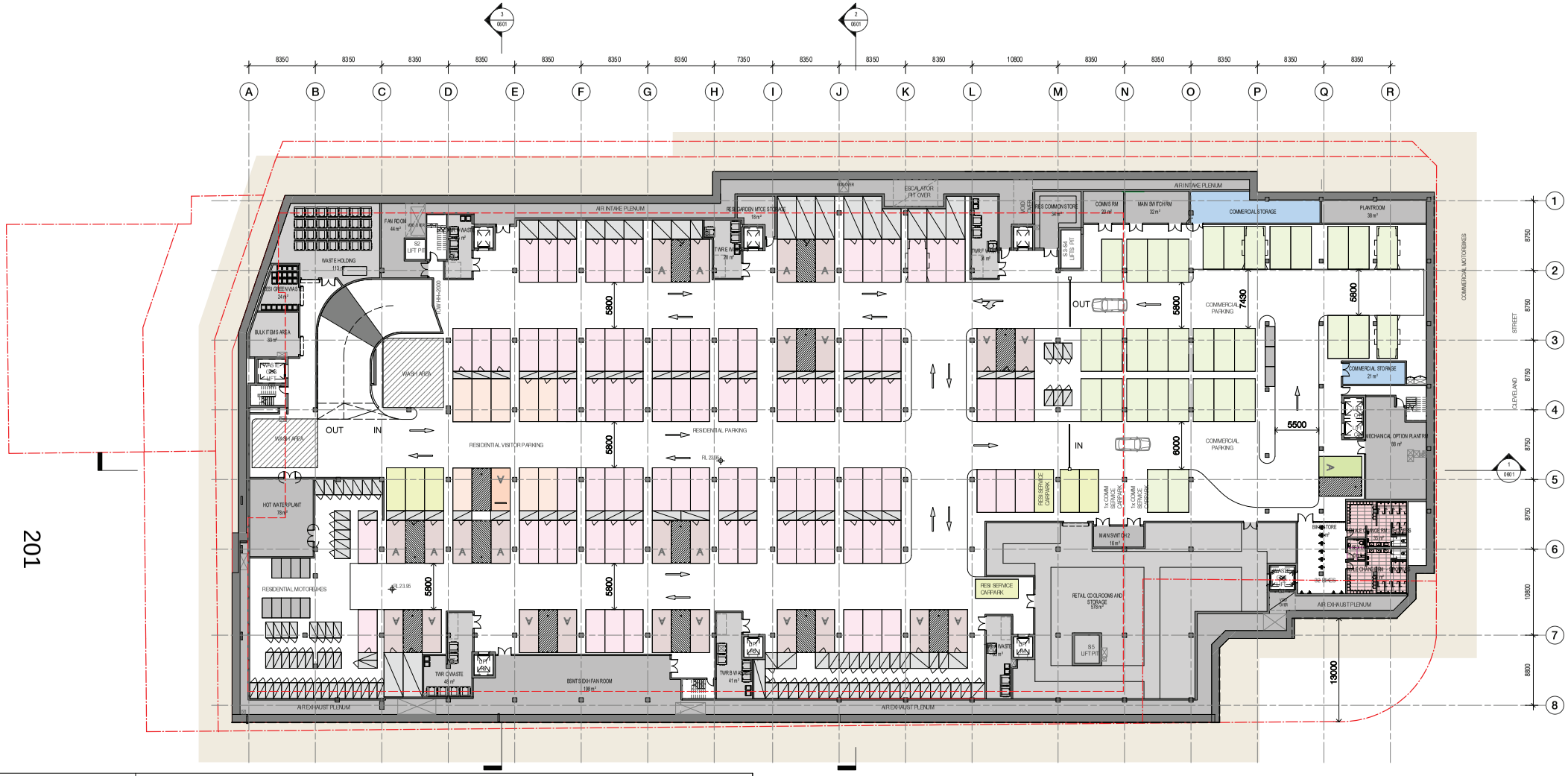
Attachment B1

Selected Architectural Drawings



201

LEGEND - PARKING

- RESIDENTIAL
- RESIDENTIAL ADAPTABLE
- RETAIL
- RETAIL - ACCESSIBLE
- COMMERCIAL
- COMMERCIAL ACCESSIBLE
- VISITOR
- VISITOR ACCESSIBLE
- MOTORBIKE
- CARSHARE
- SERVICE / CARWASH

CARPARKING - BY LEVEL

B02	
CARSHARE	7
RETAIL - 5400 x 2600	160
RETAIL - 5400 x 3000 CLICK & COLLECT	3
RETAIL - 5400 x 2600 ACCESSIBLE	4
RETAIL - MOTORBIKE	14
RETAIL - 5000 x 2300 (SMALL)	3
B03	
COMMERCIAL - 5400 x 2600	33
COMMERCIAL - 5400 x 2600 ACCESSIBLE	1
COMMERCIAL - MOTORBIKE	3
RESIDENTIAL - 5400 x 2400	87
RESIDENTIAL - 5400 x 2400 ADAPTABLE	24
RESIDENTIAL - MOTORBIKE	9
VISITOR - 5400 x 2400	8
VISITOR - 5400 x 2400 ACCESSIBLE	1
Grand total	357

RETAIL PARKING SUMMARY

DESCRIPTION	TOTAL
RETAIL - 5400 x 2600	160
RETAIL - 5400 x 3000 CLICK & COLLECT	3
RETAIL - 5400 x 2600 ACCESSIBLE	4
RETAIL - 5000 x 2300 (SMALL)	3
	170

RESIDENTIAL PARKING SUMMARY

DESCRIPTION	TOTAL
RESIDENTIAL - 5400 x 2400	87
RESIDENTIAL - 5400 x 2400 ADAPTABLE	24
	111

SERVICE VEHICLE SUMMARY

DESCRIPTION	TOTAL
SERVICE - 5400 x 2400 COMMERCIAL	3
SERVICE - 5400 x 2400 RESIDENTIAL	2
SERVICE - 5400 x 2400 RETAIL	3
SERVICE - LOADING DOCK - GARBAGE	1
SERVICE - TROLLEY TRACTOR	1
SERVICE - WASH BAY - 5400 x 2400	3
	13

BICYCLE & STORAGE SUMMARY

DESCRIPTION	TOTAL
BICYCLE CLASS 1 - RESIDENTIAL	156

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Project
Surry Hills Village
2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016
Drawing Name
Floor Plan - Basement 03

