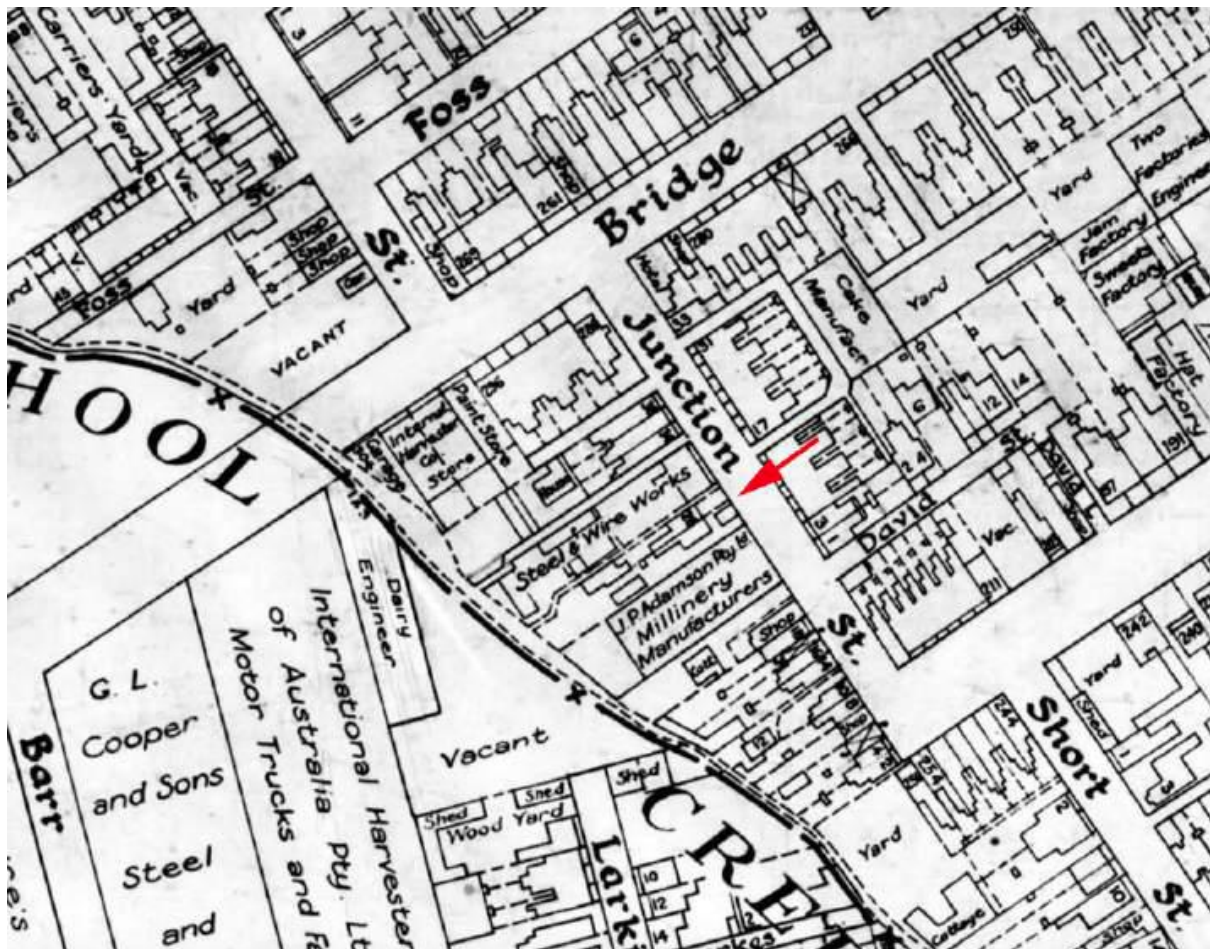
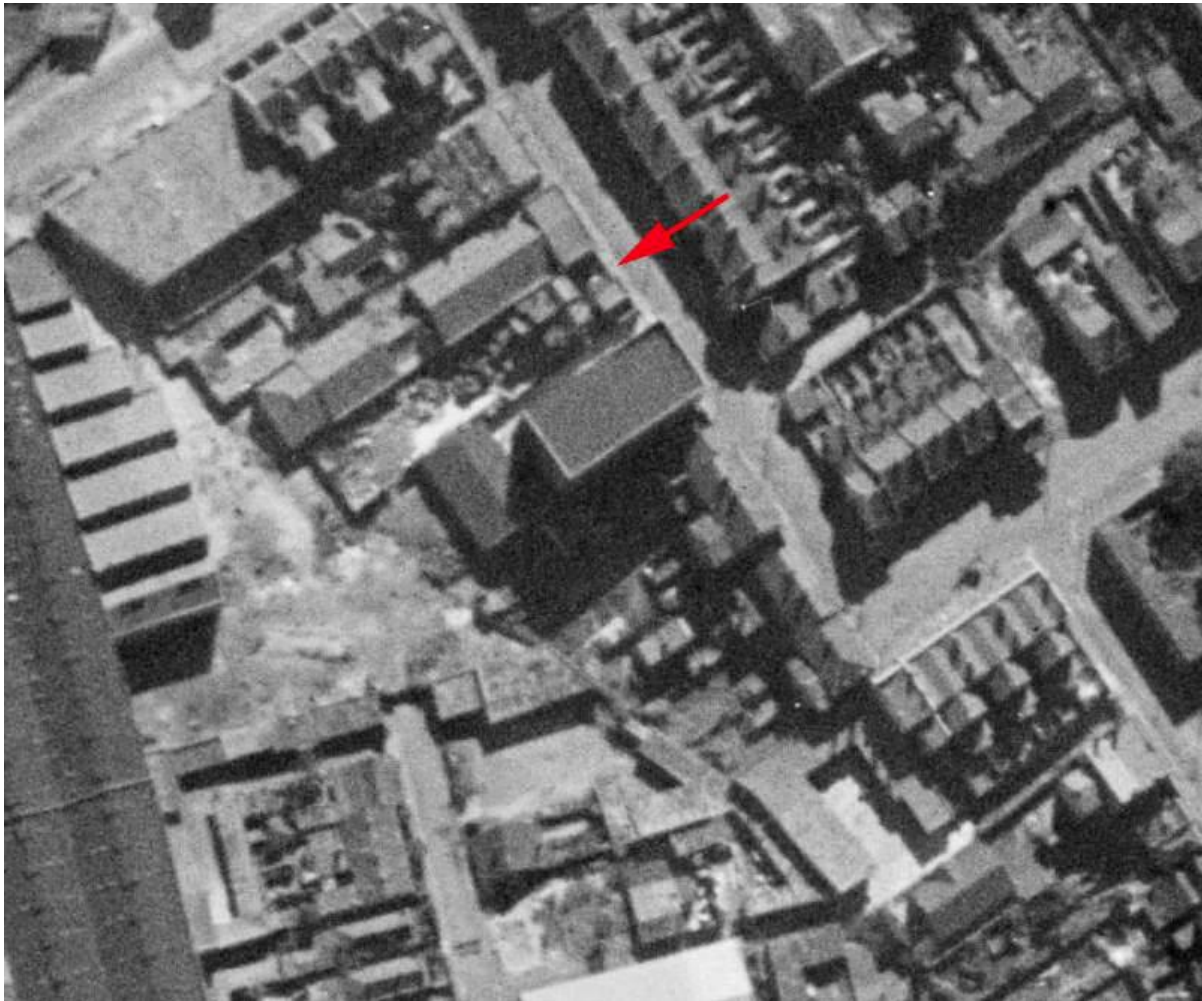


Figure 14: NSW Lands Department, Aerial photograph over the site, 1943. SIXMaps



3.5.3 Sub Area 3

The part of the site outlined in red in Figure 15 lies on part of Catherine King's grant. This is the lot on which the existing former warehouse building stands.

This land was brought under the provisions of the *Real Property Act* in 1864 as one of ten parcels of land on the Forest Lodge Estate owned by the wool merchant, financier and politician, Thomas Holt, who appears to have acquired the land from Foss in 1862.³⁵ The land was described at this time as being 'unoccupied.'

³⁵ *Primary Application 20*. Notification of this application was published in *The Sydney Morning Herald*, 13 June, 1863.

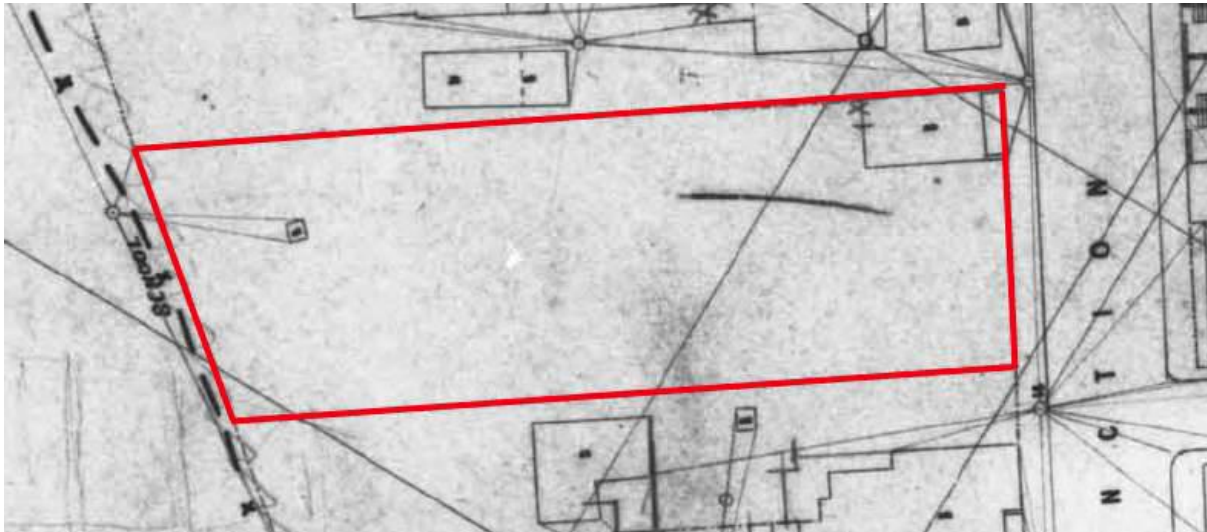
Figure 15: Sub Area 3. SixMaps; annotations by WP Heritage.



On 20 September, 1870, this part of the site, identified as part of Lot 6 of the Forest Lodge Estate and comprising 38 ½ perches, was conveyed to John Hayden, dairyman, who retained ownership until 14 November, 1879, when the land was conveyed to John O'Brien, free holder.³⁶ John Hayden may have occupied the land. He is listed, under his profession of dairyman, in Junction Street by the Sands' Directory of 1879. The survey plan, Figure 16, dated 1889 shows a small brick building on this site, set in the north eastern corner.

³⁶ Transfers attached to Certificate of Title Volume 3 Folio 201 and volume 108 Folio 202. NSW LPI.

Figure 16: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Sydney Water Archives, PWDS1544-S361 (detail).



On 29 July, 1890 O'Brien's land was conveyed to William McMillan, MLA.³⁹ Ten years later, on 10 May, 1900, the land was transferred to W. and A. McArthur Ltd (in liquidation). This company appear to have retained ownership of the land in one guise or another until 1926. The various transfers during this period were as follows:

- 28 July, 1908 to W. and A. McArthur Ltd (new company).
- 28 July, 1908 to George Foster Braithwaite of England (gentleman) and Alexander Lawson Ormrod, of England (stock and share broker).
- 5 February, 1924 to W.A. McArthur Ltd.⁴⁰

It was during the period of W.A. McArthur Ltd company ownership that the oldest part of the building that still stands on this part of the site was erected. Rate Records clearly demonstrate the northern part of this building was erected in 1900. The Rate Record for the year commencing February 1901 is the first record to describe a factory ('hat factory') on this land; McArthur W. and A, straw hat factory is listed in *Sands' Directories* in 1900.

