

Attachment D

Landscape Plans

An aerial photograph of a city neighborhood. In the foreground, there is a large, green, oval-shaped baseball field with a dirt infield. To the right of the field is a large, multi-story stadium with a white roof. The surrounding area is densely packed with residential and commercial buildings, streets, and trees. The overall scene is a high-angle view of an urban landscape.

ARCADIA

LANDSCAPE ARCHITECTURE

ASHMORE STREET LANDSCAPE DEVELOPMENT APPLICATION - BLOCK A JANUARY 2020_K

DESIGN RESPONSE DESIGN INFLUENCES AND APPROACH

The development consists of a range of spatial types with varying design considerations. These spaces include The Green Link, Communal Open Space, Lane way, Streetscape and Building Entries. Each space will address the considerations outlined within the City of Sydney Landscape Code while providing a site specific design response. Where possible, the history and heritage of the site should be celebrated and form part of the user experience of the site. High level considerations for the spaces are noted below:

The Green Link:

Kooka Walk is a north south 20 metres wide 'green link' which will be a pedestrian and cyclist only link connecting Ashmore Street to Coulson Street. It aims to connect Eskineville Oval in the North, McPherson Park (proposed public park to the south of this development) and other open space within this link the use of artwork and other interpretive features will help lead people through the space and create visual interest within the landscape. Materials (paving, planting and furniture) should clearly define the Green Link as a public space.

Communal Open Space:

Communal open space acts as an extension of the building's living space, offering flexible opportunities for passive and active recreation for residents. Communal open space should provide gathering spaces with amenity for entertaining and play, open space for recreation, good solar access, natural ventilation and deep soil areas for significant tree and mass planting. Communal open space may be located on podiums and accessible rooftops.

Private Open Space:

Private open space is an external area intended for the sole use of tenants of an individual unit. It can be in the form of a courtyard, deck, terrace or balcony. Private open space should be integrally connected to the apartment's main living spaces, functioning as an extension of internal living areas. Private courtyard spaces adjacent to communal spaces must have a high level of privacy, while maintaining opportunities for visual connection and outlook to adjacent spaces. Private open spaces can often have a direct relationship with the public domain but should be clearly defined as private.

Deep Soil:

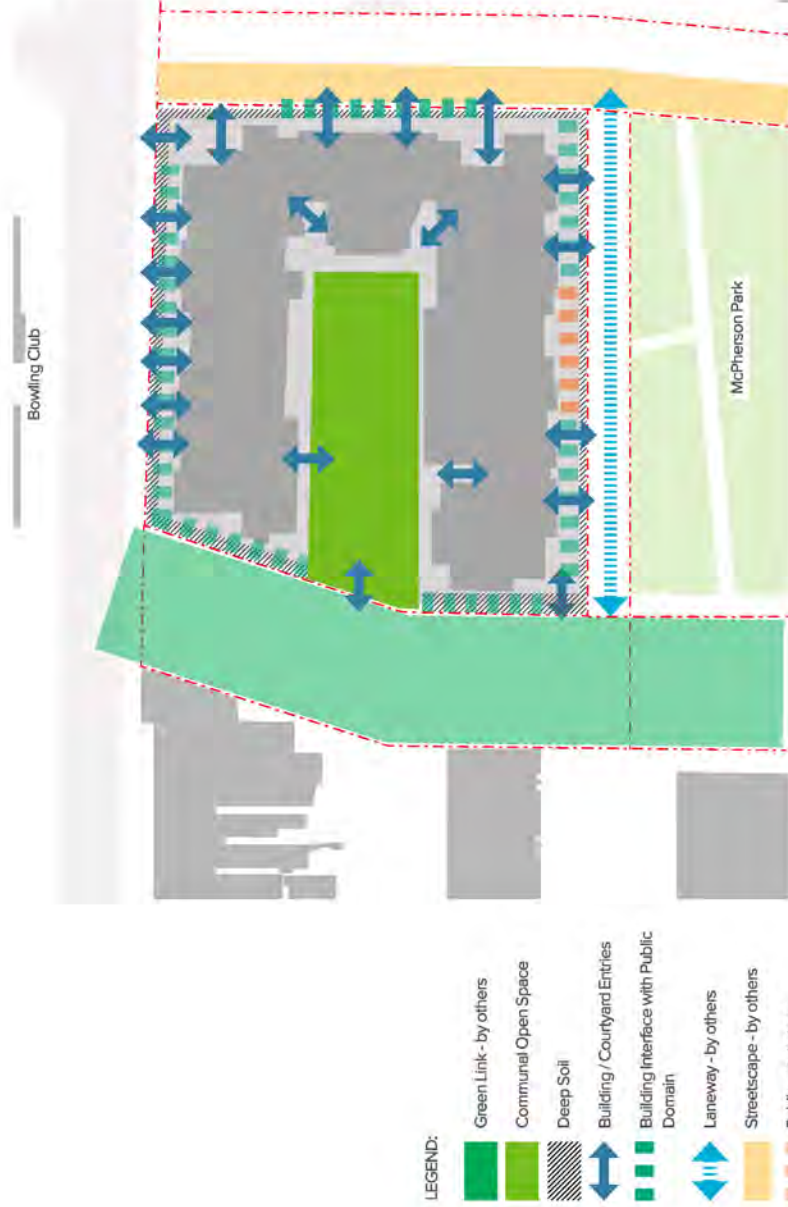
Deep soil zones are areas within a development of natural ground with no obstructions above or below relatively natural soil profiles. Deep soil zones help promote healthy growth of large trees, protect existing mature trees and allow infiltration of rain water into the water table to reduce storm water runoff. Where possible, deep soil zones should be consolidated, contiguous and connected to other deep soil systems.

Streetscape / Building Interface with Street:

Development frontages form the interface between the public and private domain. The design of these frontages will affect the visual and physical quality of your development, its presence on the street, its contribution to street activation and passive surveillance and the quality of the public domain. The design of this interface and the private landscapes that adjoin it must address the development's relationship with the street including surveillance, overlooking and privacy.

Building Entries:

Development entries are the public address to your site. They include entries to private and communal courtyards, lobbies and basement car parks. Landscape can be used to define and reinforce all entry points. By utilising way finding techniques, entry points can be clearly marked and identifiable.