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0201	/ 33

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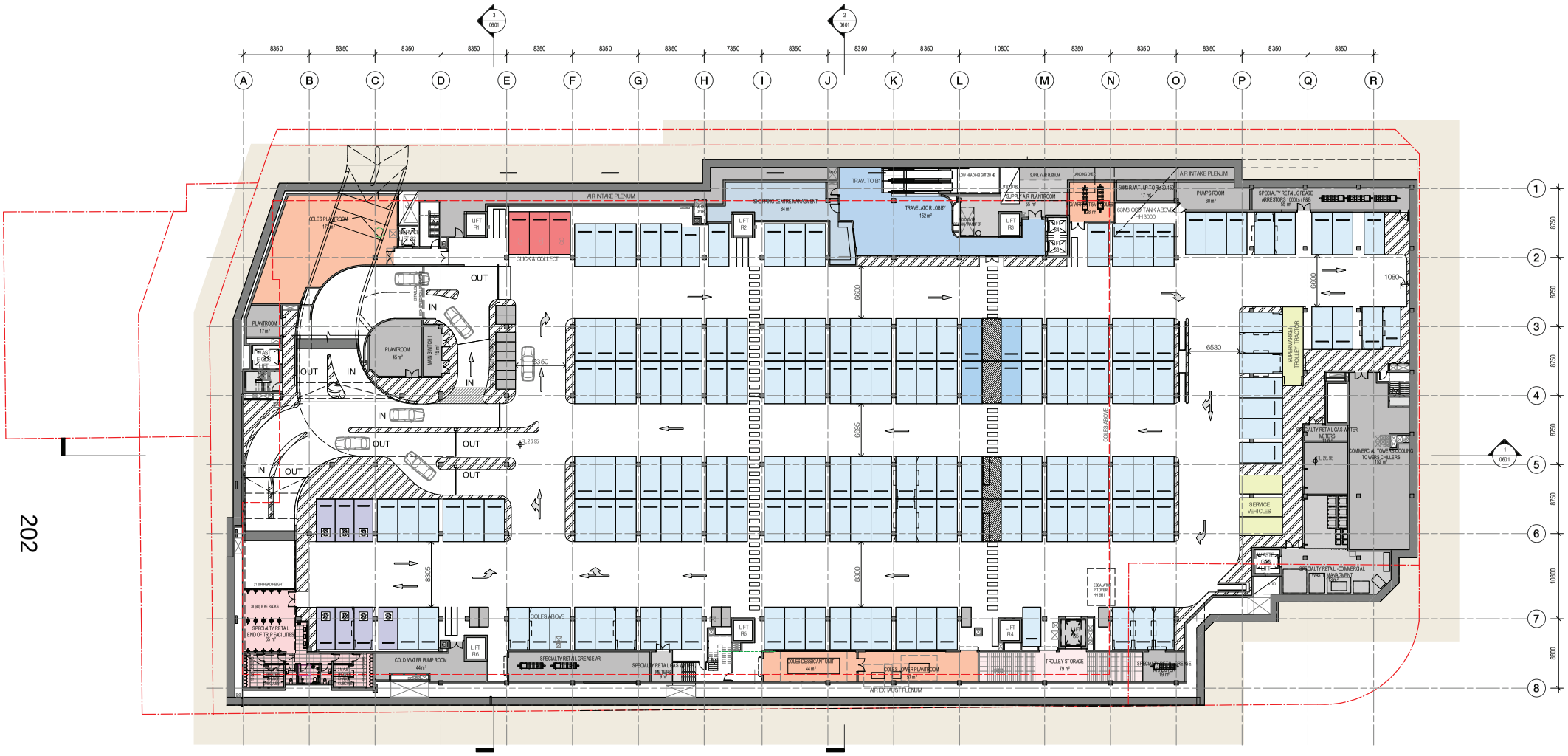
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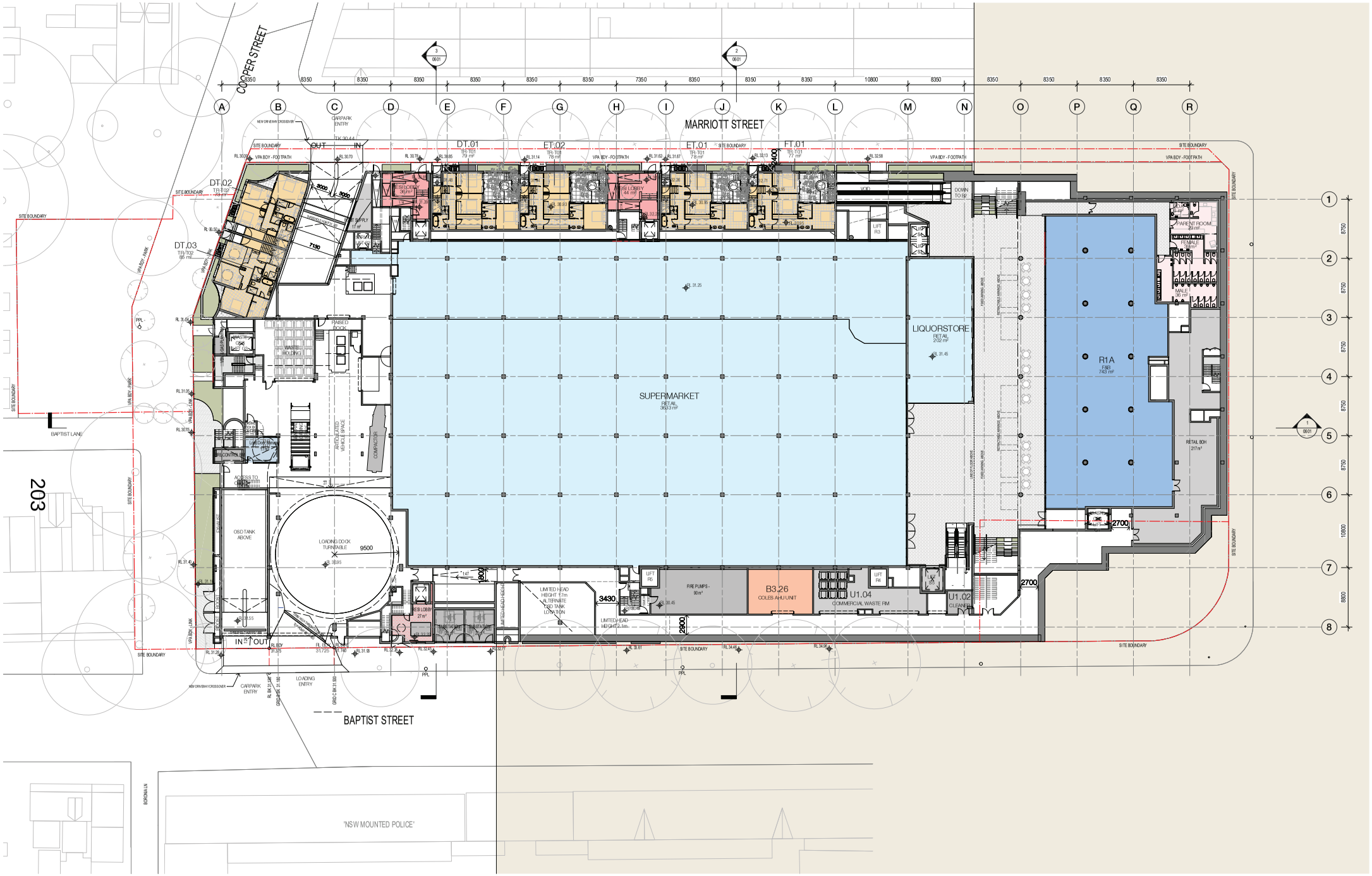
COLES PUMPROOM
UPS
UPS
UPS



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Drawing Name
Floor Plan - Basement 01

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0203	/ 33

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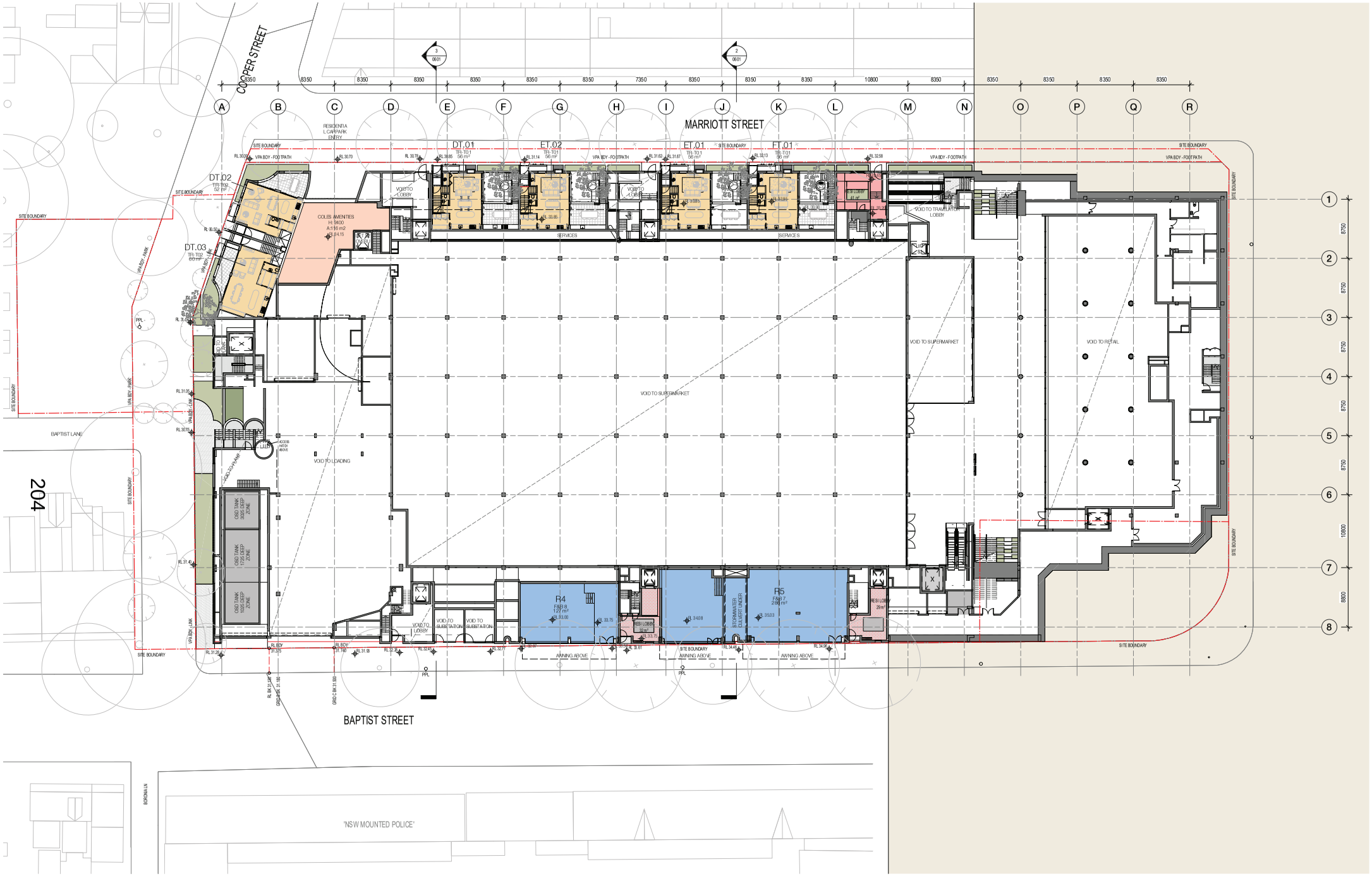