W.A. McArthur Ltd were a general mercantile firm with widespread business interests. A 'number of gentleman', including members of the press, were invited by the Company to view their various properties and operations in the City in July 1900. After an inspection of the Company's main warehouse premises in York, Clarence and King Street, which were 'packed with the wealth garnered from all parts of the earth', the party were invited to a new clothing factory opened in King Street and then onto the new straw hat factory in Junction Street Forest Lodge. This hat factory is the extant building. The journalist from the *Evening News* reported:

'The party on arrival found the place gaily decorated outside and inside. The whole process of straw hat making in all its varied details was exhibited in one of the most complete hat factories that could possibly be erected. The establishment is specially in charge of Mr. and Mrs. Wooding, who have come from Luton, Bedfordshire, to take charge of the working of it and to instruct the hands that are being put on.'

The journalist from the *Sydney Morning Herald* wrote:

*'The factory is situated in Junction-Street Forest Lodge. It is expected to develop into a big thing and will shortly employ a large number of hands. Mr. W.W. Fogarty, manager of the department, explained the process of manufacture, an inspection of which proved highly interesting. The factory has been working only about a fortnight. The skilled labour necessary was imported from Luton, Bedfordshire, the recognised home of the straw hat industry. Any model of straw hat can be turned out, and it will now be possible for Messrs. McArthur to meet the demand for local tastes. The natural straw is mainly imported from Japan, from whence it is shipped in bundles of plaits, each containing between 50 and 60 yards. The thinner straw, however, is obtained from Italy. The visitors had an opportunity of watching the operation of making the ordinary sailors hat, from the bleaching of the straw, its rolling, modelling and stitching, blocking, trimming and final packaging. Naturally it is a very clean operation, and most of it can be deftly done by girls.'*³⁷

The two newspaper reports identify the contractors as A. Deane and Sons. No architect/designer is identified. The hat factory flourished; in 1903 it was reported that the machinery had been duplicated to keep up with demand and that the factory turning out '500 dozens' a week.³⁸

In the years after the hat factory opened, the Municipality of Glebe reached capacity. By 1917, the population had reached 23,000 and there were now 4,500 dwellings.³⁹ The appeal of Glebe as a residential area had already begun to decline by this period as increasing numbers of Sydneysiders were seduced by the Garden City ideal and moved to the expanding ring of outer suburbs. The poor condition of the Glebe properties still owned by the Church did nothing to attract people to the area:

*'...the Synod...has left itself open to the criticism that although it is now landlord (i.e. after the expiration of the original 99 year leases) it is not attempting to demolish the slums and erect modern buildings...the terraces and cottages built by the lessees have developed into slums; because as the term of the lease neared expiration, no improvement nor any attempt at improvement, were made to keep the property in good repair...'*⁴⁰

The hat factory was conveyed to James Percival Adamson (manufacturer) and Wilfred Vivian Wilkinson (manufacturer) on 19 August, 1926 and thence to J.P. Adamson Limited on 8 June, 1924.⁴¹ It continued in use as a hat factory.

In 1968, J.P. Adamson Ltd began negotiations with A.G. Campbell Pty Ltd for the sale of the hat factory. A.G. Campbell Ltd were a whole sale grocer who already owned No. 14-20 Junction Street and land to the rear of the hat factory access from Larkin Street. A plan, Figure 17, lodged at Council in 1968 shows the hat factory with a large shed to the rear, since demolished. When this shed was erected is not known. It does not appear to be present in the

³⁷ 'Messrs. W. and A. McArthur Limited', The Sydney Morning Herald, 28 July, 1900.

³⁸ 'McMillan's Denial', The Raleigh Sun, 11 December, 1903.

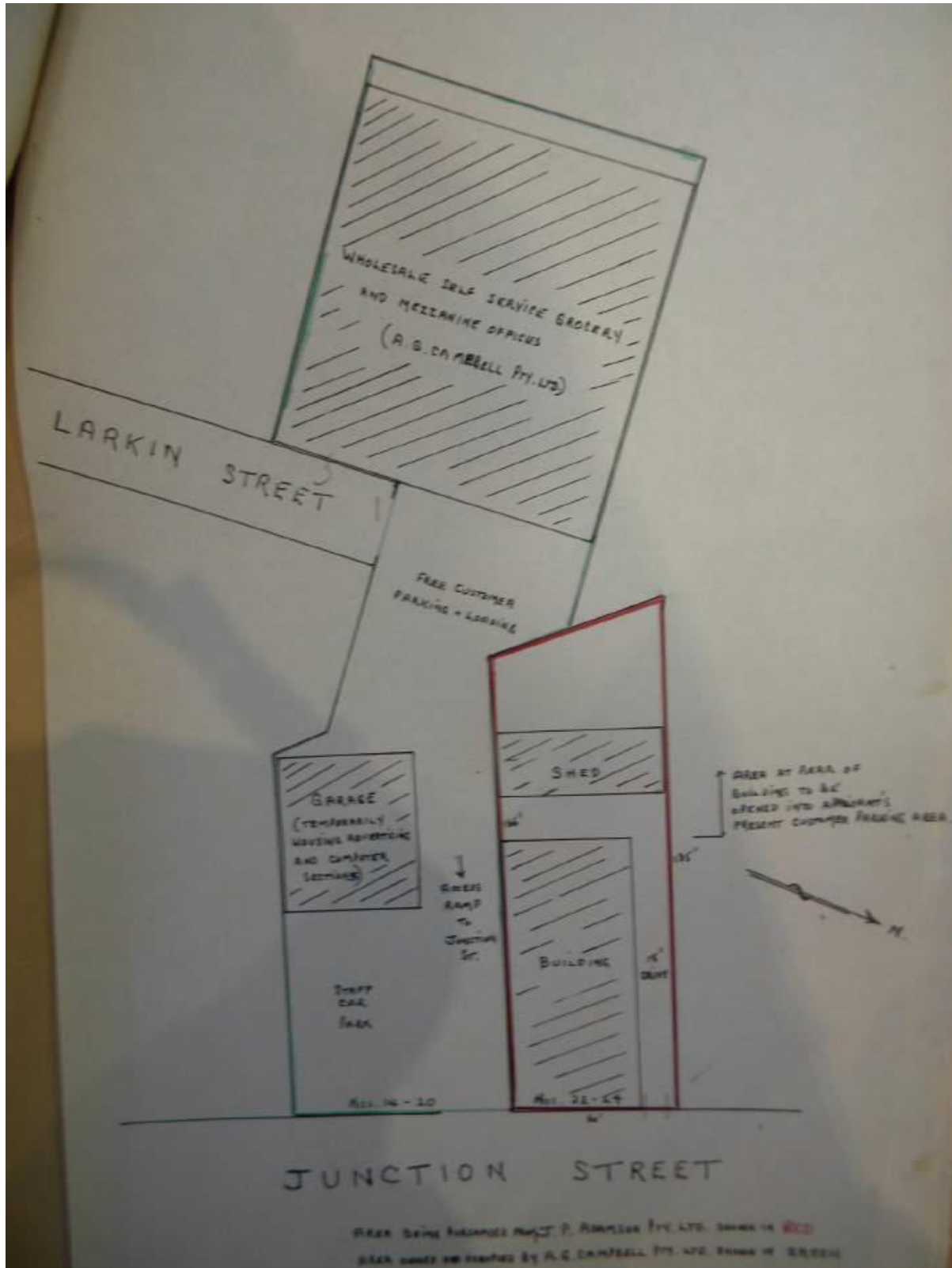
³⁹ Statistics cited in L.G. Norman, op.cit., 1960, p.13.

⁴⁰ 'The Glebe': The Church as Landlord', Sydney Morning Herald, 13 April, 1924. Mitchell Library, Newspaper Clippings, Volume 165, p.91.

⁴¹ Transfer attached to Certificate of Title Volume 478 Folio 240, now Volume 6365 Folio 44. NSW LPI.

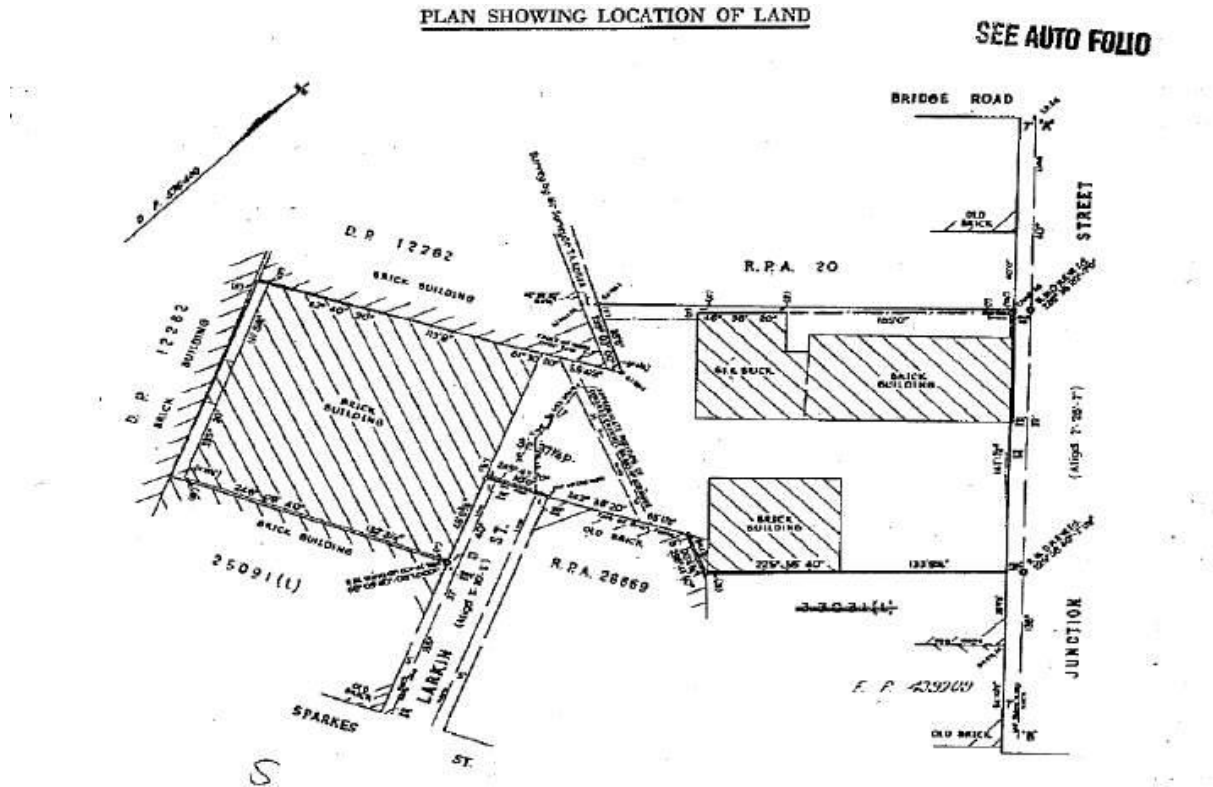
1939 survey (Figure 13 above); it is, however, clearly visible in the 1943 aerial photograph (see Figure 14 above).

Figure 17: Plan attached to a letter to the City Building Survey from A.G. Campbell dated 4 March, 1968 showing land already owned by A.G. Campbell (outlined in green) and land they are negotiating to purchase, outlined in red. DA 1968/234.



The site was conveyed to A.G. Campbell Pty Ltd on 5 July, 1968.⁴² Figure 18 reproduces a Certificate of Title issued in February 1971, showing the footprint of buildings on this part of the site at this time.

Figure 18: Certificate of Title Volume 11519 Folio 4. Edition issued 9 February, 1971. NSW LPI.



The above plan shows that the shed to the rear of the former hat factory had been removed by this time and replaced with an 'L-shaped' addition, also since demolished. No building records relating to this addition were located in the City of Sydney Archives. Similarly, no records relating to the construction of the extant addition were located. Stylistically, it belongs to the 1970s.

This lot was conveyed to the Local Government Superannuation Board on 15 July 1982. The land was leased back to A.G. Campbell (Self Service) Pty Ltd for three years.⁴³ The title has not been investigated beyond this point.

3.5.4 Sub Area 4

The following considers the history of that part of the site identified in Figure 19.

⁴² Transfer attached to Certificate of Title Volume 6365 folio 44, now Volume 11519 Folio 4. NSW LPI.

⁴³ Certificate of Title Volume 11519 Folio 4. NSW LPI.

Figure 19: Sub Area 4. SIXMaps; annotations by WP Heritage.