LEGEND:

- Green Link - by others
- Communal Open Space
- Deep Soil
- Building / Courtyard Entries
- Building Interface with Public Domain
- Laneway - by others
- Streetscape - by others
- Public art strategy

ASHMORE STREET Landscape Development Application - Block A

PREPARED BY
CLIENT
ARCHITECT

ARCADIA LANDSCAPE ARCHITECTURE
GREENLAND GOLDEN HORSE INVESTMENT
TURNER ARCHITECTS

DATE
SCALE
ISSUE

JANUARY 2020
NTS
K

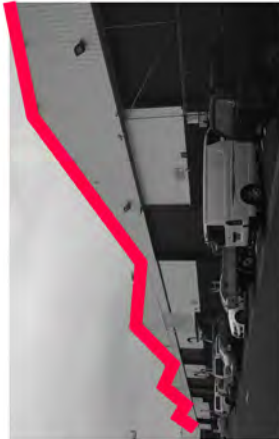


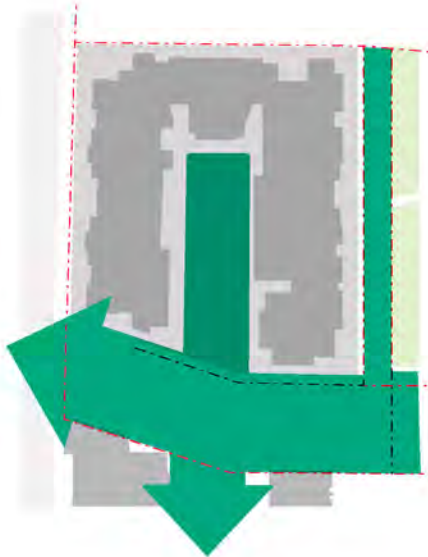


The development site is characterised by large industrial sheds with **triangular pitched roofs**. This **repetitive** and regular triangular form is reflected in the surrounding heritage buildings and terrace housing adjacent the site. The design will reflect this structure of the built form through the **paving patterns**, garden beds and walling.

Once occupied by the old **Metters Factory** which assembled/manufactured stoves and two steel engineering companies McPherson's Pty Ltd and Hadfields Steel Works, it is our vision to interpret features of the ovens and stoves into a **historical walk**. We also intend to use **materials drawn from the sites industrial heritage** such as steel or varying colours and textures. The **cranked forms** of the cook tops and rounded edges of the ovens will be reflected through the spatial.

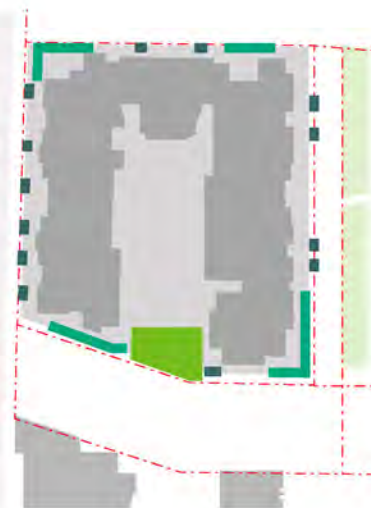
Erskineville is characterised by numerous green parks and **tree lined streets**. This strong green character will be continued through the new development, lush garden beds and planting.





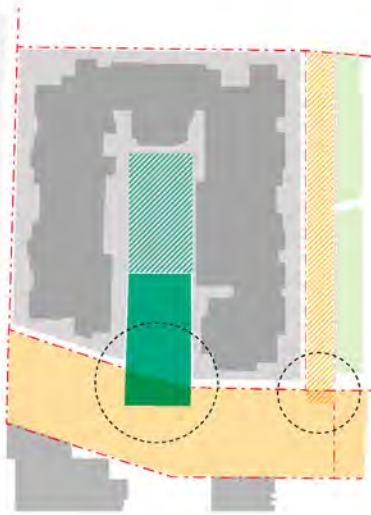
A CONNECTED PUBLIC DOMAIN

- Inner block spaces connected to surrounding public domain
- Connections between all spaces should be enhanced
- Variation in public and private should be defined



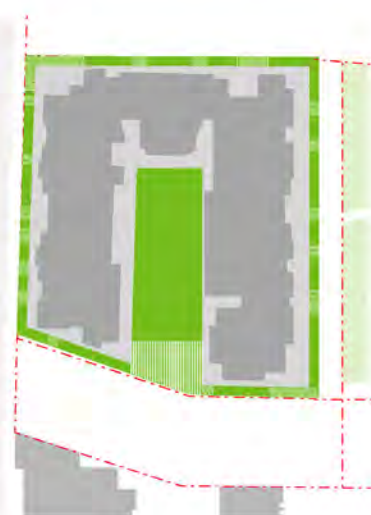
CLEARLY DEFINED ENTRIES

- Establish a hierarchy of clearly defined entry types
- Minimise impact of building entries on the public domain



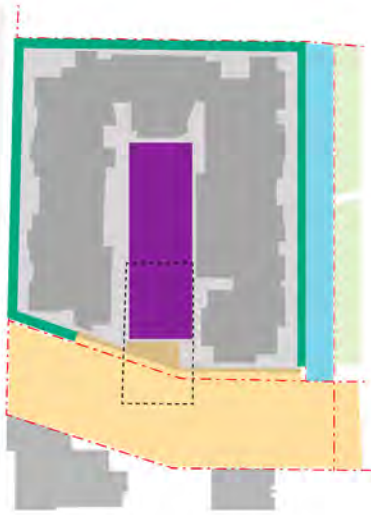
ESTABLISH A HIERARCHY OF SPACE TYPES

- Clearly define spaces
- Consider a transition of character with an exchange between each space
- Create nodes at intersection of spaces



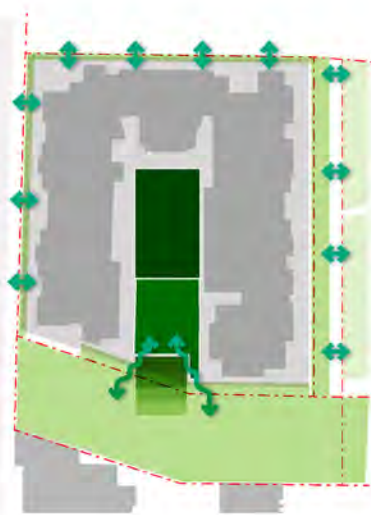
A BUILDING IN A PARK

- Celebrate entry to development on the Green Link
- Minimise impact of building entries on the public domain
- Promote connections to the Park



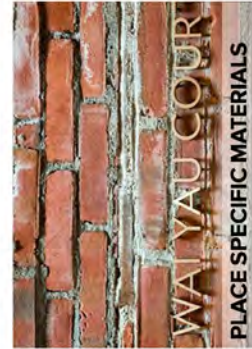
DEFINED USE

- Four distinct ground level spaces
- Consideration of arrival, experience and sequence
- Respond to adjacent building use and the broader context of Ashmore Precinct
- Shift from public use on the Green Link to private use within the development



CHARACTER EXCHANGE

- Establish a character exchange between development and green link
- Fold Public Domain into site and allow some spill over from the development into Green Link
- Clear and smooth transition from Public to Private



LEGEND

1. ACCESSIBLE ENTRY
2. FOLDED / TERRACED LANDSCAPE FROM PUBLIC GREEN LINK TO COMMUNAL OPEN SPACE
3. PRIVACY FENCE TO PRIVATE COURTYARDS
4. TREE GROVE WITH SEATING BELOW
5. OPEN LAWN
6. RAISED PLANTERS WITH INTEGRATED SEATING EDGE
7. FEATURE SHADE STRUCTURE
8. PICNIC TABLES
9. CONTINUATION OF PUBLIC DOMAIN MATERIALS TO COURTYARD ENTRIES
10. PUBLIC ART INCORPORATED - REFER PAPER