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Drawing Name
Floor Plan - Lower Ground

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0210	/ 33

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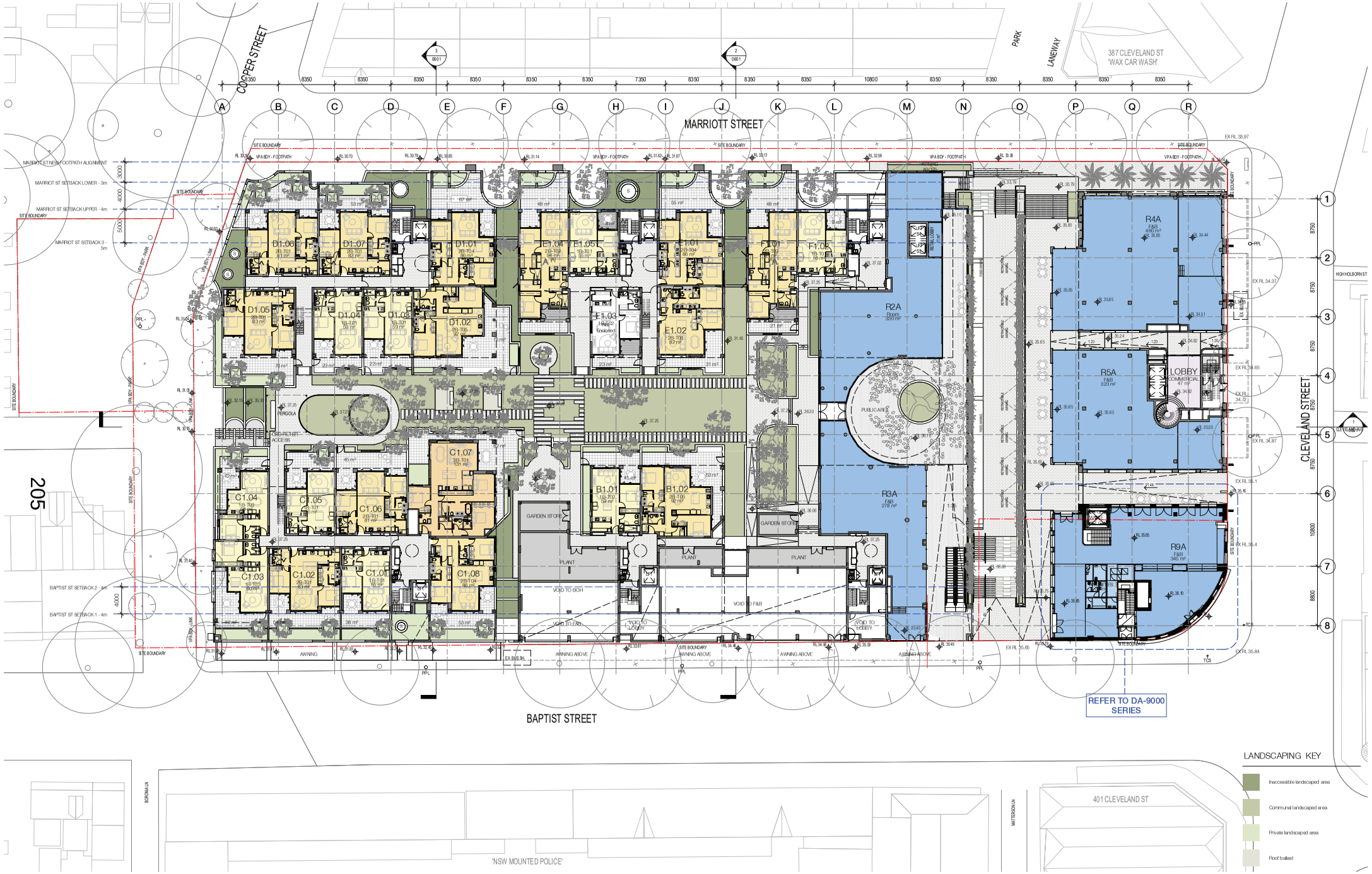

LANDSCAPING KEY

- Inaccessible landscaped area
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Drawing Name
Floor Plan - Level 01

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0211	/ 33

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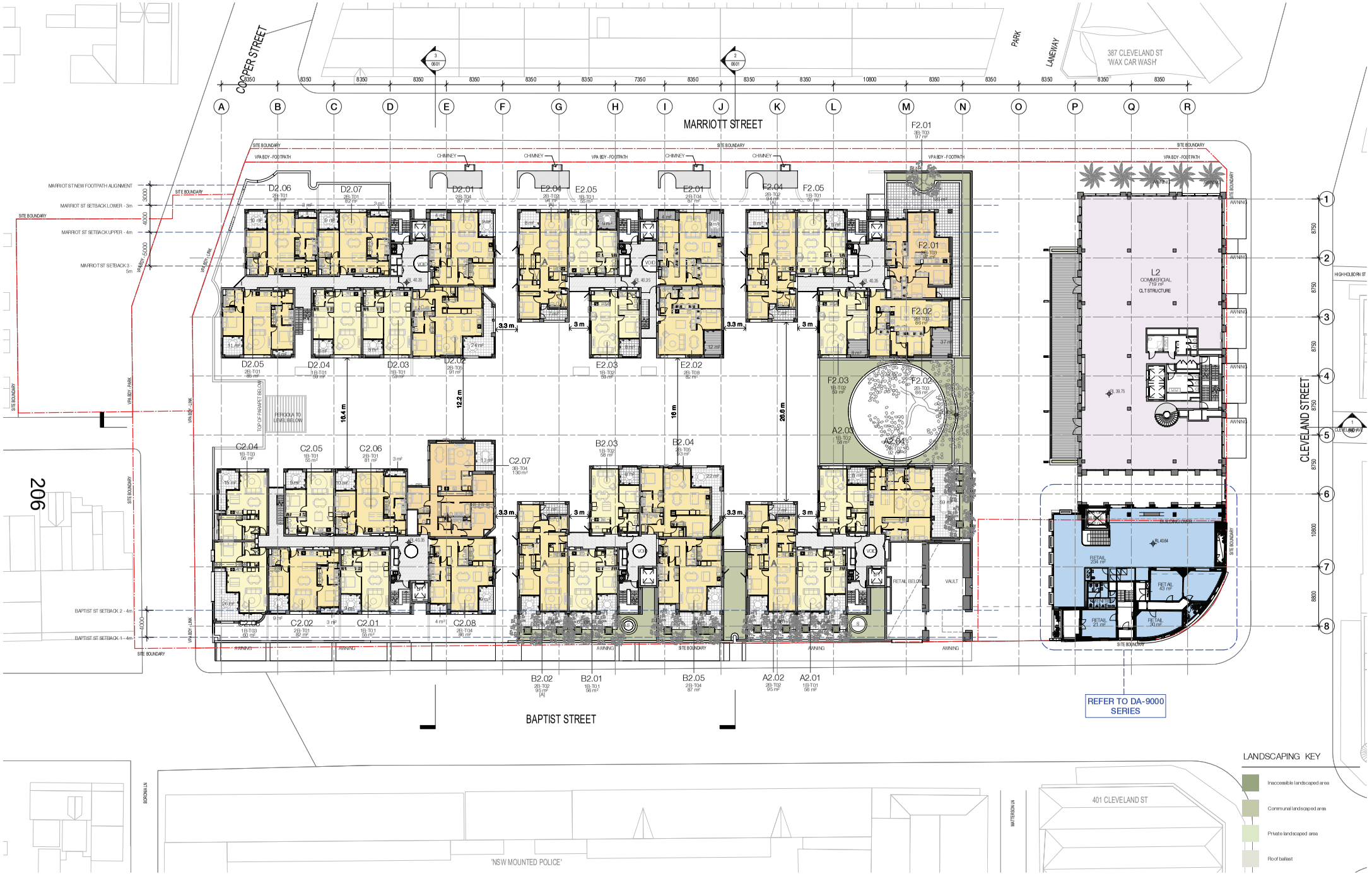

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Drawing Name
Floor Plan - Level 02

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0212	/ 33

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LANDSCAPING KEY

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Drawing Name

Floor Plan - Level 03

Date	Scale	Sheet Size
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MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0213	/ 33

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Drawing Name
Floor Plan - Level 04