On 28 February, 1870, this part of the site, identified as part of Lot 6 and comprising 17 $\frac{3}{4}$ perches, was conveyed from Holt to George Rollings, boot maker.⁴⁴

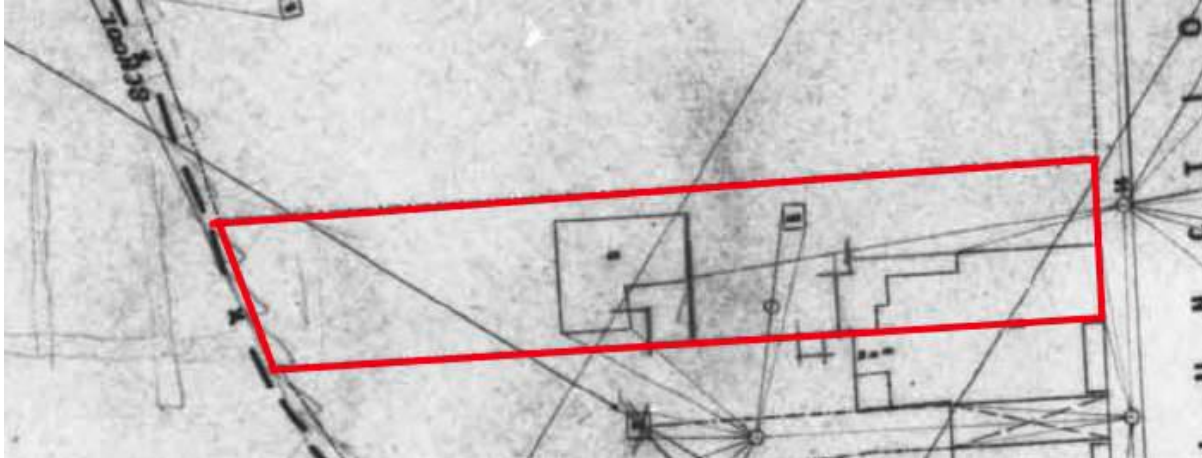
Rollings is first listed in John Sands' Sydney and Suburban Directories in Junction Street in 1870. The early directories are alphabetical only, making it difficult to say if he was occupying this particular site in Junction Street. He can, however, be clearly located on this site in the directory of 1879 and is listed as the owner and occupier of a house on this land in the Rate Record for the year commencing 2 February 1880. Rollings continues to be listed by Sands' Directories on this site until 1894. He is listed by the directory as a bootmaker; in 1890, he is listed as a grocer and bootmaker. The Rate Record of 1896 lists Martha Rollings and the owner and occupier and describes the improvements as shop and residence. By 1899, the occupant was John Harriot, grocer; in 1900 and 1901 William Atfield, green grocer; in 1903 and 1904, William Bousfield; and 1907 and 1910 Nathan Cohen, grocer.

Rate records indicate that there was a second dwelling on Rolling's land, listed as 'off' the street. In 1896 and 1899 this was occupied by Annie Brown and in 1901 by W.A. Brown.

The two dwellings on the site are shown by the 1889 survey, which also identifies them as being of brick construction (Figure 20).

⁴⁴ Certificate of Title Volume 3 Folio 201 now Volume 108 Folio 201. NSW LPI.

Figure 20: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only. Sydney Water Archives, PWDS1544-S361 (detail).



Rollings conveyed his land to William Wiltshire, a builder, on 3 March, 1909.⁴⁵ Sands' Directories indicate that Wiltshire occupied his land.⁴⁶

Wiltshire sold the land to James Tumeth, horse breaker, on 14 October, 1921.⁴⁷ Tumeth is never listed as a resident of Junction Street in Sands' Directories. Different tenants are listed for this land from 1921 through to the last published directory of 1932-3. There are two, possibly three listings for this site during this period. There is only one listing for 1930 and 1932-3 being for Mrs. M. Amos, grocer and Mrs. Ruby Manning, grocer, respectively. The 1939 survey of Glebe clearly identifies a shop, with a cottage to the rear at this time. Refer to Figure 21.

⁴⁵ Certificate of Title Volume 108 Folio 201. NSW LPI.

⁴⁶ Street numbers in Sands' Directory during this period are varied.

⁴⁷ Certificate of Title Volume 109 Folio 201 now Volume 4561 Folio 90. NSW LPI.

Figure 21: Housing Improvement Board of NSW, Municipality of Glebe, Detail Map, 1939 (Detail only). City of Sydney Archives.



The National Trust Limited took ownership of the site as the mortgagee in possession on 21 June, 1934. Five months later, on 20 November, 1924, it was conveyed to Mary Helen Birch.⁴⁸

The site was conveyed to Terence Ireland Carter, hydrographer, on 29 August, 1960. It was transferred on the same day to A.G. Campbell Pty Ltd.⁴⁹ No. 20 was dismantled with Council permission in 1962 as part of an application to use Nos. 14, 16, 18 and 20 Junction Street as a car park.⁵⁰ The demolition also provided access to a grocery warehouse to the rear, beyond the current site boundaries.⁵¹

In 1975, architects Lipson, Kaad and Fotheringham made an application to construct a new three storey building on No. 22-24 Junction Street, fronting Junction Street and adjacent to the former Hat Factory. The former Hat Factory was being used as the company headquarters. The new building was intended to be an extension of the headquarters. The existing improvements on the site at this time were described as being a single storey brick factory with a concrete floor and an A/C roof, then being used as a garage.⁵² The proposed building was never erected.

⁴⁸ Certificate of Title Volume 4561 Folio 90. NSW LPI.

⁴⁹ Certificate of Title Volume 4561 Folio 91 now Volume 11519 Folio 4. NSW LPI.

⁵⁰ Information obtained from DA Record 1954/106 relating to a development application for No. 22-24 Junction Street.

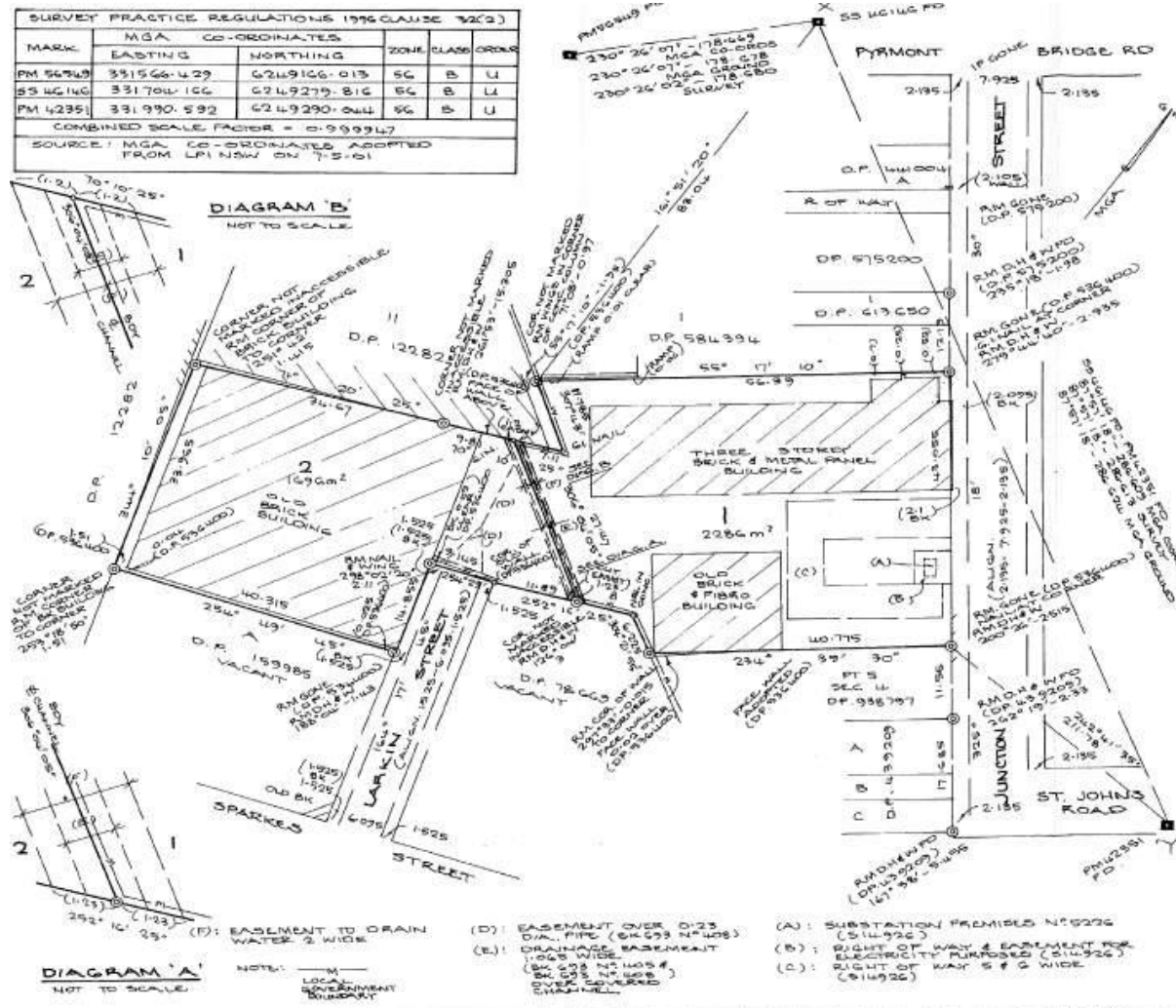
⁵¹ DA 1961/404.

⁵² DA Application No. 1954/106.

The site was conveyed to the Local Government Superannuation Board on 15 July 1982. The land was leased back to A.G. Campbell (Self Service) Pty Ltd for three years.⁵³ The title has not been investigated beyond this point.

Figure 22 reproduces a survey of this part of the site carried out in 2001 for the purposes of subdivision, showing the buildings that stood upon it at that time.

Figure 22: Detail of a survey carried out by S.T. Conroy in August 2001. Detail of D.P. 1035720. NSW LPI.



The site was conveyed to the Local Government Superannuation Board on 15 July 1982.⁵⁴ The title has not been investigated beyond this point.

3.5.5 Sub Area 5

The following relates to that part of the site identified in Figure 24.

⁵³ Certificate of Title Volume 11519 Folio 4. NSW LPI.

⁵⁴ Certificate of Title Volume 11519 Folio 4. NSW LPI.

Figure 23: Sub Area 5. SIXMaps; annotation by WP Heritage.