ASHMORE STREET
Landscape Development Application - Block A

PREPARED BY: ARCADIA LANDSCAPE ARCHITECTURE
CLIENT: GREENLAND GOLDEN HORSE INVESTMENT
ARCHITECT: TURNER ARCHITECTS
DATE: JANUARY 2020
SCALE: 1:200 @A1
ISSUE: K





SECTION A : CENTRAL LAWN AREA

1-87

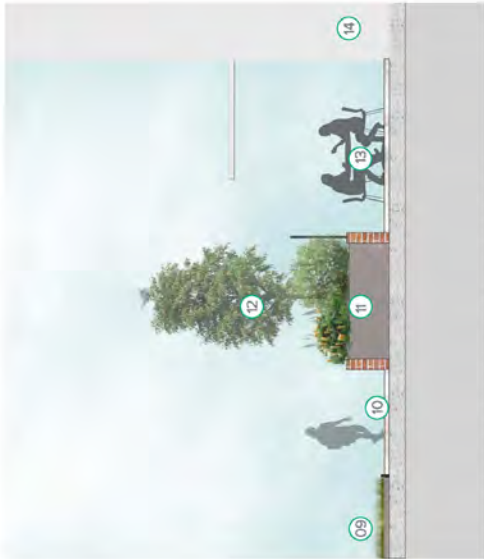


SECTION B : RAMP AND PLANTED TERRACES

LEGEND

1. RAISED LAWN AREA
2. STEEL EDGE BETWEEN LAWN AND PAVING
3. RECYCLED BRICK WALL
4. RAISED PLANTER FOR SOIL DEPTH FROM SLAB
5. BENCH INTEGRATED INTO WALL
6. RAMP UP TO COMMUNAL OPEN SPACE
7. TERRACED PLANTING BEDS
8. STREET LEVEL WITH PUBLIC DOMAIN MATERIAL
9. CENTRAL LAWN
10. PATHWAY
11. PLANTER
12. SCREENING TREE
13. PRIVATE COURTYARD
14. RESIDENCE

KEY PLAN



SECTION C : PRIVATE COURTYARDS

DESIGN RESPONSE CONCEPT PLAN - ROOF TERRACE

008

LEGEND

1. OPEN TURF
2. RAISED TIMBER DECK
3. BUILT IN BBQ BENCH
4. SCULPTURAL SHADE CANOPY
5. BUILT IN BENCH SEAT AND DINING AREA
6. COMMUNAL VEGGIE GARDEN
7. BUILT IN SEATING
8. SCULPTURAL LIGHT WELL FEATURES
9. LUSH AND DENSE PLANTING
10. DECOMPOSED GRANITE
11. RECYCLED BRICK PAVING
12. EDGE PLANTING TO PARAPET



ASHMORE STREET
Landscape Development Application - Block A

ARCADIA
LANDSCAPE ARCHITECTURE

PREPARED BY
CLIENT
ARCHITECT

ARCADIA LANDSCAPE ARCHITECTURE
GREENLAND GOLDEN HORSE INVESTMENT
TURNER ARCHITECTS

DATE
SCALE
ISSUE

JANUARY 2020
1:10000A1
K



Copyright remains the property of Arcadia Landscape Architecture Pty Ltd. All other required dimensions. Any other required dimensions are to be referred to and supplied by the landscape architect. All dimensions to be referred to the project drawings and Arcadia Landscape Architecture Pty Ltd prior to construction. Drawings comply with the Building Code of Australia and all relevant Australian Standards and Architectural



SECTION C : VEGETABLE GARDEN & BBQ DECK



SECTION D : GREEN FACADE PLANTER

KEY PLAN



LEGEND

1. BALUSTRADE PROTECTION TO EDGE OF PERIMETER PLANTER
2. ARTIFICIAL TURF
3. RAISED PLANTER VEGETABLE GARDEN
4. INTEGRATED BENCH
5. TIMBER DECK AREA
6. COMMUNAL BBQ & DINING AREA
7. STEEL SHADE STRUCTURE
8. LIFT OVERRUN WITH LANDSCAPED ROOF
9. EDGE PLANTING

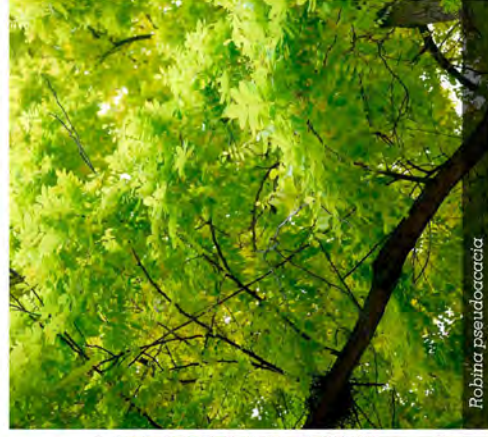




Ceratopetalum gummiferum



Elaeocarpus reticulatus (Pink)



Robinia pseudacacia



Betula pendula alba



Olea Europea



Jacaranda mimosifolia



Cupaniopsis anacardioides



Tistamopsis luscious



Waterhousia floribunda



Fraxinus pennsylvanica 'Urbanite'

DESIGN RESPONSE PLANTING PALETTE

011

SHRUBS + GROUNDCOVERS



Grevillea sericea



Agave attenuata



Westringia ssp.



Correa alba



Aspidistra elatior



Alpinia caerulea



Baccharis myrtifolia



Pennisetum clopecuroides



Pittosporum 'Miss Muffet'



Protea ssp.



Anigozanthus 'Gold velvet'



Russelia equisetiformis



Syrigium 'Aussie Boomer'



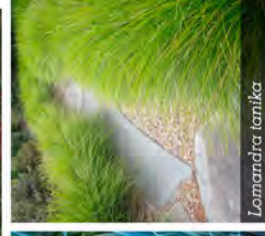
Dianella caerulea



Dichondra repens 'Silver Falls'



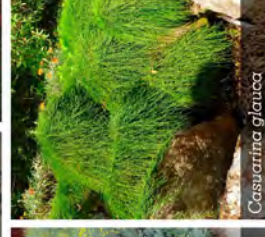
Senecio ssp.



Lomandra tanika



Santolina ssp.



Casuarina glauca



Trochelospermum jasminoides



Liriope muscari

ROOF TERRACE PLANTS



Myoporum parvifolium



Dianella caerulea



Crassula ovata



Westringia fruticosa



Gaura lindheimeri



Senecio ssp.