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
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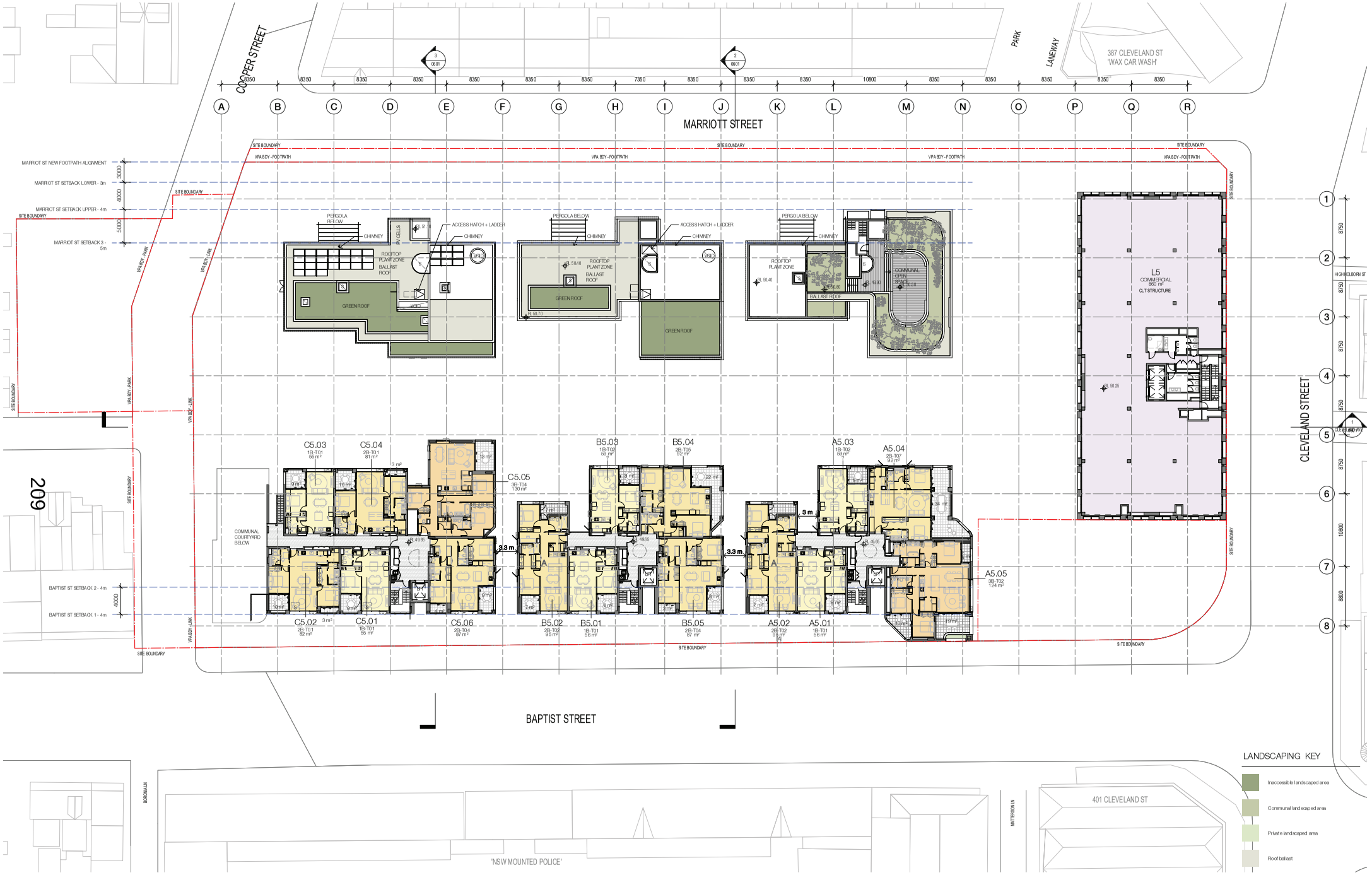

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Drawing Name
Floor Plan - Level 05

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1
Drawn	Chk.	
MJL,JMT,AH	AH	
Job No.	Drawing No.	Revision
5741	DA-0215	/ 33

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LANDSCAPING KEY

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Drawing Name
Floor Plan - Level 06

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0216	/ 33

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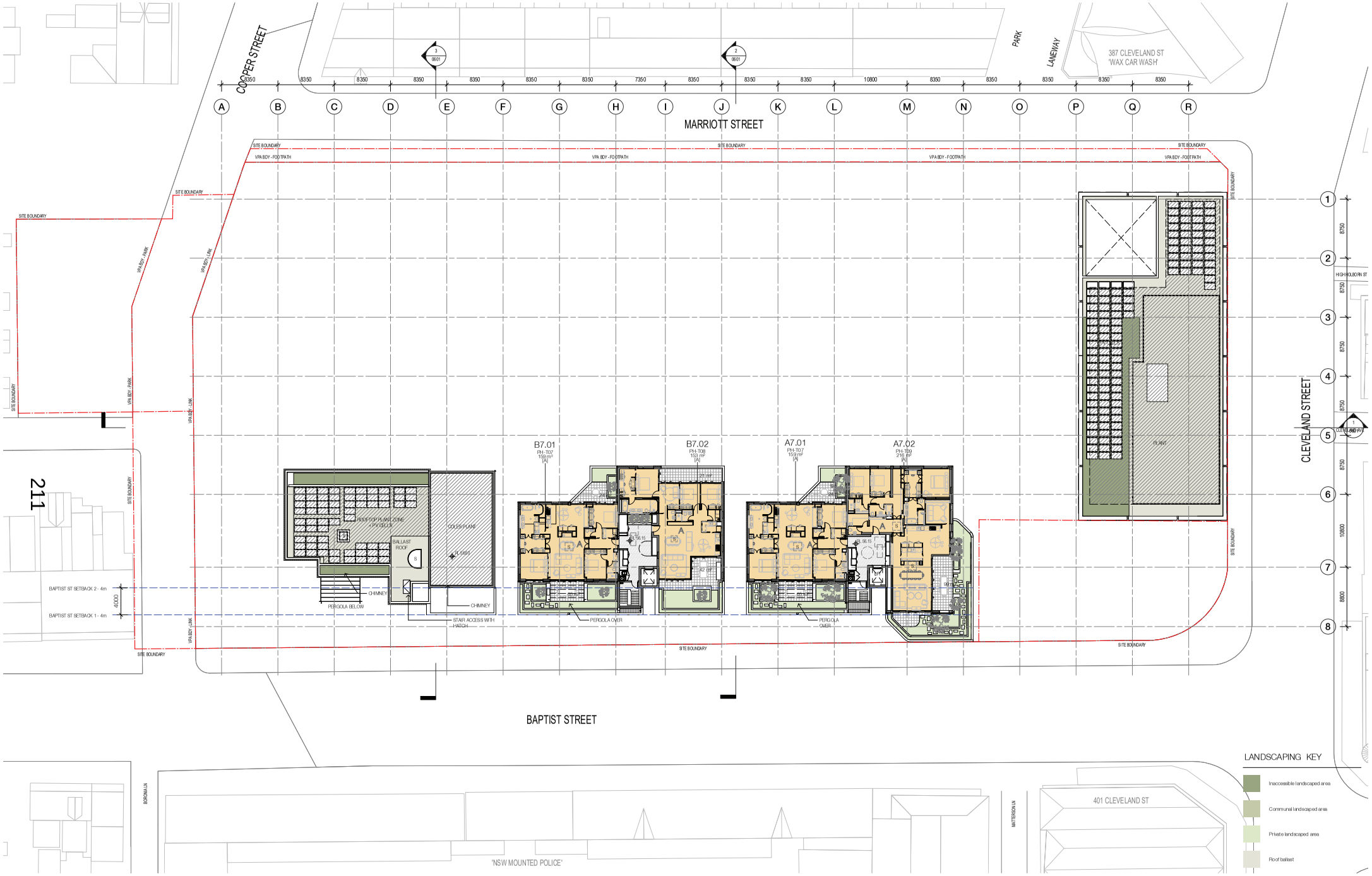

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Drawing Name
Floor Plan - Level 07