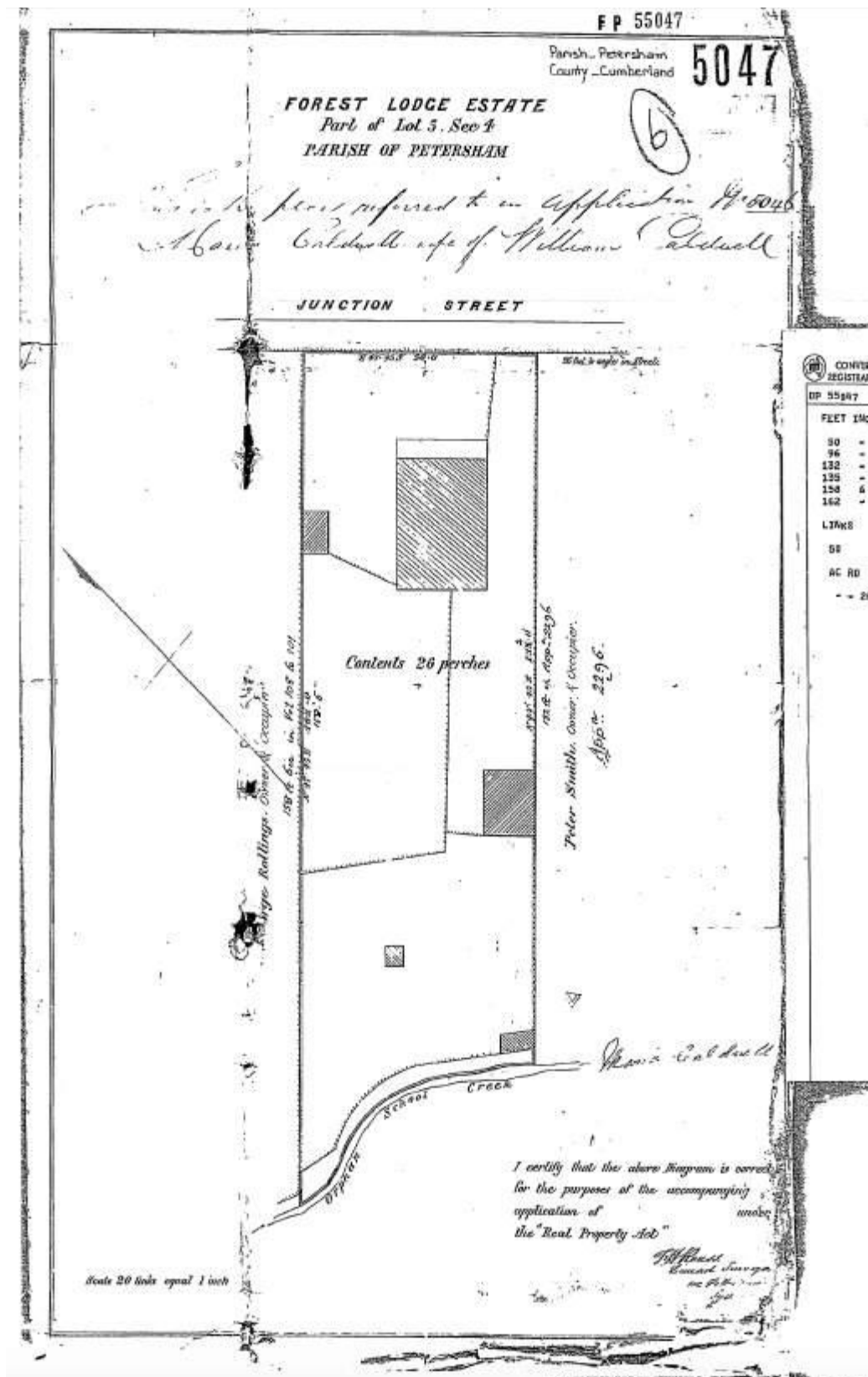
This part of the site was brought under the provisions of the Real Property Act until 1880. The Schedule attached to the application indicates that the land, comprising 26 perches part of Lot 5 Section 4 of the Forest Lodge Estate, was conveyed by G.W. Allen to Maria Caldwell, wife of William Caldwell, on 17 June, 1880.⁵⁵ When Maria brought the property under the Provisions of the Real Property Act in 1880, the land was valued at £200.⁵⁶

William Caldwell is first listed in Junction Street in the Sands' Directory of 1879. The Rate Record for the year commencing 1880 confirms that there was a house on this land at this time. Later directories identify him as a commission agent. William Caldwell and later Maria Caldwell continued to be listed on this site until at least 1915. Figure 24 reproduces a survey on this part of the site prepared in 1880 at the time that the Primary Application was made.

⁵⁵ Schedule attached to Primary Application No. 5047. NSW LPI.

⁵⁶ Schedule attached to Primary Application No. 5047. NSW LPI.

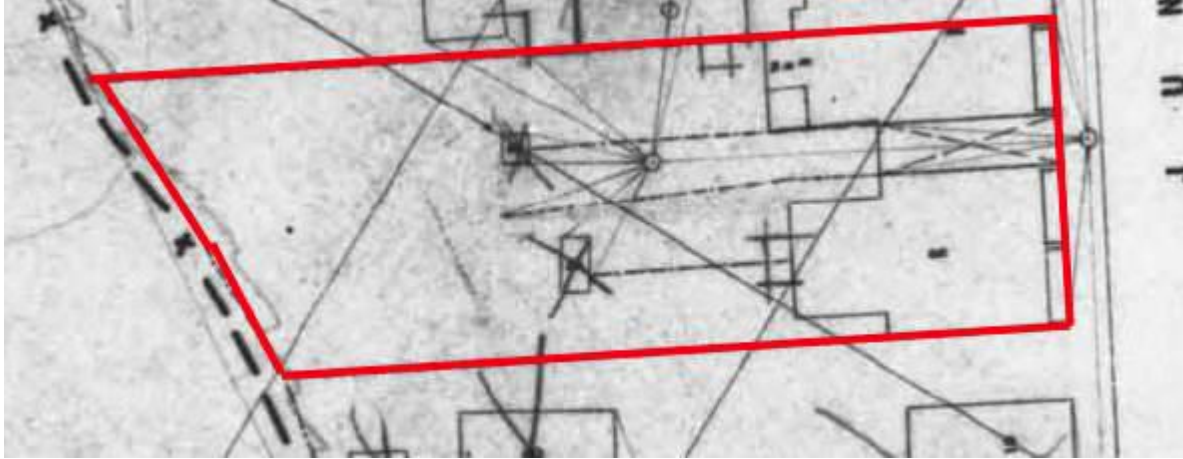
Figure 24: F.H. Reuss, Forest Lodge Estate Part of Lot 5 Section 4 Parish of Petersham, 1880. NSW LPI D.P. 5047.



Caldwell evidently replaced the building shown by Figure 23. The Rate Record for 1889 lists three houses owned by the Caldwell's on their land, identified as Nos. 14, 16 and 18 Junction Street. is a detail from the 1889 survey. The buildings are identified as being of brick

construction. The rate record for this year describes each property as comprising 'house and stables.' Note what appears to be a covered cart way between what became Nos. 16 and 18 Junction Street.

Figure 25: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Detail only. Sydney Water Archives, PWDS1544-S361 (detail).



Various people occupied the dwellings on this part of the site as tenants of the Caldwell's. Richard Martin, cab proprietor, occupied No. 14 from at least 1890 through to 1905. John Harriot occupied No. 16 from at least 1900 through to 1912; William Caldwell occupied No. 18. The Rate Record for 1901 continues to describe each property as comprising a house and stables.

Maria Caldwell conveyed the property to Walter Henry Gors, gentleman, on 2 June, 1913.⁵⁷ Over the following years, ownership of the property changed on several occasions as follows:

- Justin McSweeney, contractor, 23 November, 1914.
- Albert Hassall Cooper, grazier, 14 October, 1918.
- Janet Cooper, widow, by transmission, 22 August, 1922.
- Clarence Alexander Sherriff, grocer (and his bankrupt estate), 16 April, 1923.
- Robert Anderson, estate agent; Eadith, Minnie and Sabina Anderson, spinsters, 22 August, 1928.⁵⁸

None of these owners occupied the site; the buildings continued to be tenanted. The survey plan of 1939, Figure 26, shows a similar footprint for the three dwellings on the site to the 1889 survey, with a large outbuilding running across the rear of the three lots.

⁵⁷ Certificate of Title Volume 514 Folio 206. NSW LPI.

⁵⁸ Transfers attached to Certificate of Title Volume 514 Folio 206 and Volume 3353 Folio 223. NSW LPI.

Figure 26: Housing Improvement Board of NSW, Municipality of Glebe, Detail Map, 1939 (Detail only). City of Sydney Archives.



There is no evidence of the brick building that now stands on this site in the 1939 survey above or the 1943 aerial photograph, Figure 27.

Figure 27: NSW Lands Department, Aerial photograph over the site, 1943. SIXMaps.



On 17 January, 1947, the property was transferred to Alexander Gordon Campbell, company manager. Just over three years later, on 1 May, 1951, the property was transferred to A.G. Campbell Pty Ltd.⁵⁹

In 1962, the existing dwellings at Nos. 14, 16, 18 and 20 Junction Street, were dismantled with Council permission for use as a car park.⁶⁰

The existing building on the site is likely to have been constructed in the 1950s-1960s. No records relating to its construction have been located.

The site was conveyed to the Local Government Superannuation Board on 15 July 1982.⁶¹ The title has not been investigated beyond this point.

3.5.6 Sub Area 7

No land title search has been carried out on this part of the site, which is defined by Figure 28.

⁵⁹ Transfers attached to Certificate of Title Volume 4212 Folios 181 to 184 inclusive, Volume 5736 Folio 22; Volume 11519 Folio 4.

⁶⁰ Information obtained from DA Record 1954/106 relating to a development application for No. 22-24 Junction Street.

⁶¹ Certificate of Title Volume 11519 Folio 4. NSW LPI.

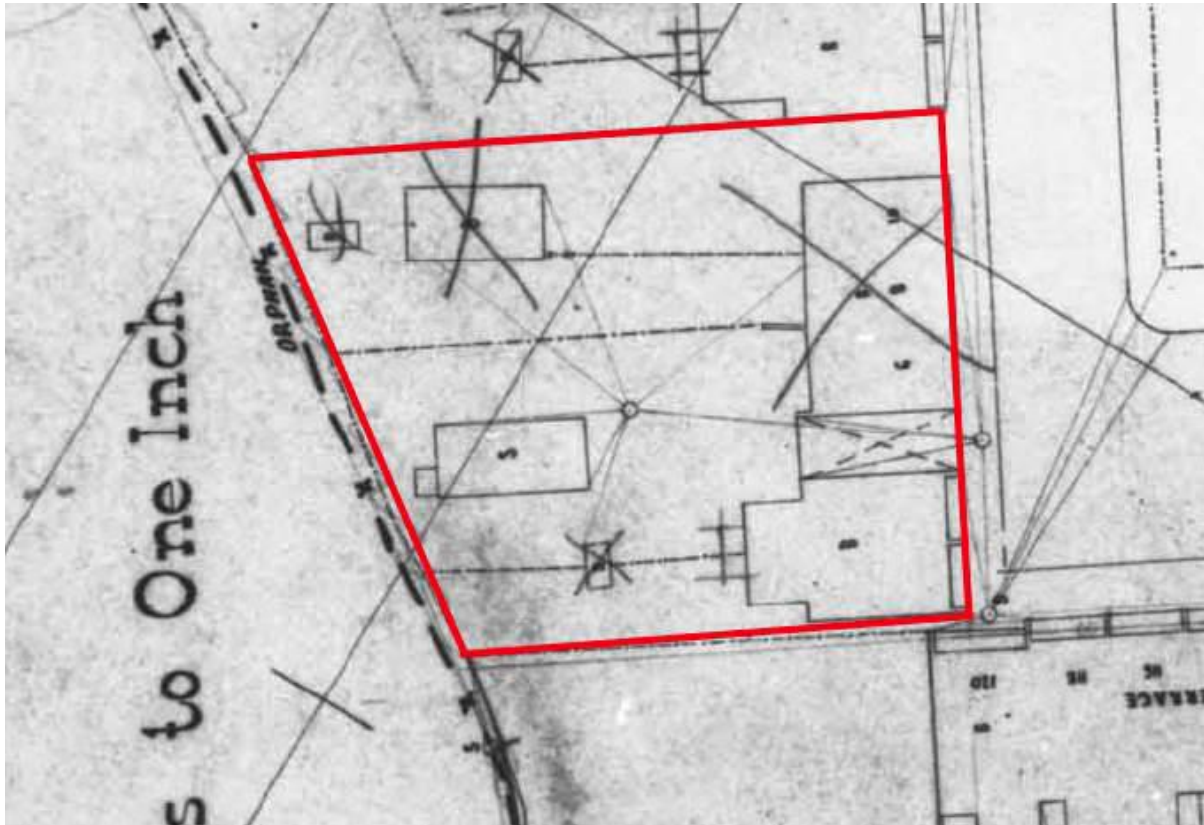
Figure 28: Sub Area 5. SIXMaps; annotation by WP Heritage.



Rate Records indicate that, by 1880, there were several houses and one shop-residence on this part of the site. By 1899, what were then Nos. 2, 4 and 6 Junction Street were owned by Lydia Woodford. Nos. 2 and 4 were described as houses and No. 6 as a shop-residence. Woodford did not occupy any of these dwellings. The street numbers on this part of the site have remained unchanged.

Nos. 8, 10 and 12 Junction Street were owned by Peter Smith, who occupied No. 10; various other Smiths, presumably relatives, occupied the other dwellings. The survey of 1899, Figure 29, shows that the buildings fronting the street were all of brick construction. The outbuilding behind No. 10 was of brick construction; the outbuilding behind No. 6 was of stone construction.