Dichondra repens 'Silver Falls'



Trochelospermum jasminoides



Aspidistra elatior

ASHMORE STREET
Landscape Development Application - Block A

PREPARED BY

ARCADIA LANDSCAPE ARCHITECTURE

CLIENT

GREENLAND GOLDEN HORSE INVESTMENT

ARCHITECT

TURNER ARCHITECTS

DATE

JANUARY 2020

SCALE

ISSUE

K

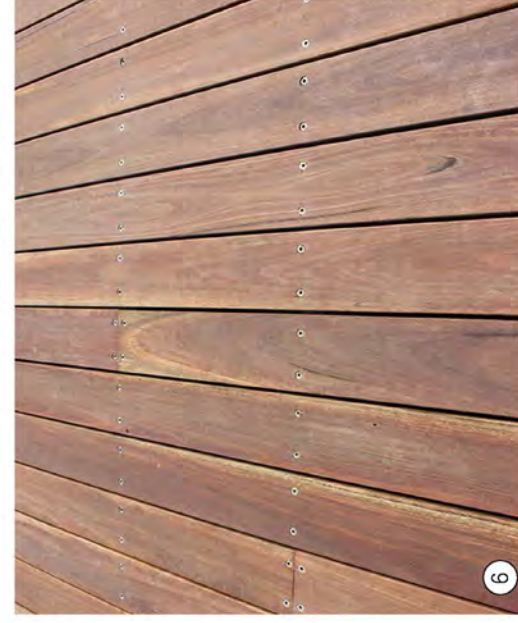
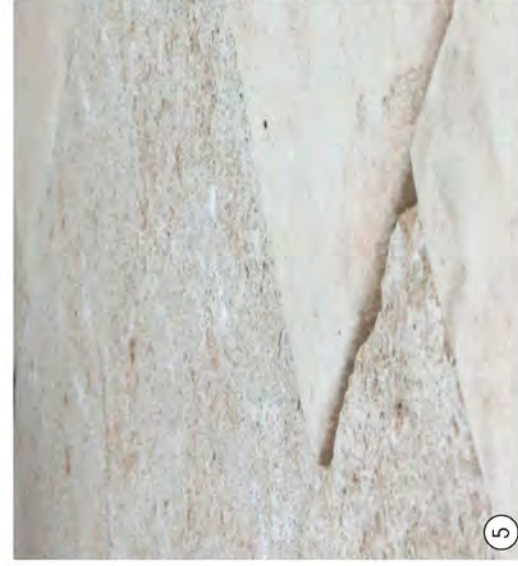
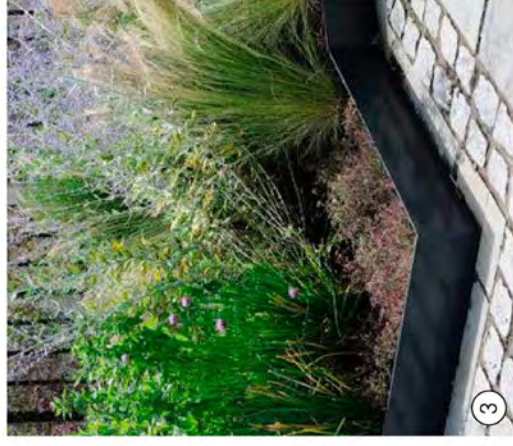
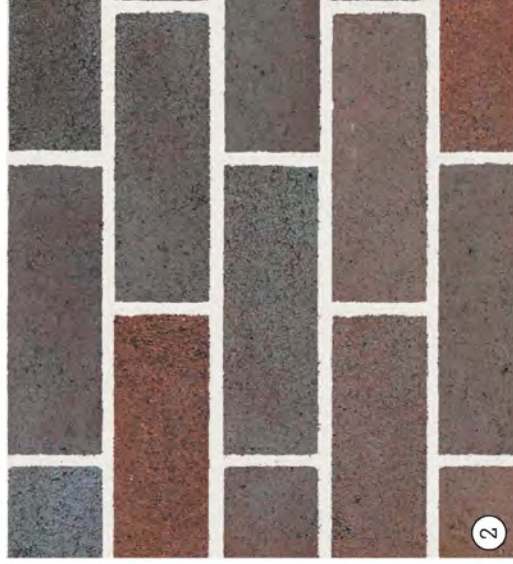
ARCADIA
LANDSCAPE ARCHITECTURE

Copyright remains the property of Arcadia Landscape Architecture Pty Ltd. The work is prepared for the client and is not to be reproduced without the written consent of Arcadia Landscape Architecture Pty Ltd. All other material contained herein is the property of the client and is not to be reproduced without the written consent of the client.

DESIGN RESPONSE MATERIAL PALETTE

012

1. Recycled Brick Wall
2. Bowral Blue Brick Capping
3. Steel Edge - Powder Coated
4. Steel & Timber Shade Structure
5. Beauford Sandstone Paving
6. Timber Decking



DESIGN STUDY RELEVANT GUIDELINES

Looking at the relevant existing guidelines regarding the landscaped setback from the public domain. These guidelines will allow us to combine the requirements and come to a compromise between them:

CITY OF SYDNEY DCP:

SECTION 5.5.42 - Quality of Landscaping and Landscaped Setbacks

- Landscaping, plant species and structures such as walls are to withstand temporary flood inundation in those areas designated as detention basins.
- All setbacks are to be provided in accordance with Figure 5.119 Ashmore Open Space and Setbacks Map.
- All 3 metre landscaped setbacks must be in accordance with the City's Landscape Code and must remain in the private domain with the maintenance the responsibility of the body corporate/strata.



Figure 5.119 Ashmore Open Space and Setbacks Map

SYDNEY LANDSCAPE CODE:

PART C - Setbacks

- Respond to the character of the street, reference the City of Sydney's Street Tree Master Plan and use complementary plant species
- Be environmentally sensitive, utilising areas for deep soil to retain significant existing trees and to provide WSUD systems
- Ensure that landscape design allows for views and natural surveillance from adjacent buildings.

PART C - Street Interface Guides

- Elevate the ground floor and private open space by a minimum of 0.8m above the adjacent footpath.
- Set back the ground floor by at least 3m from the property boundary and upper floors by at least 1.5m for the full height of the building, to provide daylight to a planted front garden.
- Layer landscape features such as planting, fences, walls, stairs and balustrades to balance privacy with surveillance of the footpath.

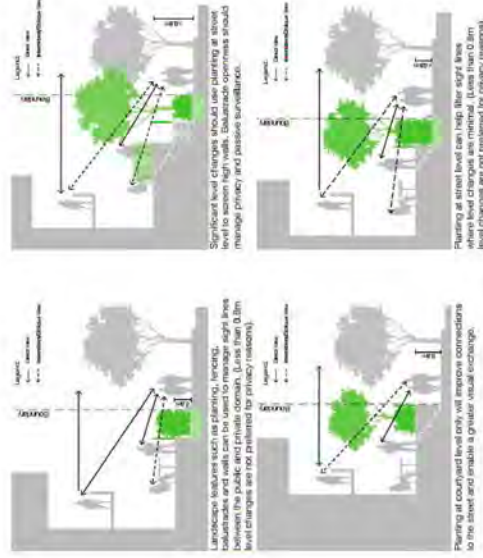


Figure 16: Scenarios to manage sight lines between the public & private domain

APARTMENT DESIGN GUIDELINES (ADG)

SECTION 2 G - Street Setbacks -

- Retain significant trees
- Consider articulation zones accommodating balconies, landscaping etc. within the street setback
- Use a setback range where the desired character is for variation within overall consistency, or where subdivision is at an angle to the street
- Manage corner sites and secondary road frontages

SECTION 4E - Private Open Space & Balconies

- For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.
- Building layout should maximise balcony use by allowing access from the main living area and a bedroom (where possible).
- Minimum balcony depths ensure that the balcony area is useable and can be easily accessed.