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

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MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
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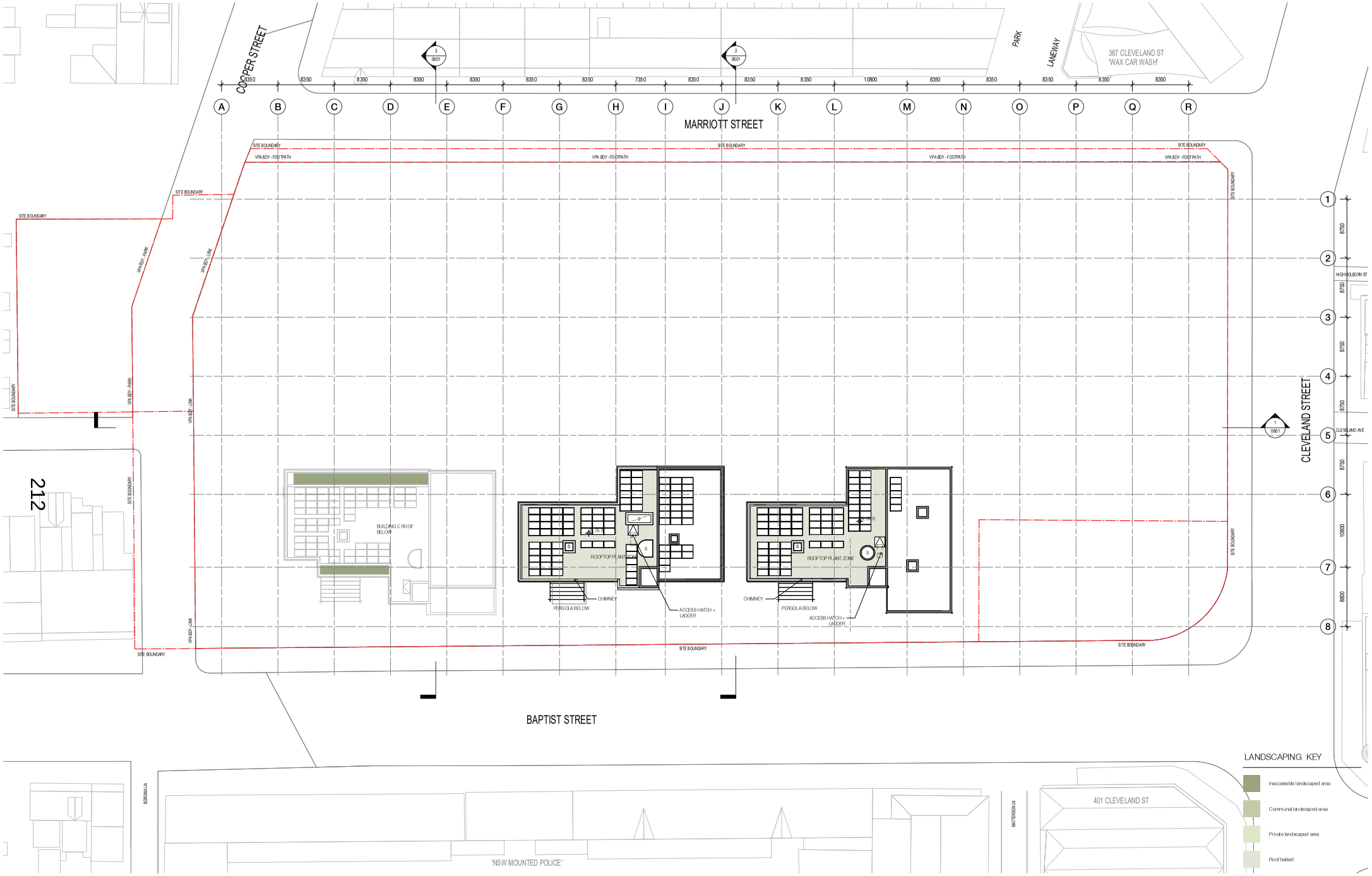

LANDSCAPING KEY

- Inaccessible landscaped area
- Communal landscaped area
- Private landscaped area
- Roof ballast

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FOR APPROVAL

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
23	14.11.19	DA Issue	MJL	MJL
24	13.03.19	DRAFT Revised DA	JMT	JMT
25	23.03.19	DRAFT Revised DA	AYH	ML
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28	30.04.19	For Information	AYH	ML
30	03.05.19	For Information - Freeze	AYH	ML
31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
Surry Hills Village
2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016
Drawing Name
Floor Plan - Level 08

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0218	/ 33

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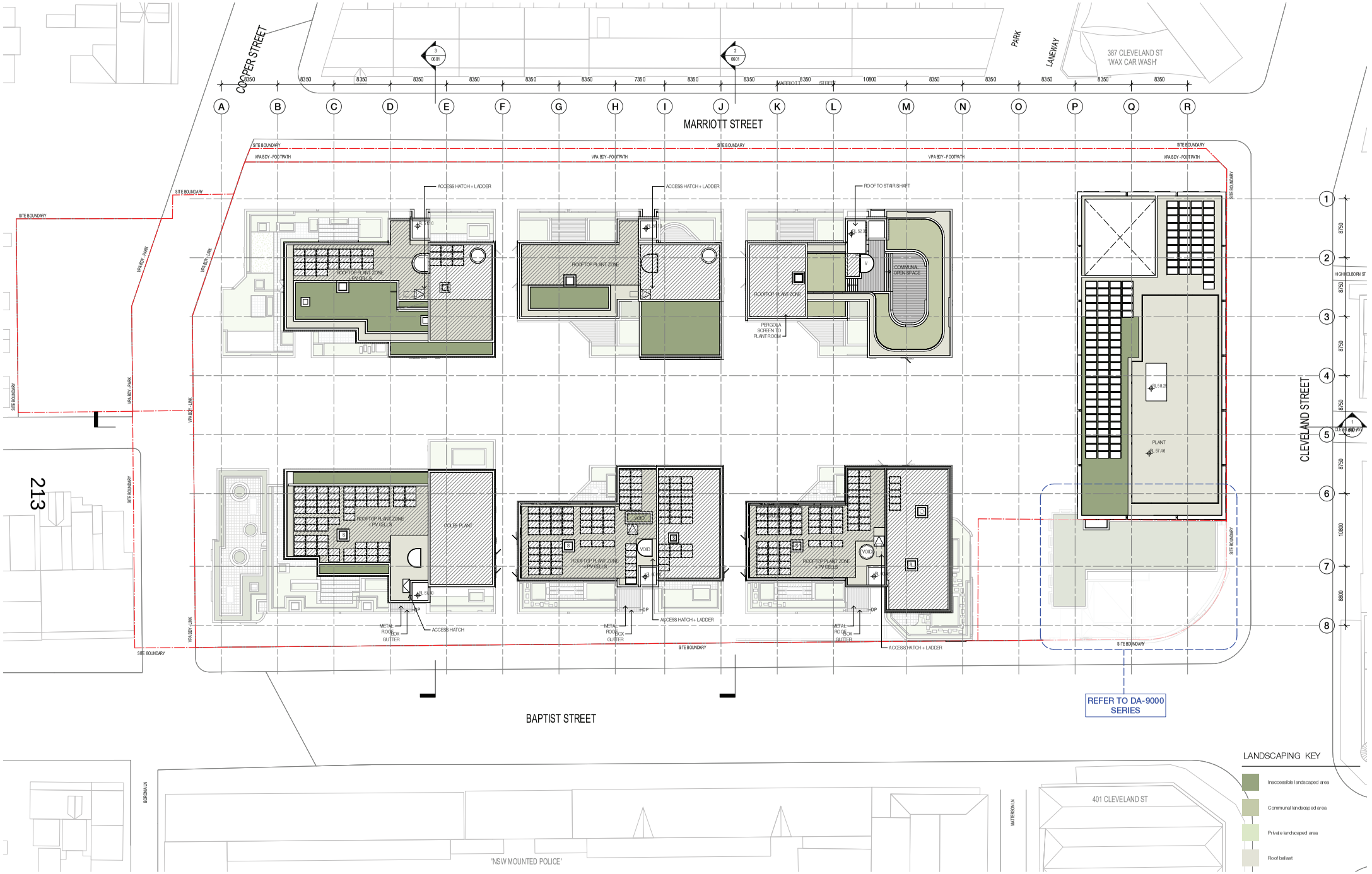

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31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
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2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016

Drawing Name
Floor Plan - Roof

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1
Drawn	Chk.	
MJL,JMT,AH	AH	
Job No.	Drawing No.	Revision
5741	DA-0219	/ 33

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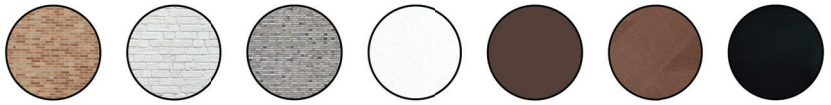
1 **Cleveland Street Elevation**
1 : 250@A1

2 **Cooper Street Elevation**
1 : 250@A1



BK-01 Podium Brick
BK-02 Bagged and Painted Brick
BK-03 Gray Textured Brick
CO-01 Bagged and Painted Concrete
MT-01 Metal Cladding
MT-02 Metal Cladding
MT-03 Metal Cladding

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FOR APPROVAL

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28	30.04.19	For Information	AYH	ML
30	03.05.19	For Information - Freeze	AYH	ML
31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
Surry Hills Village
2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016
Drawing Name
Elevations - North-South

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0501	/ 33

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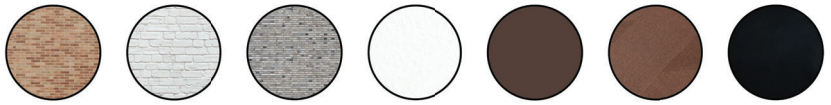
1 Marriott Street Elevation