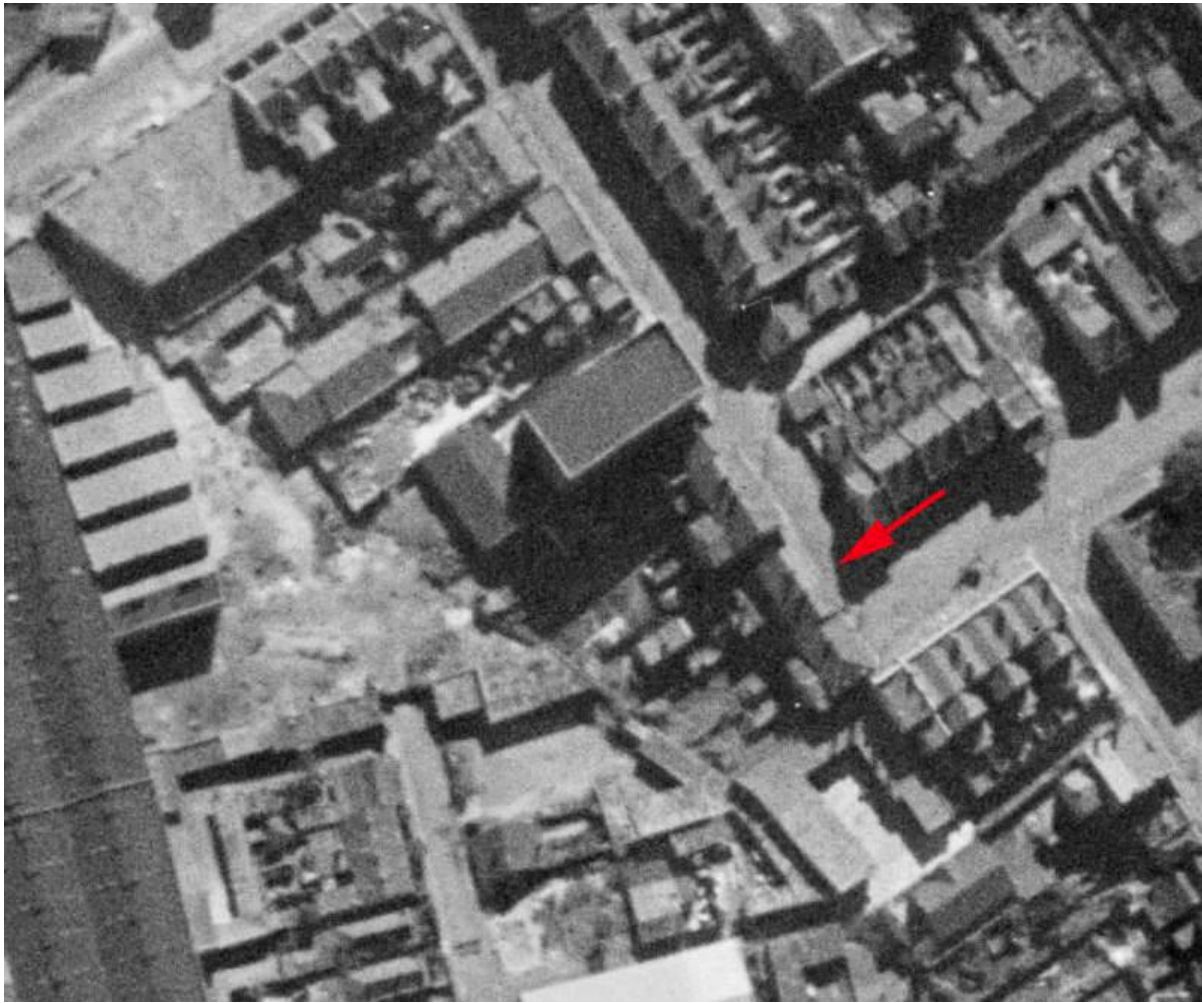
Figure 29: J.F. Truscott, Blackwattle Detail Series, The Glebe, Sheet 31, June 1889. Sydney Water Archives, PWDS1544-S361 (detail).



Sands' Directories indicate that No. 6 continued to be used as a shop-residence until at least 1932-3; it is marked as a 'shop' in the 1939 survey of Glebe.⁶² Sands' Directories indicate that it was a grocer's shop from at least 1895 until at least 1932-3. Little change is evident from the 1889 survey and the aerial photograph of 1943 (Figure 30).

⁶² Housing Improvement Board of NSW, Municipality of Glebe, Detail Map, 1939 (Detail only). City of Sydney Archives.

Figure 30: NSW Lands Department, Aerial photograph over the site, 1943. SIXMaps



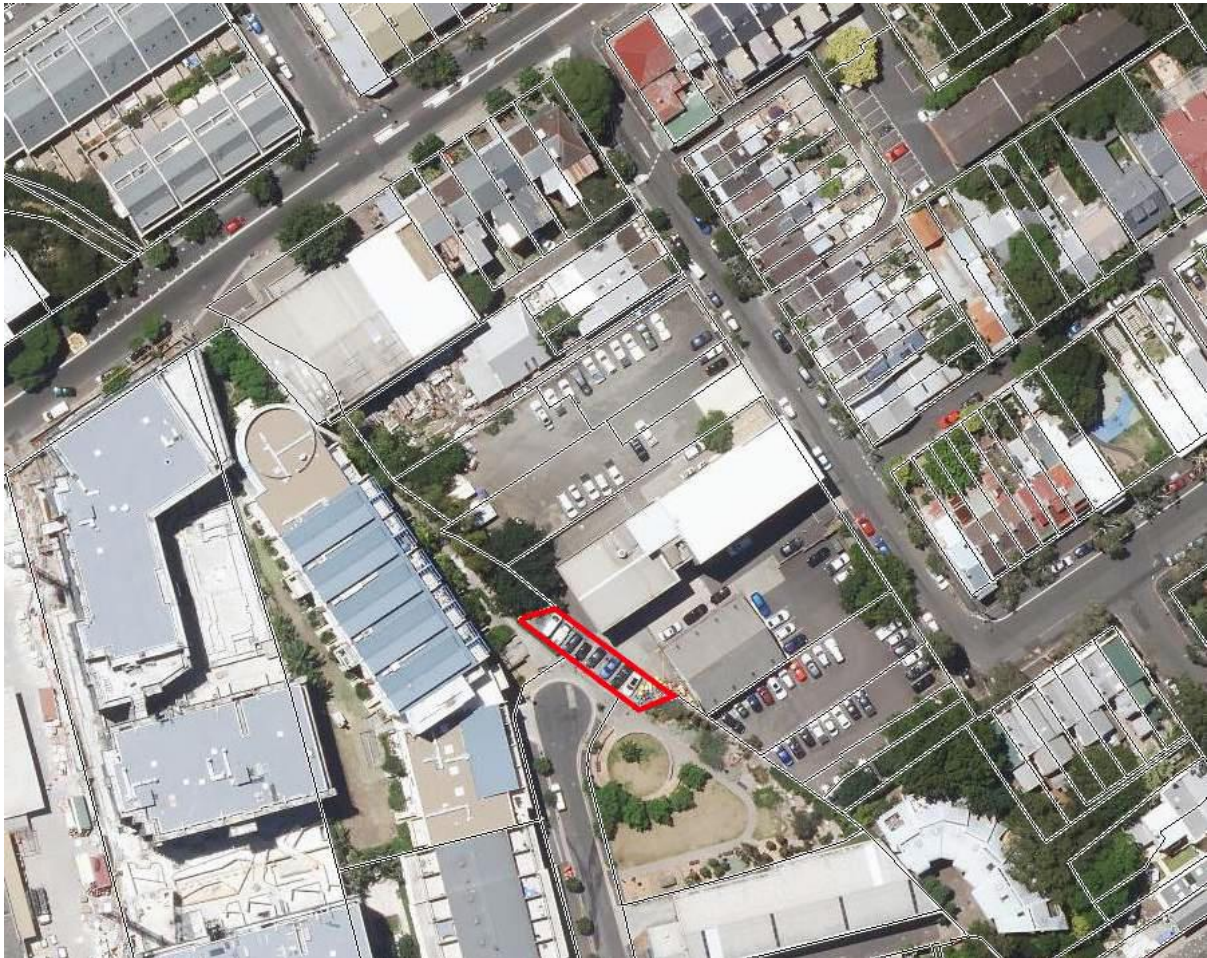
Council records show that, by 1968, Nos. 8-12 Junction Street were being used by Lawson Brothers Carriers as part of their depot at Nos. 2-10 Larkin Street. No. 12 was described as being the site of a demolished dwelling; Nos. 8 and 10 were 'old' two storey brick terrace houses, currently being used for storage and garaging.⁶³ When these dwellings were finally demolished is not known.

3.5.7 Sub Area 8

This area comprises only a small part of the site, defined by Figure 31. The Orphan School Creek formed the boundary of the Camperdown Estate, being the grant originally made to William Bligh on 10 August, 1806. The land was first subdivided as part of Lot 24 of the Camperdown Estate in the 1840s. The primary frontage of this lot was to Larkin Street. This land has a complex history of ownership; it was not brought under the provisions of the Real Property Act until 1945 by A.G. Campbell, acting for A.G. Campbell Pty Ltd, at which time it was described as vacant land.

⁶³ DA 1968/623.

Figure 31: Sub Area 8. SIXMaps; annotation by WP Heritage.



3.6 Recent site history

In 1997, Robertson and Marks made an application to Leichhardt Council for the construction of 15 warehouse units at No. 2-32 Junction Street (i.e. the entire site) and the use of the former hat factory as offices.⁶⁴ Figure 32 reproduces a detail of the elevation of the former hat factory provided as part of this application. If accurate, it provides evidence that the changes made to this elevation since this time are recent in date. Although approved, the work did not proceed.

⁶⁴ DA 59/97.

Figure 32: Robertson & Marks Architects, Warehouse Development, 32 Junction Street, Camperdown, Elevations and Sections, dated 20 November 1996 (GA-04 A). City of Sydney Archives, DA 59/97.



4.0 SITE ANALYSIS

4.1 Background

A site inspection was undertaken by Shona Lindsay on 31 March 2017. The inspection was necessary to determine the extent of the study area, and potentially identify and assess any areas of disturbance. The survey area was covered on foot and the survey was undertaken in accordance with best practice standards.

4.2 Site description

The study area currently comprises of a three-storey brick warehouse built in 1900s with a later rear extension (Figure 33 and Figure 34), a brick, timber and metal shed (Figure 35 and Figure 36), and a bitumen carparking area (Figure 37 and Figure 38). An access road is located south of the warehouse building and has a sandstone retaining wall (Figure 39 and Figure 40).

The topography of the site is slopping west towards Orphan School Creek, which borders the western side of the study area (Figure 41 and Figure 42). A brick wall forms the boundary of the southern extent between the properties (Figure 43). The site has a sandstone retaining wall along the south-eastern side of the carpark. (Figure 44). Kimber Lane forms the northern boundary of the study area.

Areas of archaeological potential were identified during the site visit including a brick pile, sandstone retaining walls, brick footings of former buildings, sandstone garden beds, and a sandstone drain along the southern extent of the study area (Figure 45 to Figure 50).

Figure 33: View of the three-storey brick warehouse



Figure 34: View of the extension to the rear of the warehouse



Figure 35: View from Junction Street towards shed



Figure 36: View of brick wall of shed



Figure 37: View of the northern carparking area showing demolition rubble in the left foreground



Figure 38: View of the brick retaining wall between the northern carpark and the warehouse building



Figure 39: View of the access ramp and carparking between the warehouse and the shed



Figure 40: View of the sandstone retaining wall for the access road to the south of the warehouse building



Figure 41: View of the southern carparking area showing the slope upwards towards Junction Street



Figure 42: View of the topography of the southern carpark showing the sloping to the west (right)



Figure 43: Brick wall that forms the boundary between the southern carpark and the residential properties to the south



Figure 44: View of sandstone retaining wall between Junction Street (at a higher level) and the southern carpark (lower level)



Figure 45: View of former brick pile next to the sandstone retaining wall for the access road



Figure 46: View of sandstone garden beds in the south-eastern corner of the study area



Figure 47: View of brick footings in the northern carpark



Figure 48: View of brick footings in the northern carpark



Figure 49: View of the sandstone drain that is aligned to the southern extent of the property, providing drainage from Junction Street towards Orphan School Creek



Figure 50: View of damaged sandstone retaining wall to the east of the shed



5.0 ABORIGINAL ARCHAEOLOGICAL ASSESSMENT

5.1 Background

Assessing Aboriginal archaeological potential is closely related to analysing environmental factors to fit predictive models of archaeological site location. Predictive models for the Sydney area, consistent with the OEH due diligence guidelines, note that Aboriginal archaeological sites are more likely located within 200 metres of water, within sand dune systems, located on ridge lines or near caves, rock shelters or cliff faces.⁶⁵ Modern ground disturbance significantly reduces the likelihood of locating and identifying Aboriginal archaeological objects. This chapter will assess these factors to determine the likelihood of locating Aboriginal archaeological objects.