Dwelling Type	Minimum Area	Minimum Depth
Studio apartments	4m ²	
1 bedroom apartments	8m ²	2m
2 bedroom apartments	10m ²	2m
3 bedroom apartments	12m ²	2.4m

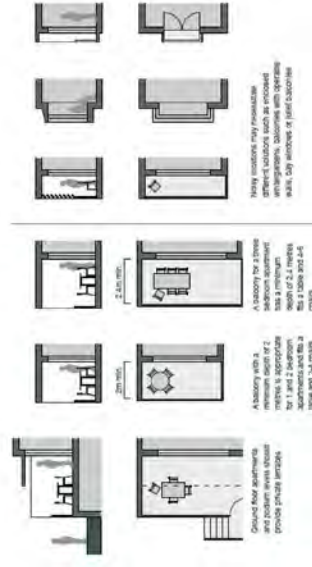
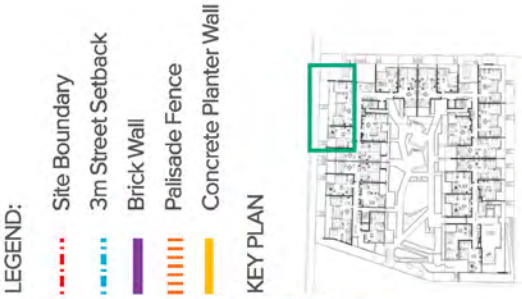
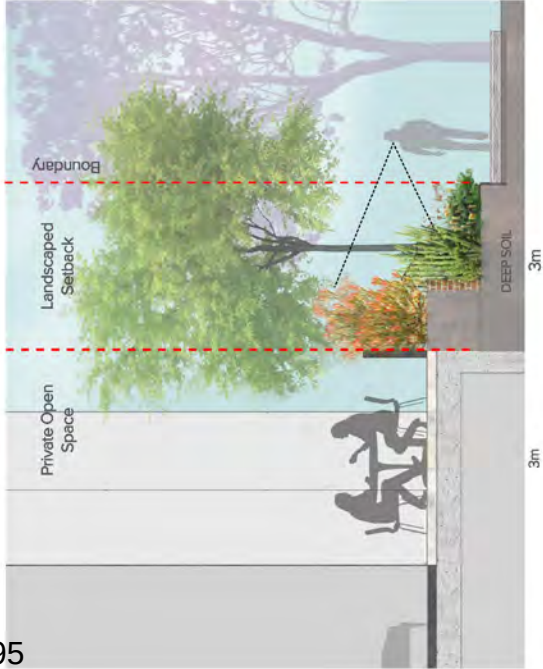
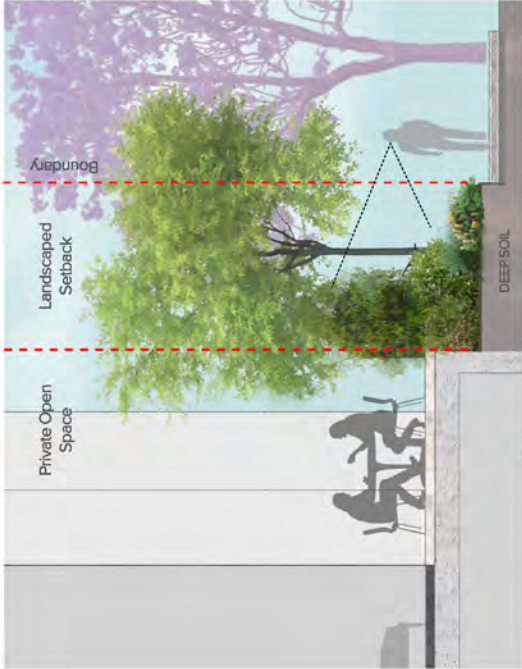


Figure 4E.2 Diagrams illustrating minimum balcony depth & options for noise treatment