1 : 250@A1

2 Baptist Street Elevation

1 : 250@A1



BK-01 Podium Brick
BK-02 Bagged and Painted Brick
BK-03 Gray Textured Brick
CO-01 Bagged and Painted Concrete
MT-01 Metal Cladding
MT-02 Metal Cladding
MT-03 Metal Cladding

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32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project

Surry Hills Village

2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016

Drawing Name

Elevations - East - West

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0502	/ 33

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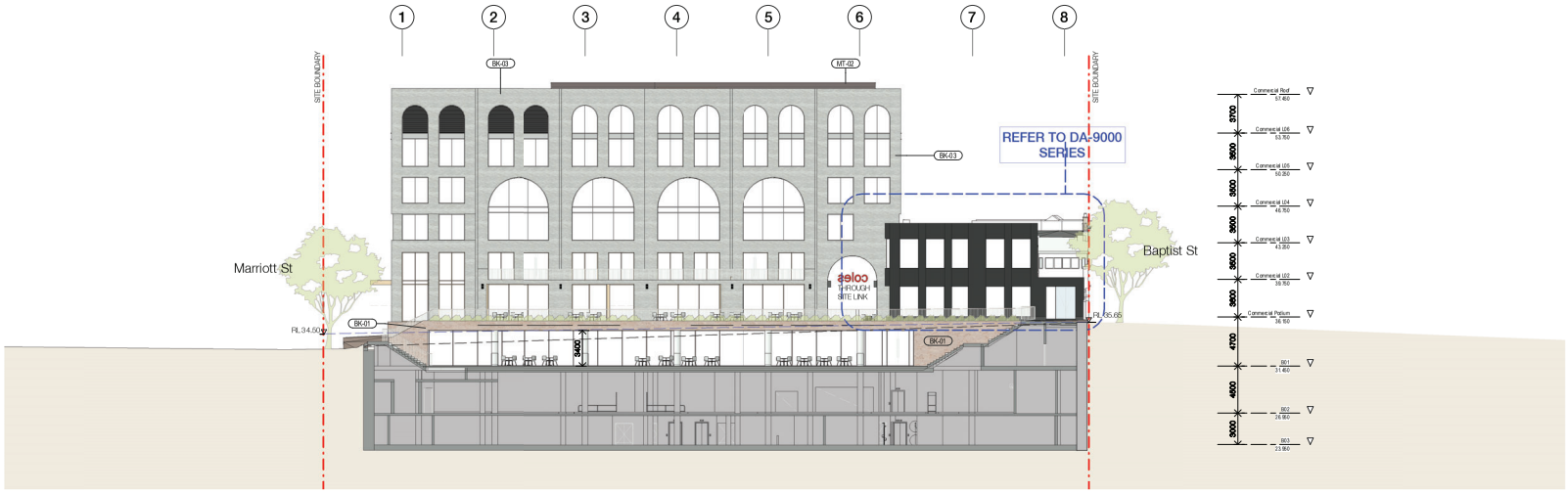
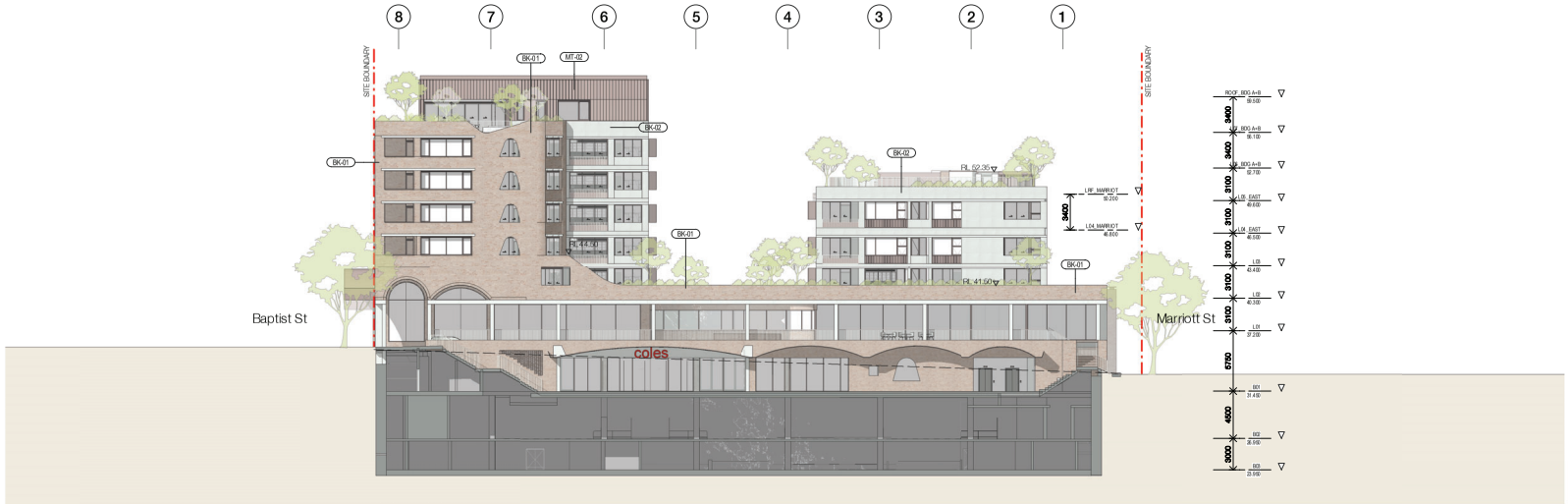


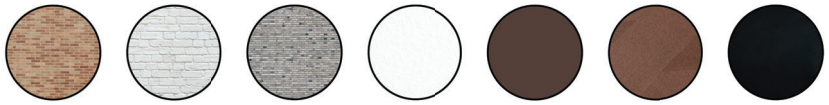
1 Laneway - North Elevation

1 : 250@A1



2 Laneway - South Elevation

1 : 250@A1



BK-01 Podium Brick | **BK-02** Bagged and Painted Brick | **BK-03** Gray Textured Brick | **CO-01** Bagged and Painted Concrete | **MT-01** Metal Cladding | **MT-02** Metal Cladding | **MT-03** Metal Cladding

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31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
Surry Hills Village
2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016
Drawing Name
Elevations - Laneway

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0503	/ 33

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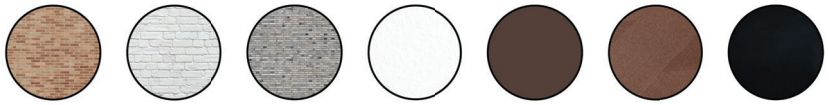
1 **Through Site Elevation - East**
1 : 250@A1

2 **Through Site Elevation - West**
1 : 250@A1



BK-01 Podium Brick
BK-02 Bagged and Painted Brick
BK-03 Gray Textured Brick
CO-01 Bagged and Painted Concrete
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MT-02 Metal Cladding
MT-03 Metal Cladding

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31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
Surry Hills Village
2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016
Drawing Name
Elevations - Through Site