5.2 Environmental context

Landform, Geology and Soils

The study area is located on a westward sloping hill adjacent to Orphan School Creek. The local area has low relief with slopes usually less than <5%. The underlying geology of the study area consists of middle Triassic epoch black to dark-grey shale and laminate deposits belonging to the Wianamatta Group.

The study area was originally located on Blacktown soils. The Blacktown soils are shallow (<100cm) hard setting mottled red and brown podzolic soils on crests and yellow podzolic soils on lower slopes and along drainage lines. The Blacktown soil landscape is generally associated with gently undulating rises. The soils are primarily poorly drained with very little erosional activity with minor sheet and gully erosion in zones stripped of vegetation.⁶⁶

Hydrology

Orphan School Creek is located on the western boundary of the study area. It is a formalised storm drain that is covered in the area adjacent to the study area. It is a tributary of Johnstons Creek which flows into Rozelle bay.

Johnston's creek is one of a number of drainage channels running into Port Jackson that has its headwaters on the watershed ridge between Botany Bay and Port Jackson.⁶⁷ Johnston's creek has been significantly altered by canalisation.

Natural Resources

Aboriginal people were highly mobile hunter-gatherers utilising different landscapes and resource strategies across the Sydney basin. Different resources may have been available seasonally, necessitating movement or trade across the landscape.⁶⁸ Aboriginal people hunted kangaroo and wallaby and snared possums and other small animals and birds for food and skins. Plants were likewise an important source of nutrition for past Aboriginal peoples with numerous plant species utilised for food, manufacture and medicinal purposes.⁶⁹

⁶⁵ Office of Environment and Heritage 2010 *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales*, p12.

⁶⁶ *ibid.*

⁶⁷ JMcD CHM 2007: 7

⁶⁸ Attenbrow 2010: 78

⁶⁹ Attenbrow 2010: 41

Given the location of the study area within close proximity to fresh water sources as well as the shore of Rozelle Bay it is likely that Aboriginal people would have employed a range of subsistence activities to take advantage of their local environment. Coastal resources such as saltwater fish and shellfish would have been available to groups as well as small animals, plants, freshwater fish and eels.⁷⁰ Banksia flowers, wild honey, varieties of wild yam and Burrawong nut were recorded as important food sources, particularly for inland groups. Small animals such as bandicoots and wallabies were hunted with traps and snares.⁷¹

Modern Land Use and Disturbance

European land use has severely disturbed the ground surface in the study area. Early European forest clearing activities for agriculture is likely to have caused minor disturbance of potential Aboriginal archaeological deposits. Farming, residential, and small-scale industrial uses would have impacted archaeological deposits throughout the study area. It is unlikely that Aboriginal archaeological deposits would remain in the area after the clearing and levelling of the site for buildings.

5.3 Ethno historical background

Aboriginal people traditionally lived in small family or clan groups that were associated with particular territories or places. The study area is located within the coastal Darug language group area. Attenbrow (2010: 34) describes this area as covering:

...the Sydney Peninsula (north of Botany Bay, south of Port Jackson, west to Parramatta), as well as the country to the north of Port Jackson, possibly as far as Broken Bay.

There is some uncertainty as to whether the study area lies within the clan lands of the Cadigal or the Wangal. This is due to conflicting information provided in two historical quotes made by early colonists. Attenbrow (2010: 22) quotes the relevant descriptions. In summary, Governor Phillip states that the Cadigal lands extend from the entrance of the harbour, along the south shore, to Sydney Cove. The Wangal lands extend along the south side of the harbour from Sydney Cove to Parramatta. Alternatively, Philip Gidley King states that the Cadigal lands cover the south side of Port Jackson, extending from South Head to Long Cove (Iron Cove). The district of the Wangal extends from Long Cove to Parramatta. It is therefore not possible to identify the clan that would have been associated with the study area because the clan boundaries were not clear to the early Europeans.

With the establishment of European settlement at Sydney Cove, Aboriginal people rapidly became alienated from their land and resources. A major epidemic of an introduced disease, probably smallpox, which broke out in 1789, had a devastating effect on the Aboriginal population. Historical records indicate that in just over one year the Aboriginal population of Sydney had decreased by more than a half.⁷² The activities of European colonists compounded the dislocation and destruction of the traditional life ways of Aboriginal people. In spite of this, many parts of the Sydney region, such as the Mulgoa Valley, Emu Plains, Plumpton, Manly, La Perouse, Salt Pan Creek and Campbelltown continued to be occupied by Aboriginal people until at least the mid-1800s.⁷³

⁷⁰ Tench 1793:230, Kohen 1986:77

⁷¹ Collins 1798, Kohen 1985:9

⁷² Attenbrow 2010: 22

⁷³ Attenbrow 2010: 23

5.4 Archaeological context

5.4.1 Previous archaeological assessment

There have been limited Aboriginal archaeological investigations undertaken within the immediate vicinity of the study area. Indeed, a limited number of Aboriginal sites have been identified in urban Sydney contexts in general. The reason for this is twofold; the first, due to the intensive development that has taken place since European settlement and subsequent modification of the natural landscape. The second is a result of the focus of previous investigations, which are primarily conducted in conjunction with development projects. Aboriginal sites in urban Sydney contexts are typically located in pockets of remnant topsoil either beneath or between historical archaeological contexts.⁷⁴

Comber Consultants 2011, Johnsons Stormwater Canal

Comber was engaged by the City of Sydney to complete a due diligence assessment of a proposed shared pathway located adjacent to Johnsons Creek. The study area is located 400m northwest of the current study area. Comber confirmed that the study area was located within an area of reclaimed land. Comber suggested that the reclamation and subsequent development would have destroyed any sites that existed previously however highly disturbed artefact scatters and midden material may be present.

Biosis 2012, Wattle Street, Ultimo

Biosis completed an Aboriginal Cultural Heritage Assessment Report (ACHAR) for the Urbanest redevelopment on Wattle St, Ultimo 1.5km from the current study area. The ACHAR investigation was based on background research, ethno-historic data and geotechnical investigation. Biosis (2012) determined that, despite significant impact to the area since European occupation, it was likely that substantial and deep portions of alluvial soils would be present across the study area beneath European deposits.⁷⁵ Historical layers were identified to a depth of at least 2.5 metres and assessed as having low Aboriginal archaeological potential. However, alluvial soils located underneath extended to a depth of at least 7 metres below the surface and were considered to have moderate to high Aboriginal archaeological potential.⁷⁶ The potential was considered to be heightened by the proximity of the site to Blackwattle Creek.

5.4.2 Aboriginal Heritage Information Management System Search

The locations and details of Aboriginal sites are considered culturally sensitive information. It is recommended that this information and associated maps are removed from the report if it is to be made publicly available.

The AHIMS search provides information on the archaeological context of the area, and helps ascertain whether there are any previously recorded Aboriginal sites within the study area. A search of the AHIMS site register was conducted on the 30 March 2017 with the following parameters:

⁷⁴ AHMS 2007

⁷⁵ Biosis 2012a

⁷⁶ Biosis 2012

GDA 1994 MGA 56	331480 – 332070 E 6248900 – 6249480 N
Buffer	50 metres
Number of sites	0
AHIMS Search ID	274233

The search area was centred upon the study area, with a wide buffer of 200 metres in order to give context and account for errors in the AHIMS system. No recorded Aboriginal sites were identified within the search area.

5.5 Aboriginal archaeological assessment

5.5.1 Disturbance

The study area would have been cleared for the early land grants for agricultural means and later subdivision, impacting surface remains. Land within the study area is likely to have been cut and levelled along the east, south, north and western positions of the property to prepare the land for the construction of residences and to create more usable land along the creek area. The cut and levelling of the south-east section of the study area is clear between the different levels of Junction Street and the properties. These works are likely to have removed or disturbed any potential pre-1788 archaeological remains within these portions of the study area.

The addition of modern services over time is likely to have resulted in localised disturbance within trenches cut to accommodate pipes and conduit pits.

5.5.2 Assessment of Aboriginal archaeological potential

Archaeological potential is closely related to the levels of ground disturbance. However, other factors are also taken into account when assessing archaeological potential, such as whether artefacts were located on the surface, and whether the area is within a sensitive landform unit according to the predictive statements.

Historical research has shown that previous land uses have heavily impacted the study area from the mid- twentieth century until the late- twentieth century.

This Aboriginal Archaeological Assessment has identified that a large portion of the study area has been subject to these past ground disturbances. The Code of Practice defines disturbed land:

Sec 7.5 (4) For the purposes of this clause, land is disturbed if it has been the subject of human activity that has changed the land's surface, being changes that remain clear and observable.

This includes disturbed land via:

(f) construction or installation of utilities and other similar services (such as above or below ground electrical infrastructure, water or sewerage pipelines, stormwater drainage and other similar infrastructure),

(h) construction of earthworks associated with anything in paragraphs (a) – (g)

The study area has been impacted by landform modification for the construction of buildings. During the site inspection, no Aboriginal objects or natural soil were identified within the study area. As such, the study area has been concluded to not have the potential to contain Aboriginal objects. Artefacts have, however, been found on other creek or former creek lines in the Sydney area, including in Angel Place on the line of the former Tank Stream between George and Pitt Streets.⁷⁷ It is noted that no Aboriginal artefacts were located within test archaeological pits dug at Site 2 of the Westons Biscuit Factory Complex on Pymont Bridge Road, Camperdown.⁷⁸

⁷⁷ Reference cited in Anita Heiss and Melodie-Jane Gibson, *Barani: Aboriginal People and Place*. Online reference.

⁷⁸ Austral Archaeology, Weston's Biscuit Factory Complex (Site 2), Pymont Bridge Road, Camperdown, Archaeological Test Excavations, November 2005.

6.0 HISTORICAL ARCHAEOLOGICAL ASSESSMENT

6.1 Background

Non-Aboriginal archaeological potential is defined as the potential of a site to contain historical archaeological relics, as classified under the *NSW Heritage Act 1977*. Non-Aboriginal archaeological potential is assessed by identifying former land uses and associated features (e.g. structures, landscape modifications, wells, cisterns) through historical research, and evaluating whether subsequent actions (either natural or human) may have impacted or removed evidence of these former land uses.

The following discussion of the historical archaeological potential within the study area is based on the history of the site collected through known documentary resources and information recorded during the site's history. However, not all activities or aspects of historical land use are recorded over time and some documents may have been lost or never formally published.

Therefore, there is always some probability that unexpected historical archaeological remains may be encountered during works. The following discussion is, therefore, indicative only.

6.2 Known impacts in the study area

6.2.1 Background

Earlier impacts need to be identified before an assessment of archaeological potential can be undertaken. Subsurface impacts associated with former or current land uses have the potential to remove or damage potential archaeological remains.

Typically, the following need to be considered:

- The later a building was demolished, the greater the impact from construction (due to modernisation of machinery and demolition techniques).
- Historically, demolition activities carried out prior to 1920 often retained building foundations and were less likely to involve subsurface excavations. This was primarily due to a lack of appropriate machinery.
- The footing systems of single-storey buildings tend to have less impact than those of multi-storey buildings as they were not required to carry a heavy load.
- Typically, naturally higher areas in the landscape get cut down and levelled, and lower damp areas get in-filled to create more useable land.