TYPICAL STREET INTERFACE

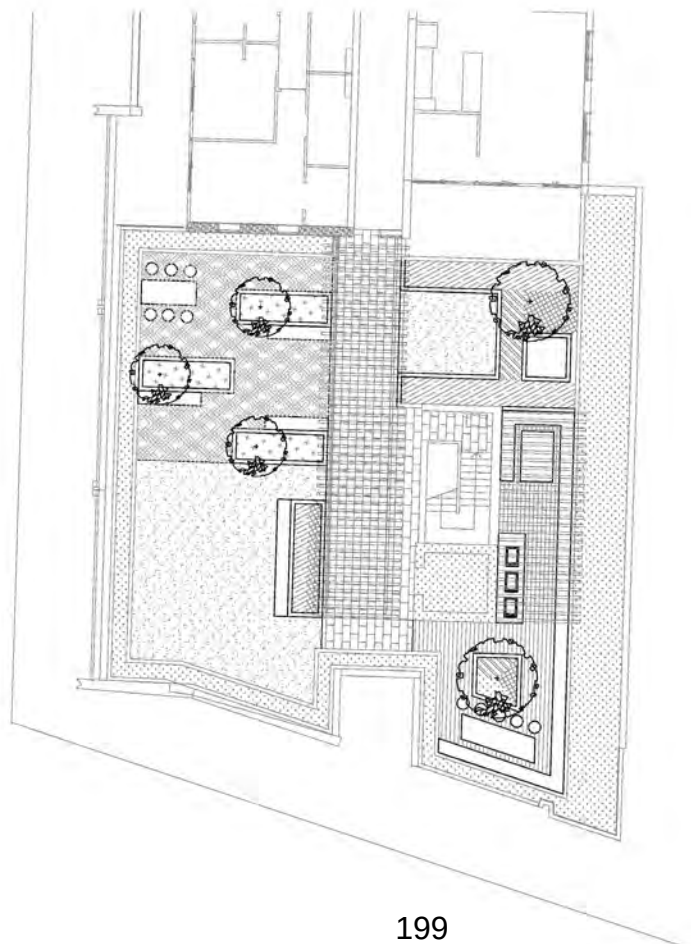


ASHMORE STREET ADDENDUM

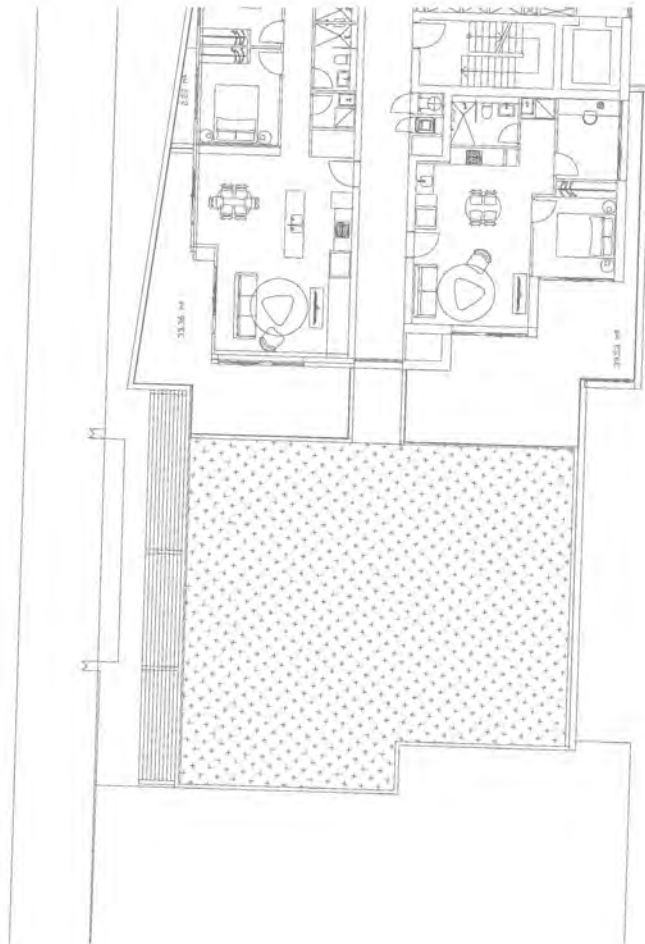
LANDSCAPE DEVELOPMENT APPLICATION BLOCK A