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0504	/ 33

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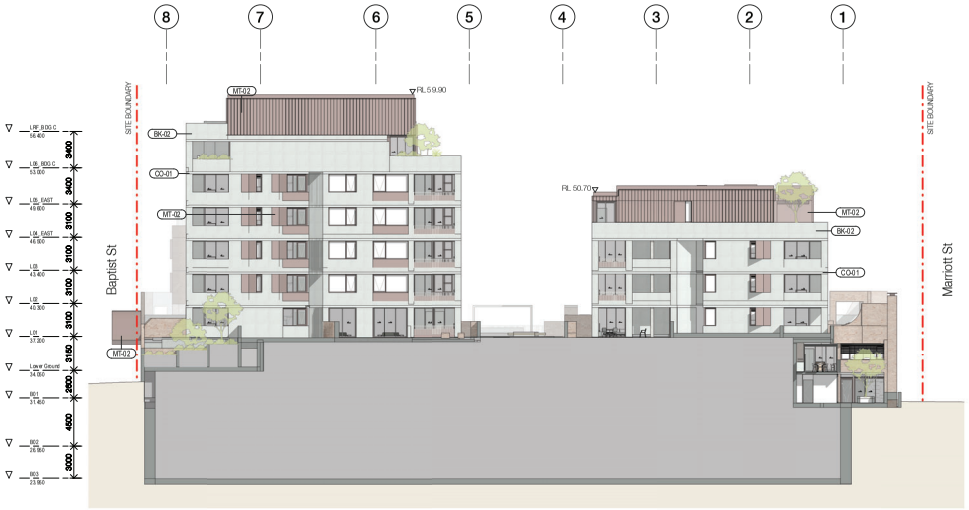
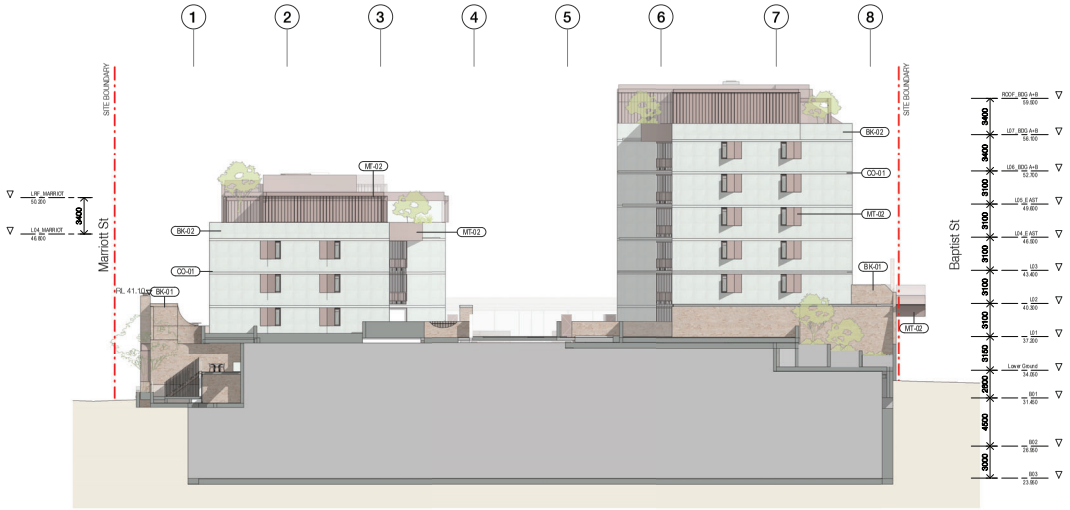
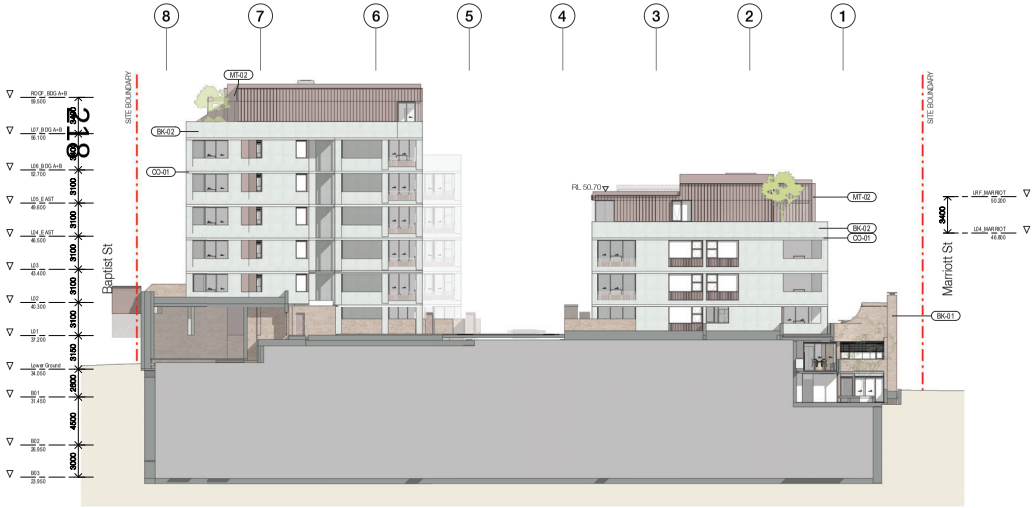


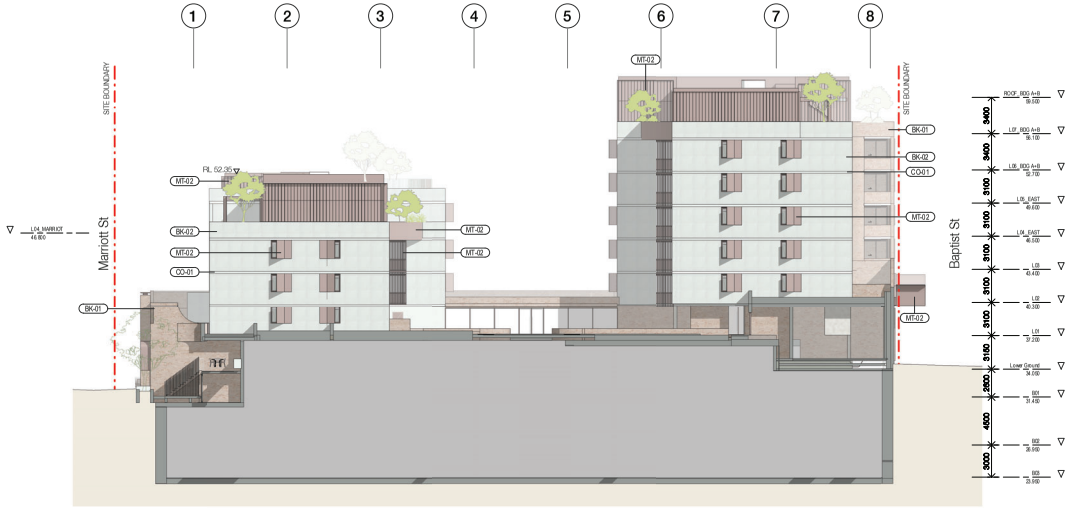
1 **Through Site Elevation - South 01**
1 : 250@A1



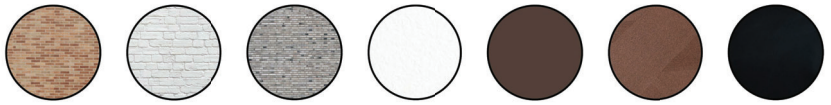
3 **Through Site Elevation - North 01**
1 : 250@A1



2 **Through Site Elevation - South 02**
1 : 250@A1



4 **Through Site Elevation - North 02**
1 : 250@A1



BK-01 Podium Brick
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CO-01 Bagged and Painted Concrete
MT-01 Metal Cladding
MT-02 Metal Cladding
MT-03 Metal Cladding

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FOR APPROVAL

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26	12.04.19	DRAFT Revised DA	AYH	ML
27	18.04.19	For Information	AYH	ML
28	30.04.19	For Information	AYH	ML
30	03.05.19	For Information - Freeze	AYH	ML
31	10.05.19	For Information	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project

Surry Hills Village

2-38 Baptist Street, 397-399 Cleveland Street, Redfern NSW 2016

Drawing Name

Elevations - Through Site

Date	Scale	Sheet Size
19.09.19	1 : 250	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0505	/ 33

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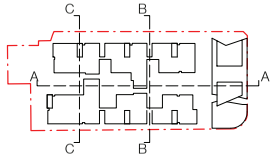
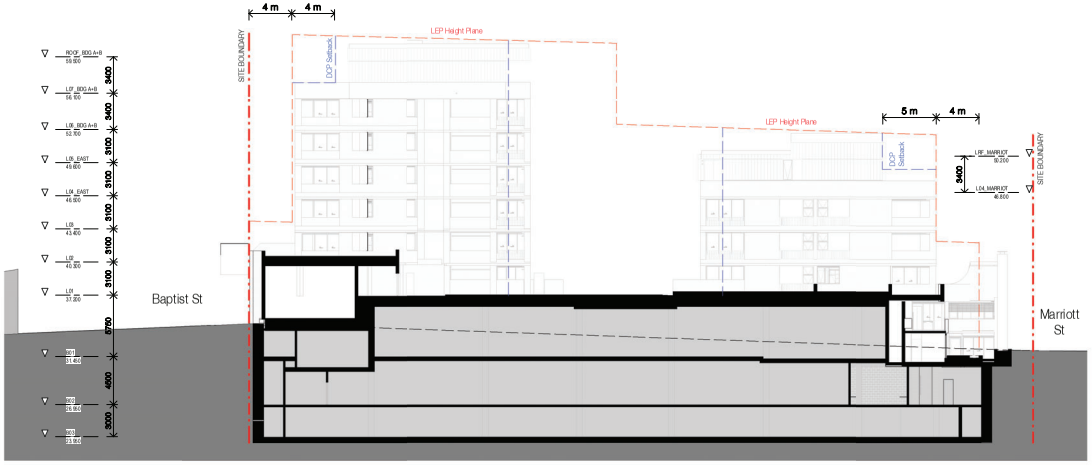
KEY PLAN