6.2.2 The study area

The study area is known to have been subject to subsurface impacts since the 1880s, when residential and commercial buildings were constructed. These include, but are not limited to, the following:

- Land within the study area is likely to have been cut and levelled along the east, south, north and western positions of the property to prepare the land for the construction of residences and to create more usable land along the creek area. The cut and levelling of the south-east section of

the study area is clear between the different levels of Junction Street and the properties. These works are likely to have removed or disturbed any potential pre-1880s archaeological remains within these portions of the study area.

- Construction of buildings in the 1880s could have removed evidence of prior unknown structures and evidence of subdivision
- Construction of the 1900s warehouse and extension to the rear would have impacted archaeological remains in this area
- Construction of small industrial buildings to the north of the warehouse would have had localised impacts in this area to subsurface remains
- Construction of the brick shed would have had localised impacts in this area to subsurface remains
- The post-1943 demolition of buildings and structures for the car park would have impacted potential archaeological remains in the northern and southern sections of the site
- The addition of modern services over time is likely to have resulted in localised disturbance within trenches cut to accommodate pipes and conduit pits.

6.3 Overview of previous and current structures

Surveys of the study area demonstrate the first known buildings on the site to the 1880s. Previous structures within the study area included terrace houses and shops, sheds, toilets, outbuildings, stables, and small scale industrial buildings. The buildings were constructed from a mix of materials including brick, wood, and weatherboard construction. The majority of these buildings were owned by workers such as dairymen and blacksmiths, and some occupied by women such as Mary Kimber. Structures were still evident in the 1943 aerials of the site. It is unknown when these structures were demolished for the current carpark area, but some records show demolition for Council purposes in the 1960s..

The current structures consist of a 1900s three storey brick warehouse, an extension to the rear of the warehouse, brick and sandstone retaining walls, sandstone garden beds, a brick shed, bituminised carpark, and sandstone and modern drains.

6.4 Discussion of archaeological potential

The potential impacts to the study area have been outlined in the previous section. The following is a list of the typical types of archaeological remains that have been found in early 20th century residential archaeological sites.

- Structural remains associated with earlier buildings may include;
 - footings
 - the remains of basements or underfloor storage areas
 - early in ground services including sandstone, timber, brick and ceramic drains
- Other types of structures, typically found in the rear yards of early houses and generally not included on early plans (and therefore difficult to locate within certainty), may include;
 - wells
 - cesspits
 - rubbish pits
 - reservoirs

- cisterns
- sheds
- Other types of archaeological remains often found in small-scale industrial contexts may include;
 - evidence for gardens, layout and use of the yard areas
 - fence lines which may assist with clarification of lot boundaries and indicate the internal use of lots
 - evidence of land clearing or modification
 - rubbish dumps
 - other occupational debris

A series of gradations of potential have been identified and mapped to indicate the degree to which archaeological remains are likely to survive within the study area. The mapping of archaeological potential addresses the potential archaeological remains in the area, as the location of potential impacts is unknown. The overview map shows the likely remains within the study area. The identified levels of archaeological potential are:

Nil Potential: significant subsurface impacts have occurred within the area that are likely to have removed deeper sub-surface features such as wells, cesspits and their artefact-bearing deposits may survive and/or no known structures have occupied the area, nor have any significant activities taken place within it.

Low Potential: while there is likely to be quite high impacts in these areas, deeper sub-surface features such as wells, cesspits and their artefact-bearing deposits may survive.

Moderate Potential: while there are impacts in this area a range of archaeological remains are likely to survive across the site, including building footings and shallower remains as well as deeper sub-surface features.

High Potential: substantially intact archaeological remains could survive in these areas.

6.4.1 Phase 1: Early site history 1788-1830s

Evidence of the original land grants to Catherine King 'Catherine's Farm' (1795), the Church and School grant 'The Glebe' (1789), and William Bligh (1806) would be ephemeral and be difficult to determine in the archaeological record. The land was largely divided into for agriculture, and later subdivisions were not known to be developed for housing in the study area. There is no evidence that any structures were constructed on land within the study area.

Potential archaeological remains typically associated with nineteenth century agricultural use are ephemeral in nature. Activities such as tree clearance, fence construction, the development of unsealed roads and agricultural planting leave little material evidence and are not likely to be located.

There is nil-low potential for archaeological relics associated with this period of development to be present within the study area.

6.4.2 Phase 2: Development of Glebe and Forest Lodge -1830s -1860s

Ambrose Foss built his Forest Lodge in 1836 in the area located by 208 and 209 Pymont Bridge Road. Part of the study area was within his grant and possible archaeological remains could include tree plantings, and postholes of fences. Most of this would be ephemeral and unlikely to survive in the archaeological record.

By the 1860s the land was owned by G.W. Allen, T. Holt, T. Smart and R. Want, and was subdivided as the Forest Lodge Estate. A survey in 1863 does not identify structures within the study area. Subdivisions for the Forest Lodge Estate would include ephemeral remains such as land divisions and possible remains of structures not identified through early records.

There is nil-low potential that archaeological relics associated with this phase of use remain in the study area

6.4.3 Phase 3: Development of lots 1860s-1900s

Subdivision of Forest Lodge Estate would have resulted in further clearing of the land and creating lot boundaries. There are no known structures prior to 1880.

By 1880 there are multiple buildings within the study area. The 1880s plan marks numerous houses, a possible stable, and outbuildings for toilets.

The 1889 survey provides more details of the buildings and construction type, and also marks Orphan School Creek as being a covered wooden drain. Buildings within the study area consisted of semi-detached dwellings and shops such as grocers fronting the street with some being of weatherboard construction. The rear of the properties had toilets and outbuildings. These were a mix of brick and weatherboard construction. There is a possibility that some of the rear structures were stables. There also appeared to be a covered cartway between what became Nos. 16 and 18 Junction Street. A large amount of these structures were still evident on surveys and plans until the 1920s.

Possible archaeological remains dating to 1880-1889 could include brick footings, outbuildings, evidence of sheds, cesspits, wells, cisterns, drains, postholes, rubbish deposits, and associated artefact deposits.

There is low-moderate potential that remains of the buildings associated this phase of use remain within the study area. There is potential that archaeological remains from this phase of use would reach the local significance threshold This has been discussed further in Section 7.0.

6.4.4 Phase 4: Twentieth century development of lots - 1900s-1950s

The majority of buildings evident on the 1880s surveys and plans were still extant in the early 1900s with some remaining in the 1943 aerial. In 1900 the small building located at 12 Junction Street was replaced with the current three story brick warehouse.

A shift began by the 1920s with small industrial businesses operating on the premises to the north of the warehouse, such as a steel and wire works, which was still present in the 1943 aerial. This development included the construction of a one or two storey brick warehouse in the 1940s to the northeast of the study area, which most likely incorporated the earlier 1889 building noted on surveys, and was still extant in 1979.

To the south of the warehouse the buildings were residential and included small shops. A small shed was constructed at the rear of the warehouse in the 1940s. This was demolished for a later L-shaped extension to the warehouse building by 1971.

Possible archaeological remains dating to the industrial development of the site between 1900 – 1949 could include brick footings, evidence of industry, sheds, outbuildings, rubbish deposits, and associated artefact deposits. Possible remains of the former 1940s shed at the rear of the

brick warehouse could remain, but it is likely that potential remains were removed when the 1970s L-shaped addition and the current extension were constructed.

There is moderate - high potential for remains of the buildings associated this phase of use remain within the study area. It is unlikely, however, that remains from this phase of use would reach the local significance threshold. This has been discussed further in Section 7.0.

6.4.5 Phase 5: Modern development of site 1950s to present

In 1962, the existing dwellings at Nos. 14, 16, 18 and 20 Junction Street, were dismantled with Council permission for use as a car park. The demolition also provided access to a grocery warehouse to the rear, beyond the current site boundaries. Council records show that, by 1968, Nos. 8-12 Junction Street were being used by Lawson Brothers Carriers as part of their depot at Nos. 2-10 Larkin Street. No. 12 was described as being the site of a demolished dwelling; Nos. 8 and 10 were 'old' two storey brick terrace houses, currently being used for storage and garaging. When these dwellings were finally demolished is not known. This demolition would have removed surface and subsurface remains. It is not known when the other buildings identified in the 1943 aerial were demolished for the existing carpark.

There is potential for remains of the footings of the L-shaped addition to the rear of the warehouse that was evident in the 1971 plan to remain, but it is likely that when the current extension was constructed this removed any remains.

The existing brick shed on the site is likely to have been constructed in the 1950s-1960s. No records relating to its construction have been located.

Since 1943, development on the site has been minimal with the addition of a substation to the south of the access road near 12 Junction Street shown in the 2001 LPI plan, which has recently been removed.

Potential archaeological remains dating to this period could include modern services and utilities, footings of buildings, and rubbish deposits.

There is high potential the remains associated with this phase to be retained within the study area. It is unlikely, however, that remains from this phase of use would reach the local significance threshold. This has been discussed further in Section 7.0.

6.5 Overview of archaeological potential

While the history of the study area could have produced a range of archaeological evidence related to former activities and phases, the likelihood of such evidence surviving to the present is influenced by a range of factors. These factors include the durability of the material evidence and subsequent impacts such as demolition and construction. The areas of archaeological potential for locally significant remains are presented in Figure 51.

Phase 1 – nil- low potential for archaeological remains (likely to reach local significance threshold and therefore be considered 'relics' under the Heritage Act).

Phase 2 – nil-low potential for archaeological remains (likely to reach local significance threshold and therefore be considered 'relics' under the Heritage Act).

Phase 3 – Low-moderate potential for archaeological remains (potential to reach local significance threshold and therefore be considered 'relics' under the Heritage Act).

Phase 4 – Moderate-high potential for archaeological remains (unlikely to reach local significance threshold).

Phase 5 – High potential for archaeological remains (unlikely to reach local significance threshold).

Figure 51: Overview of archaeological potential within the study area



7.0 ASSESSMENT OF HERITAGE SIGNIFICANCE

7.1 NSW Heritage Assessment and Archaeological Research Potential Guidelines

Determining the significance of heritage items and archaeological remains is undertaken by utilising a system of assessment centred on the *Burra Charter* of Australia ICOMOS and Bickford and Sullivan's *Assessing the Research Significance of Historic Sites* (1984).⁷⁹ The principles of the Burra Charter are relevant to the assessment, conservation and management of sites and relics. Bickford and Sullivan's work examines the concept and assessment of archaeological research potential; that is, the extent to which archaeological resources can address research questions. They developed three questions which can be used to assess the research potential of an archaeological site:

- Can the site contribute knowledge that no other resource can?
- Can the site contribute knowledge that no other site can?
- Is this knowledge relevant to:
 - General questions about human history?
 - Other substantive questions relating to Australian history?
 - Other major research questions?

The assessment of heritage significance is outlined through legislation in the *NSW Heritage Act 1977* (Heritage Act) and implemented through the *NSW Heritage Manual* and the *Archaeological Assessment Guidelines*.⁸⁰ If an item meets one of the seven heritage criteria, and retains the integrity of its key attributes, it can be considered to have heritage significance.

The significance of an item or potential archaeological site can then be assessed as being of Local or State significance. If a potential relic is not considered to reach the Local or State significance threshold, then it is not a relic under the Heritage Act.

'*State heritage significance*', in relation to a place, building, work, relic, moveable object or precinct, means significance to the State in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item. '*Local heritage significance*', in relation to a place, building, work, relic, moveable object or precinct, means significance to an area in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.⁸¹

The overall aim of assessing archaeological significance is to identify whether an archaeological resource, deposit, site or feature is of cultural value. The assessment will result in a succinct statement of heritage significance that summarises the values of the place, site, resource, deposit or feature. The heritage significance assessment criteria are as follows:

⁷⁹ Bickford, A and S Sullivan 1984, 'Assessing the Research Significance of Historic Sites', in Sullivan S and S Bowdler (eds), *Site Surveys and Significance Assessment in Australian Archaeology* (Proceedings of the 1981 Springwood Conference on Australian Prehistory), Department of Prehistory, Research School of Pacific Studies, The Australian National University, Canberra pp 23–24.

⁸⁰ NSW Heritage Office 1996; 25-27

⁸¹ This section is an extract based on the Heritage Office *Assessing Significance for Historical Archaeological Sites and Relics* 2009:6.