JANUARY 2020



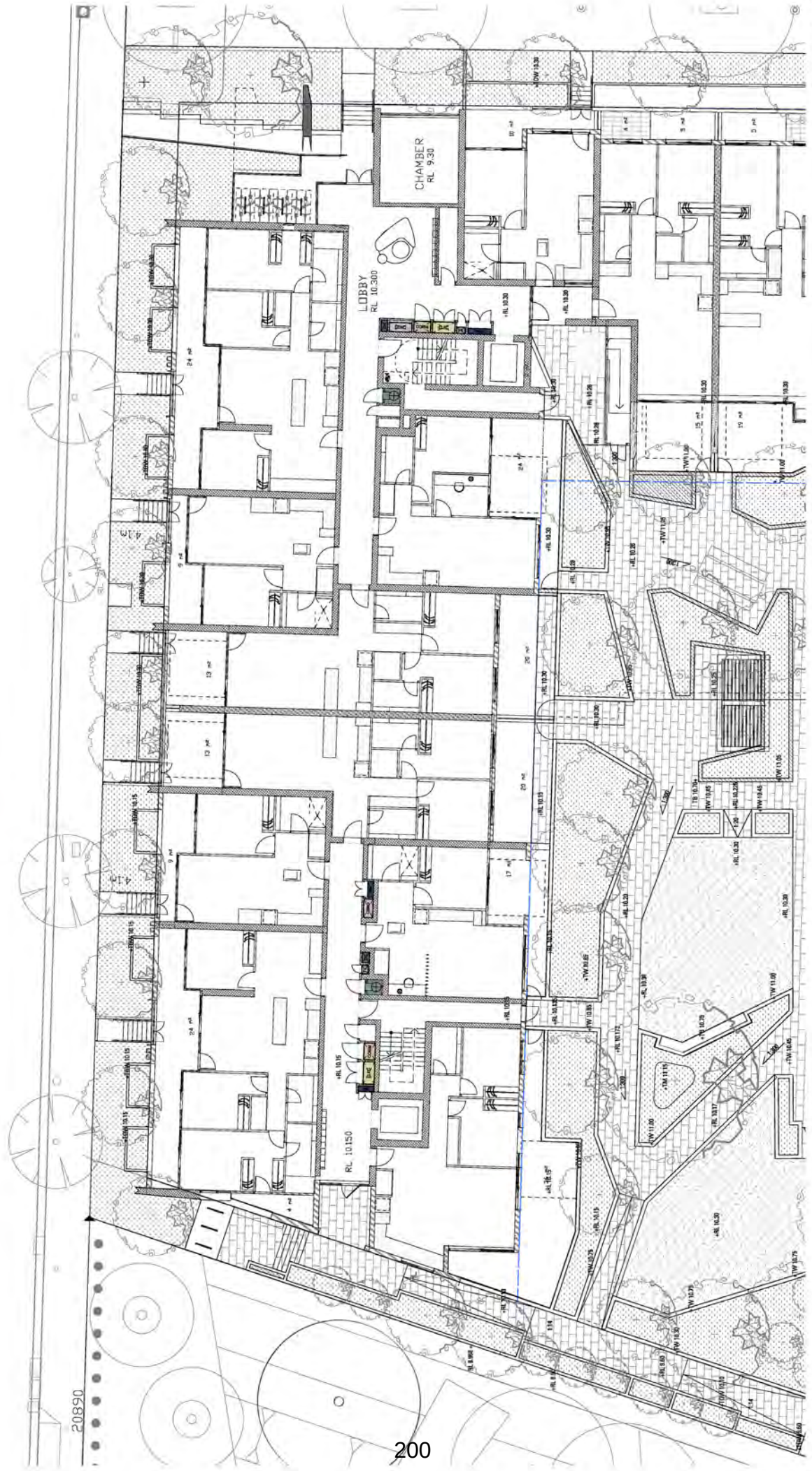
LEVEL 3

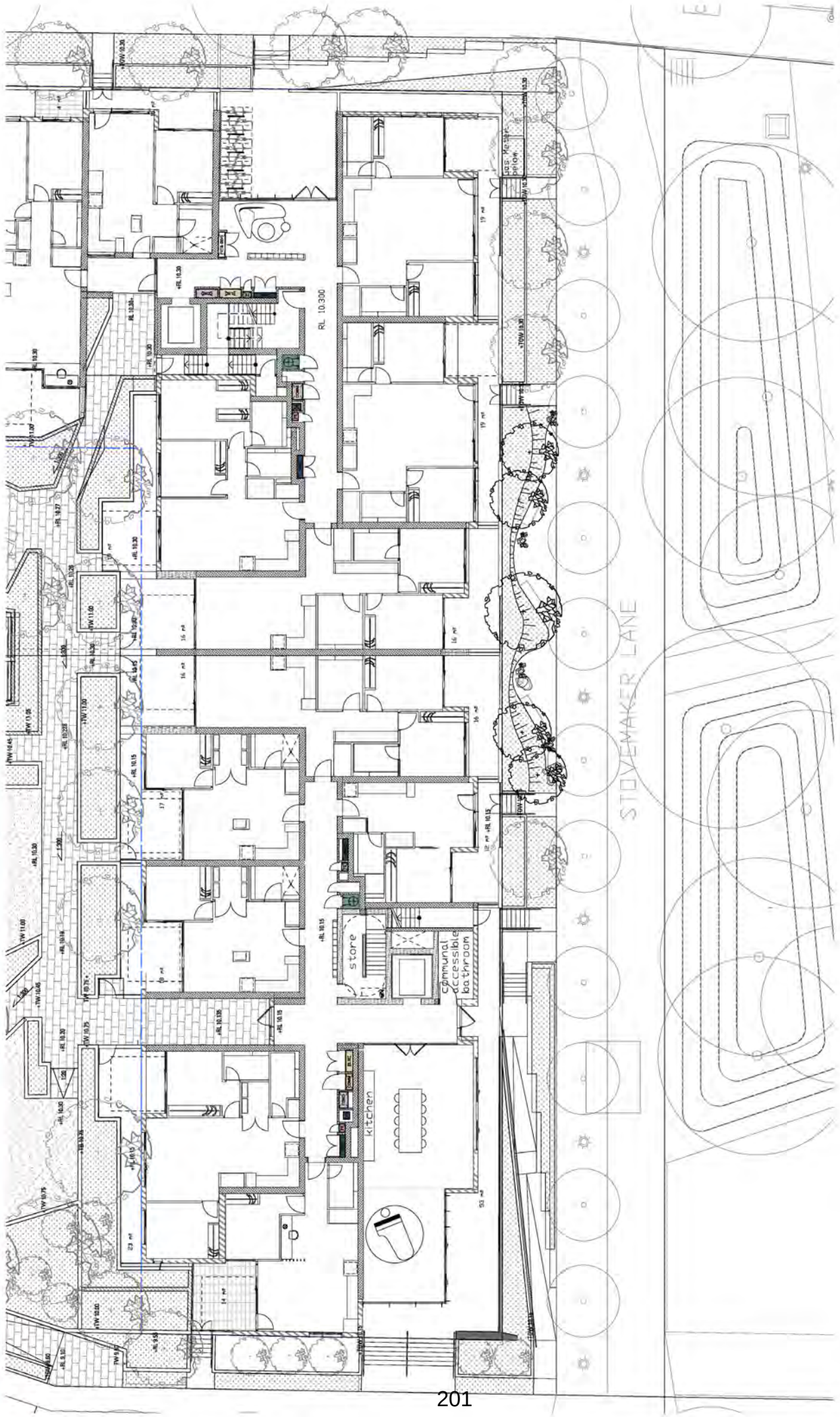


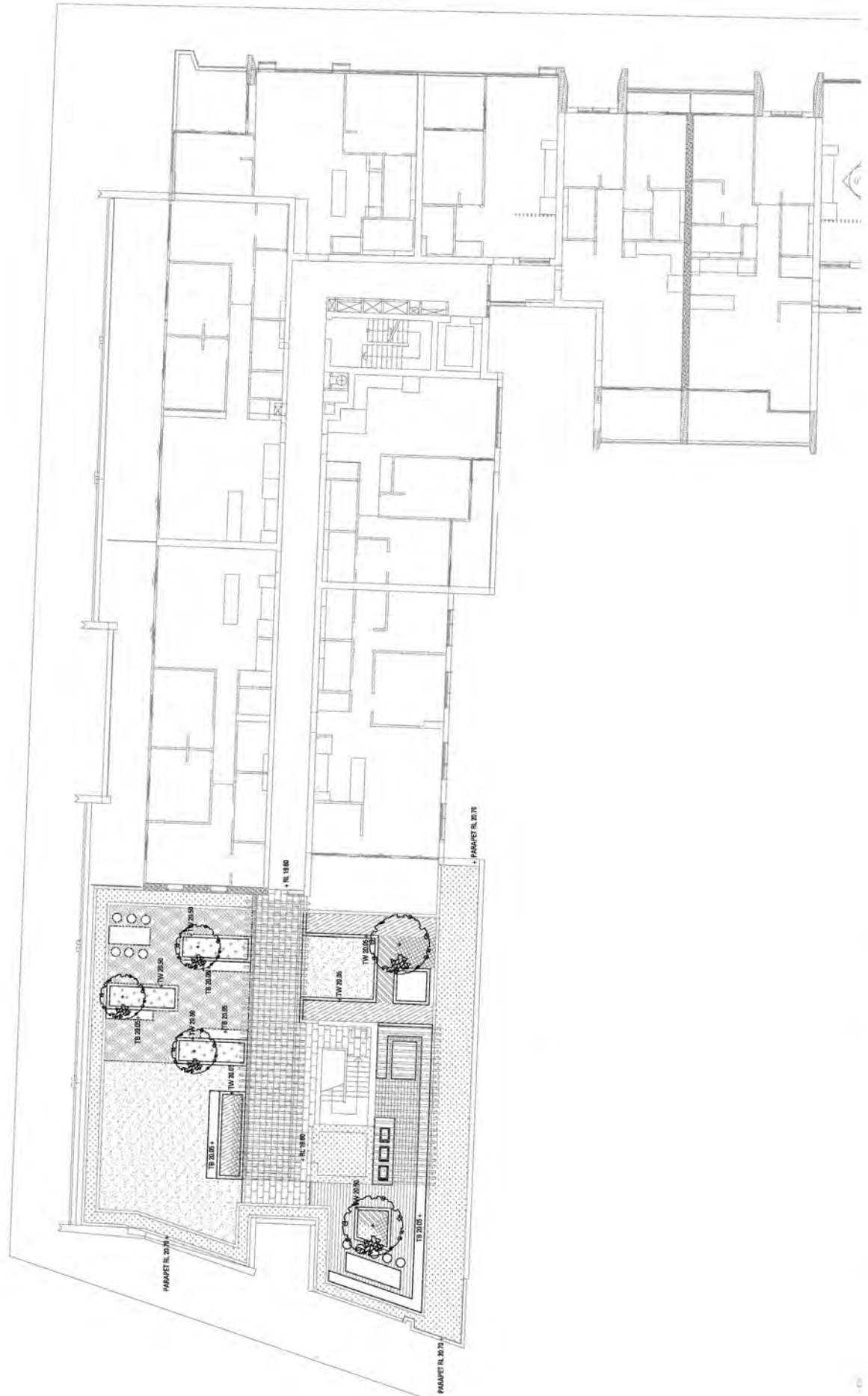