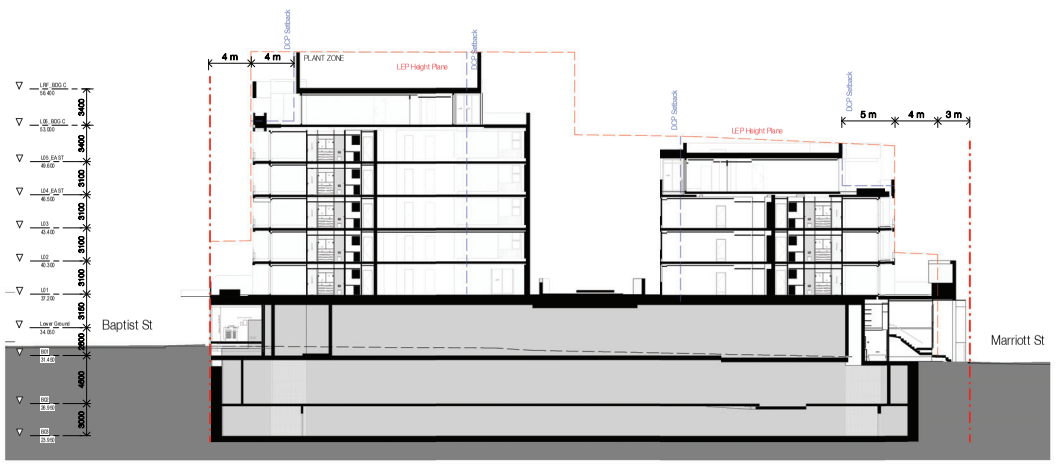
LEP HEIGHT PLANE - INCLUDES 10% BONUS FOR DESIGN EXCELLENCE AS PER CLAUSE 6.21(7) OF THE SYDNEY LOCAL ENVIRONMENTAL PLAN 2012

DCP ENVELOPE - AS PER SURRY HILLS SHOPPING VILLAGE DCP 2012 AMENDMENT. LINE INDICATIVE OF HEIGHT IN STOREYS

1 0201 **Section A**
1 : 250@A1



2 0201 **Section B**
1 : 250@A1



3 0201 **Section C**
1 : 250@A1

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FOR APPROVAL

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
19	17.08.18	For Information	MJL	ML
20	17.08.18	Consultant Issue	MJL	ML
21	24.08.18	Draft DA	MJL	ML
22	04.09.18	DA Issue	MJL	AH
23	14.11.19	DA Issue	MJL	MJL
24	13.03.19	DRAFT Revised DA	JMT	JMT
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30	03.05.19	For Information - Freeze	AYH	ML
32	16.05.19	For Approval	AYH	ML
33	19.09.19	For Approval	ML	ML

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Project
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Drawing Name
Building Sections

Date	Scale	Sheet Size
19.09.19	As indicated	@ A1

Drawn	Chk.
MJL,JMT,AH	AH

Job No.	Drawing No.	Revision
5741	DA-0601	/ 33

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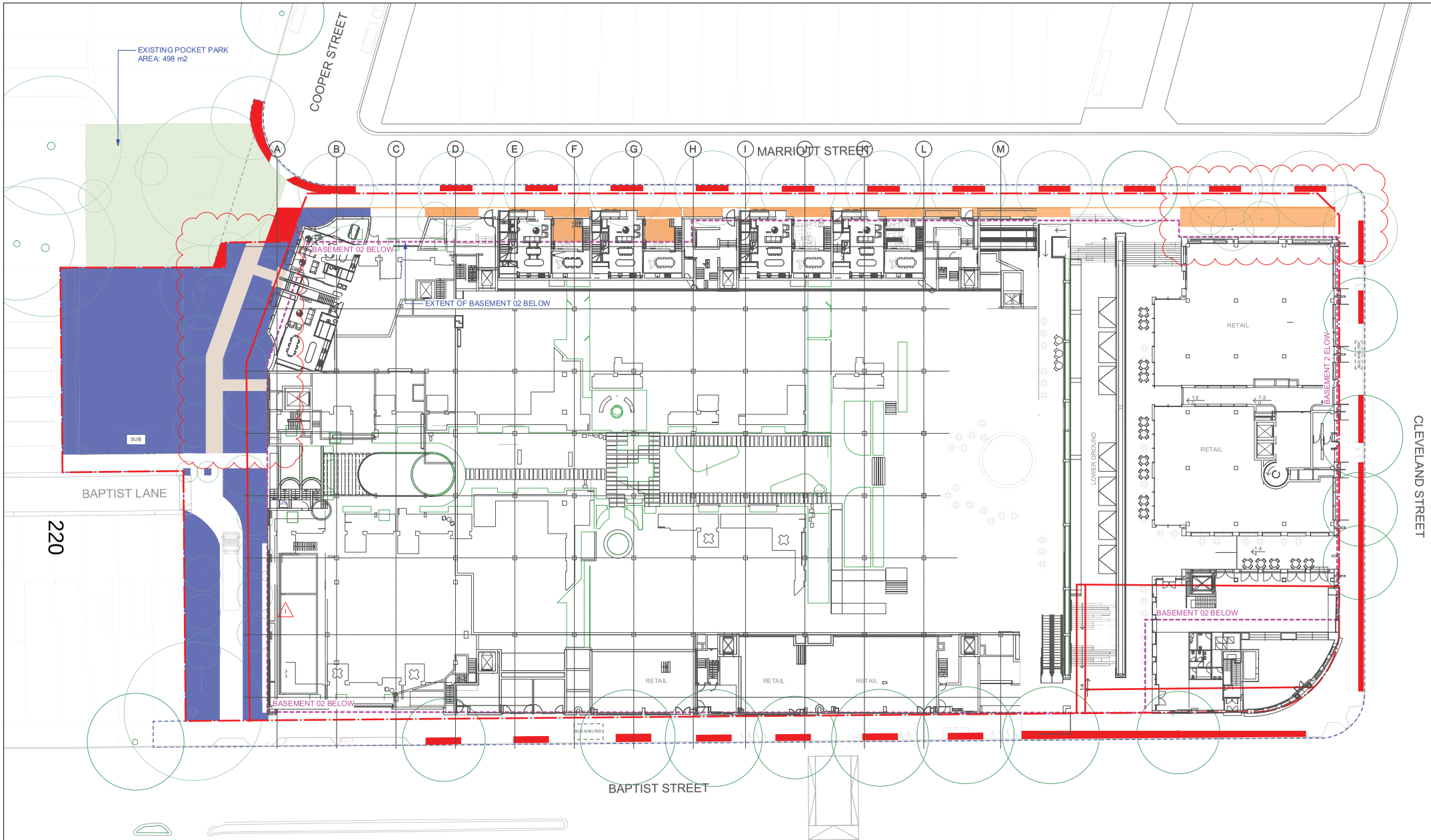

KEY:

- TOTAL SITE / LOT AREA: 12244 m2
- DEVELOPMENT SCOPE OF WORKS
- OUTLINE OF BASEMENT 02 BELOW

DEEP SOIL AREAS (INCLUDING VPA)	AREA (m2)	% SITE AREA
CONTIGUOUS DEEP SOIL LANDSCAPE	991.90	8.10
MARRIOTT STREET DEEP SOIL LANDSCAPE	165.00	1.34
SHAREWAY PERMEABLE PAVING	92.40	0.75
TOTAL PROPOSED DEEP SOIL LANDSCAPE (WITHIN LOT BOUNDARY)	**1156.90**	**9.44**
ADDITIONAL DEEP SOIL LANDSCAPE PROVIDED AS A RESULT OF DEVELOPMENT ASSOCIATED PUBLIC DOMAIN WORKS	191.60	1.56
TOTAL PROPOSED DEEP SOIL LANDSCAPE	**1330.10**	**11.75**

DEEP SOIL AREAS (EXCLUDING VPA)	AREA (m2)	% SITE AREA
CONTIGUOUS DEEP SOIL LANDSCAPE	154.70	1.26
MARRIOTT STREET DEEP SOIL LANDSCAPE	165.00	1.34
TOTAL PROPOSED DEEP SOIL LANDSCAPE (WITHIN LOT BOUNDARY)	**301.30**	**2.60**
ADDITIONAL DEEP SOIL LANDSCAPE PROVIDED AS A RESULT OF DEVELOPMENT ASSOCIATED PUBLIC DOMAIN WORKS	191.60	1.56
TOTAL PROPOSED DEEP SOIL LANDSCAPE	**492.90**	**4.16**

ASPECT Studios™

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REV	DATE	AMENDMENTS
C	6/09/18	DA
D	7/9/18	DA
E	10/9/18	DA
F	13/05/19	FOR INFORMATION
G	15/05/19	FOR INFORMATION
H	16/05/19	DA
I	15/08/19	DA
J	02/09/19	UPDATES TO DEEP SOIL CALCS
K	9/18/19	REVISED DA SUBMISSION

STATUS
DEVELOPMENT APPLICATION

CLIENT
TOGA

PROJECT
SURRY HILLS SHOPPING VILLAGE
399 CLEVELAND STREET
REDFERN

DRAWING
DEEP SOIL
COMPLIANCE DIAGRAM

DRAWN: AT
CHECKED: TW | SB
SCALE @ A1: 1:250

DRAWING NO.: S18012-DA-05-101
REVISION: K