Table 1: NSW heritage assessment criteria

Criteria	Description
A – Historical Significance	An item is important in the course or pattern of the local area's cultural or natural history.
B – Associative Significance	An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.
C – Aesthetic Significance	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.
D – Social Significance	An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.
E – Research Potential	An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.
F – Rarity	An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.
G – Representativeness	An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places of cultural or natural environments (or the cultural or natural history of the local area).

7.2 Statement of significance for the study area

The study area is located within the Hereford and Forest Lodge Heritage Conservation Area (Sydney LEP 2012 Item No. C33). The State Heritage Inventory (SHI) provides the following statement of significance for the heritage item:

Hereford and Forest Lodge Conservation Area has historic significance for its rare surviving early residential development Swiss Cottages (c. 1842) and Glenwood (c. 1837). The area possesses the ability to evidence early villa estates; Hereford (c. 1829), Rosebank (c. 1832) and Forest Lodge (c. 1836) and their incremental subdivision.

The conservation area is also of historic significance for a number of important civic and institutional buildings such as St James' Church and School, Forest Lodge Public School, Glebe Fire Station and Glebe Town Hall. Considerable social significance arises out of the presence and use of these buildings for over 100 years. The Town Hall also provides evidence of the incorporation of the Municipality of Glebe in 1859.

Hereford and Forest Lodge Conservation Area has aesthetic significance for its ability to illustrate various periods of development and architectural styles and building types (some of a very early date), and its landscape qualities. Residential development, encouraged by the tram extension in Hereford/ Forest Lodge, reflects the varied character of historic subdivisions, divided by the historic and aesthetically important Bridge Road. The predominant Victorian character is

supported by several other important historic layers. The diverse social mix that is reflected in the building stock and inherent to the character of the suburb.

The area contains a number of aesthetically significant and prominent buildings such as the Glebe Town Hall, Glebe Fire Station, St James' Church, the former Glebe Presbyterian Church as well as a number of villas particularly in Bridge Road such as Reussdale.

The area has rarity value for the survival of early pre 1860s residential development so close to the city centre.⁸²

7.3 Fulfilment of the NSW heritage assessment criteria

The assessment of the significance of the potential archaeological resource contained within the study area against the NSW heritage assessment criteria is outlined in Table 2.

Table 2: Consideration against NSW heritage assessment criteria

Criteria	Discussion
A – Historical Significance	<p>The study area was part of the original Glebe grant made for the Church in 1789. The study area sits within three early land grants that would form the basis of the suburbs of Glebe, Forest Lodge, and Camperdown. The area has historical significance as being part of the grant that housed Forest Lodge. The study area continues to have historical significance for illustrating the industrial use of the area through the extant warehouse in the vicinity of residences primarily occupied by workers.</p> <p>The site has the potential to demonstrate the development of Glebe and Forest Lodge from large villas to an industrial working community, with a juxtapose of the use of land with higher elevated land being sort after by the wealthy, and the lower land forms (the study area) being used for industrial purposes and worker's accommodation.</p> <p>A substantial and intact potential archaeological resource associated with Phases 1, 2 and 3 of the development of the site would have local significance under this criterion.</p>
B – Associative Significance	<p>Archaeological remains associated with the early land grants (Catherine King, the Anglican Church, William Bligh), and Forest Lodge (Ambrose Foss) would have associative significance. Land owner George Wigram Allen, later Sir George, is the most prominent figure in the development of Glebe. Allen served as Glebe's first Mayor, and archaeological remains dating to 1860s would have associate significance, although it is unlikely archaeological remains dating to these periods would remain in the study area.</p> <p>A substantial and intact potential archaeological resource associated with Phases 1 and 2 of the development of the site would have local significance under this criterion.</p>
C – Aesthetic Significance	<p>Although it is recognised that exposed <i>in situ</i> archaeological remains may have distinctive/attractive visual qualities, only rarely are these considered 'important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW'.</p>

⁸² OEH 2012 *Hereford and Forest Lodge Heritage Conservation Area*

Criteria	Discussion
	Therefore, the potential archaeological resource does not meet the local significance threshold under this criterion.
D – Social Significance	<p>Archaeological remains associated with the early land grants and Forest Lodge would have social significance for local historical societies and the local community.</p> <p>A substantial and intact potential archaeological resource associated with Phases 1 and 2 of the development of the site would have local significance under this criterion, although it is unlikely that remains dating to this period remain.</p>
E – Research Potential	<p>Artefact deposits pre-dating the 1880s-residential development of the study area would have research potential for providing information about prior use of the study area that is not known from current records.</p> <p>Potential artefact deposits dating to the 1880s development of the study area would have research potential for determining the use of the properties and demographics that would enhance the current understanding of the study area.</p> <p>Intact artefact bearings deposits associated with Phases 1, 2 and 3 would meet the local significance threshold under this criterion.</p>
F – Rarity	<p>Residential properties dating to the 1880s are well documented with extant examples remaining within Forest Lodge.</p> <p>The potential archaeological resource does not meet the local significance threshold under this criterion.</p>
G – Representative	<p>The study area is representative of the expansion of Glebe and Forest Lodge during the 19th and early 20th century as evidenced by residential, commercial, institutional and industrial development.</p> <p>The potential archaeological remains within the study area are likely to be representative of small scale suburban industrial uses (such as offices, warehouses and storerooms), and residential properties typically found in suburban contexts. Although any remains are likely to demonstrate the principal characteristics of this type of site, it is unlikely that they would be considered to be particularly representative.</p> <p>The potential archaeological resource does not meet the local significance threshold under this criterion.</p>

7.4 Statement of heritage significance

The potential archaeological resource within the study area has the potential to provide some insight into the development of Forest Lodge. If high-yield artefact-bearing deposits such as wells or rubbish dumps are encountered during works, they would reach the local significance threshold through their ability to provide information regarding the previous occupants of the study area, and potentially contribute to our knowledge of the early historical development of Forest Lodge. The archaeological resource within the study area, with potential to meet the local significance threshold, includes:

- Phase 1: Evidence of early land grants to Catherine King, the Church and School grant, William Bligh. Potential remains are likely to reach the threshold for local significance for historical, associative, social and research potential.
- Phase 2: Evidence of Forest Lodge and the subdivision for Forest Lodge Estate. Potential archaeological remains are likely to reach the threshold for local significance for historical, associative, social and research potential.
- Phase 3: Artefact deposits associated with the 1880s development of the site are likely to reach the threshold for local significance for historical and research potential.

Potential archaeological remains in the study area with little to no significance include those associated with;

- Phase 4: Twentieth century development of the site including footings of buildings
- Phase 5: Modern services and utilities

8.0 ARCHAEOLOGICAL MANAGEMENT MEASURES

8.1 Aboriginal archaeological management measures

The study area has been assessed as having no potential for Aboriginal archaeological remains. Any proposed works on the site would need to have an unexpected finds policy in place for unexpected Aboriginal archaeological remains.

8.2 Historical archaeological management measures

The study area has been assessed as having potential for locally significant historical archaeological remains. Future proposals would need to include a Statement of Heritage Impact that takes into account impacts to potential historical archaeological remains. This would identify the management measures required for relics under the *Heritage Act 1977*, and determine whether a section 139(4) exception or section 140 permit application to the NSW Heritage Division would need to be submitted. Once construction methodology and detailed designs of the site are known, impacts to potential historical archaeology should be avoided and mitigated. Mitigation measures may include:

- Test excavation
- Salvage excavation
- Archaeological monitoring
- Detailed recording, reporting and artefact analysis
- Heritage Interpretation

9.0 CONCLUSIONS AND RECOMMENDATIONS

9.1 Conclusions

The study area has been assessed as having:

- no potential for Aboriginal archaeological remains
- nil-low potential for locally significant historical archaeological remains associated with the early land grants
- nil-low potential for locally significant historical archaeological remains associated with Forest Lodge and early subdivisions
- low-moderate potential for locally significant historical archaeological remains associated with 1880s residential and industrial development of the site
- moderate-high potential for non-significant historical archaeological remains associated with the twentieth century development of the site
- high potential for non-significant historical archaeological remains associated with late twentieth century to present development of the site

9.2 Recommendations

It is therefore recommended that:

- A detailed archaeological impact assessment and research design based on this assessment report would be prepared to inform management measures prior to construction.
- Once construction methodology and detailed designs of the site are known, impacts to potential historical archaeology should be avoided and mitigated. Mitigation measures may include:
 - Test excavation
 - Salvage excavation
 - Archaeological monitoring
 - Heritage Interpretation
- If impacts to relics are proposed a s140 Excavation permit would be required in accordance with the NSW Heritage Act 1977 provisions.

10.0 REFERENCES

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11.0 APPENDIX

11.1 AHIMS search

Artefact - Cultural Heritage Management

Date: 30 March 2017

Level 4, Building B 35 Saunders Street
Pyrmont New South Wales 2009

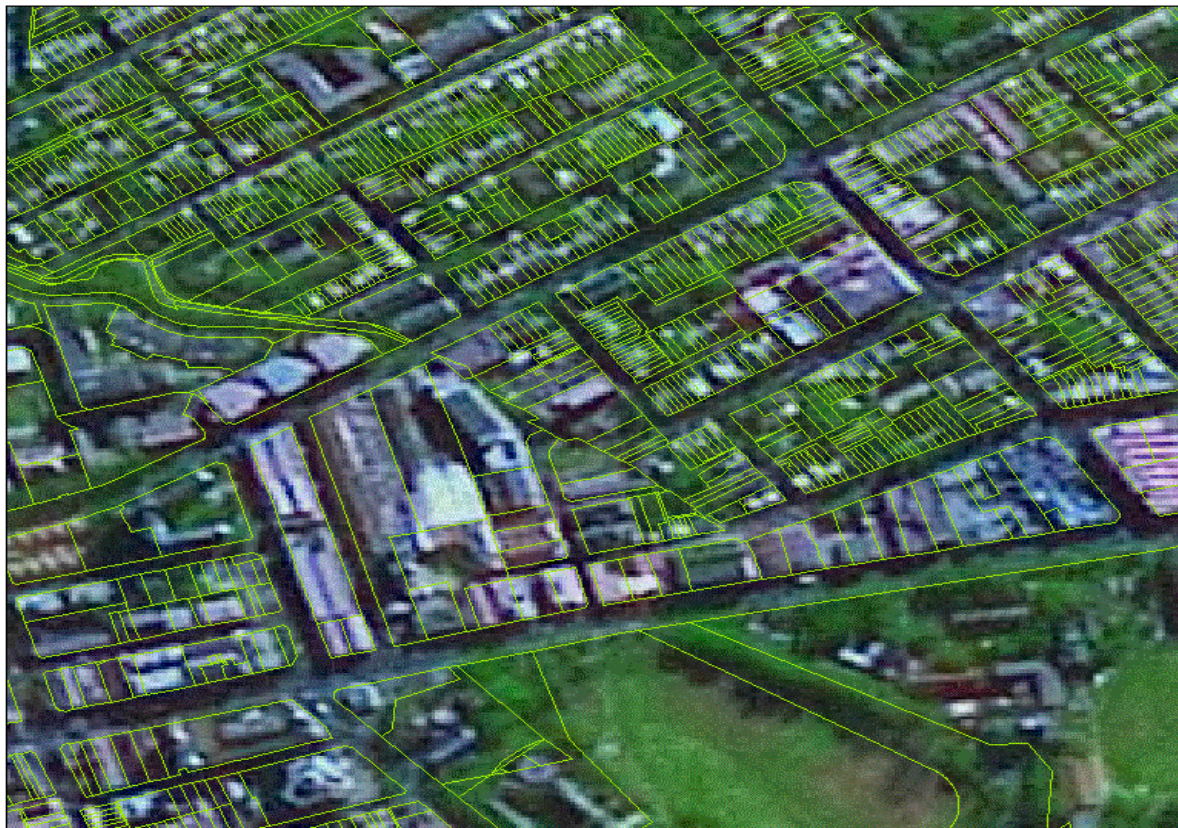
Attention: Josh Symons

Email: josh.symons@artefact.net.au

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Datum :GDA, Zone : 56, Eastings : 331480 - 332070,
Northings : 6248900 - 6249480 with a Buffer of 50 meters, conducted by Josh Symons on 30 March 2017.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *



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