LEVEL 4



ASHMORE STREET



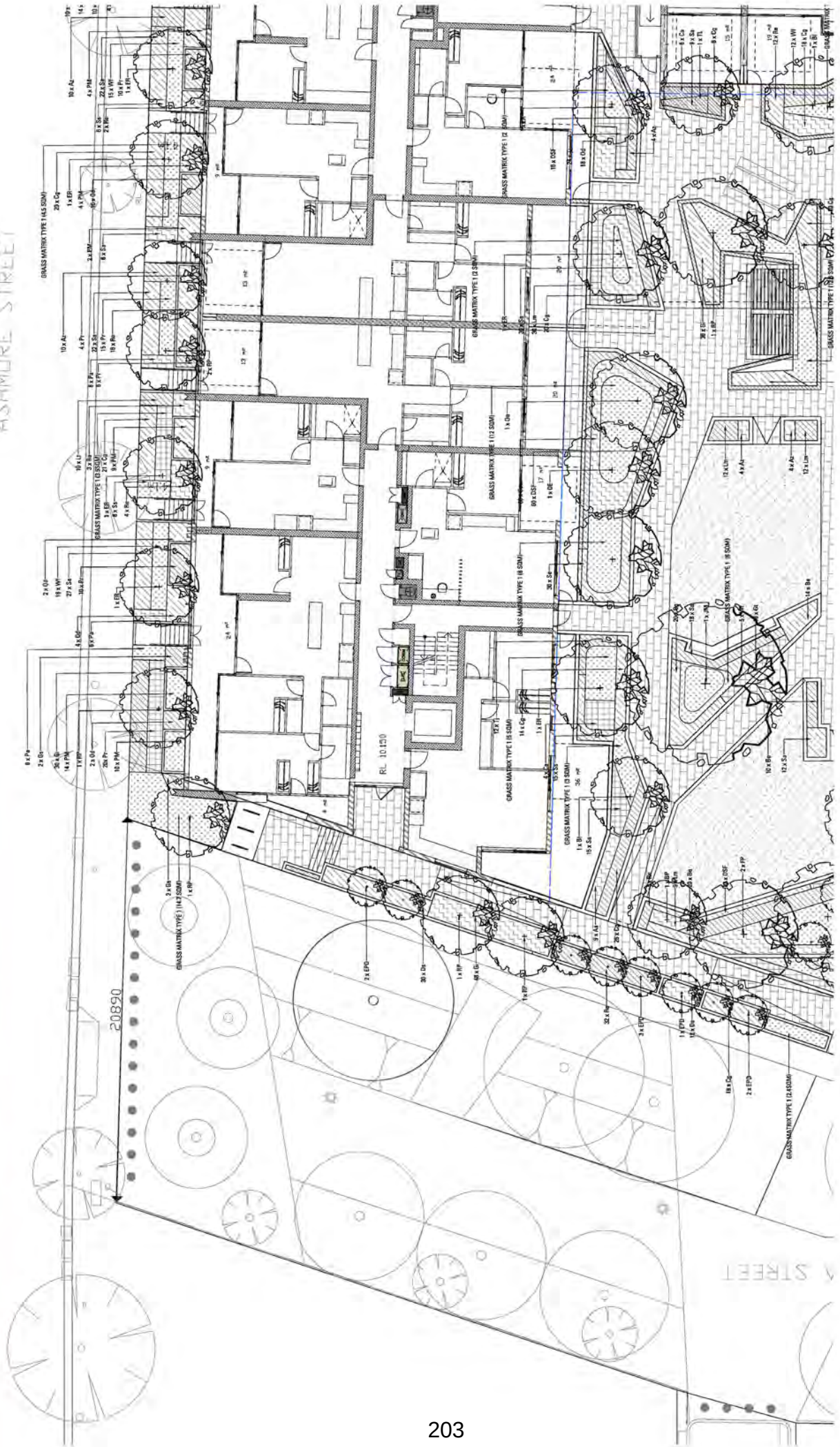




1:100 @ A1



ASHMORE STREET

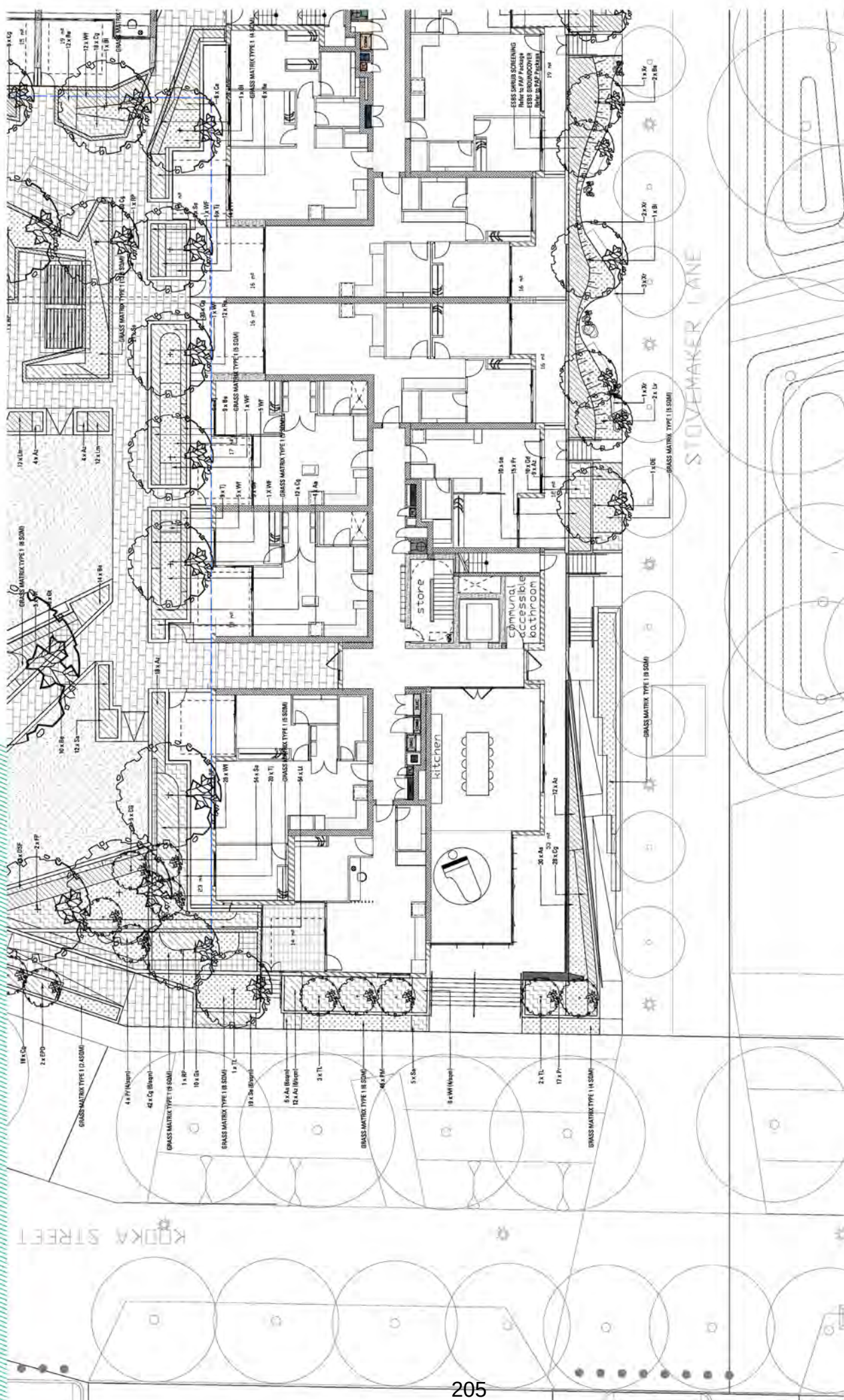


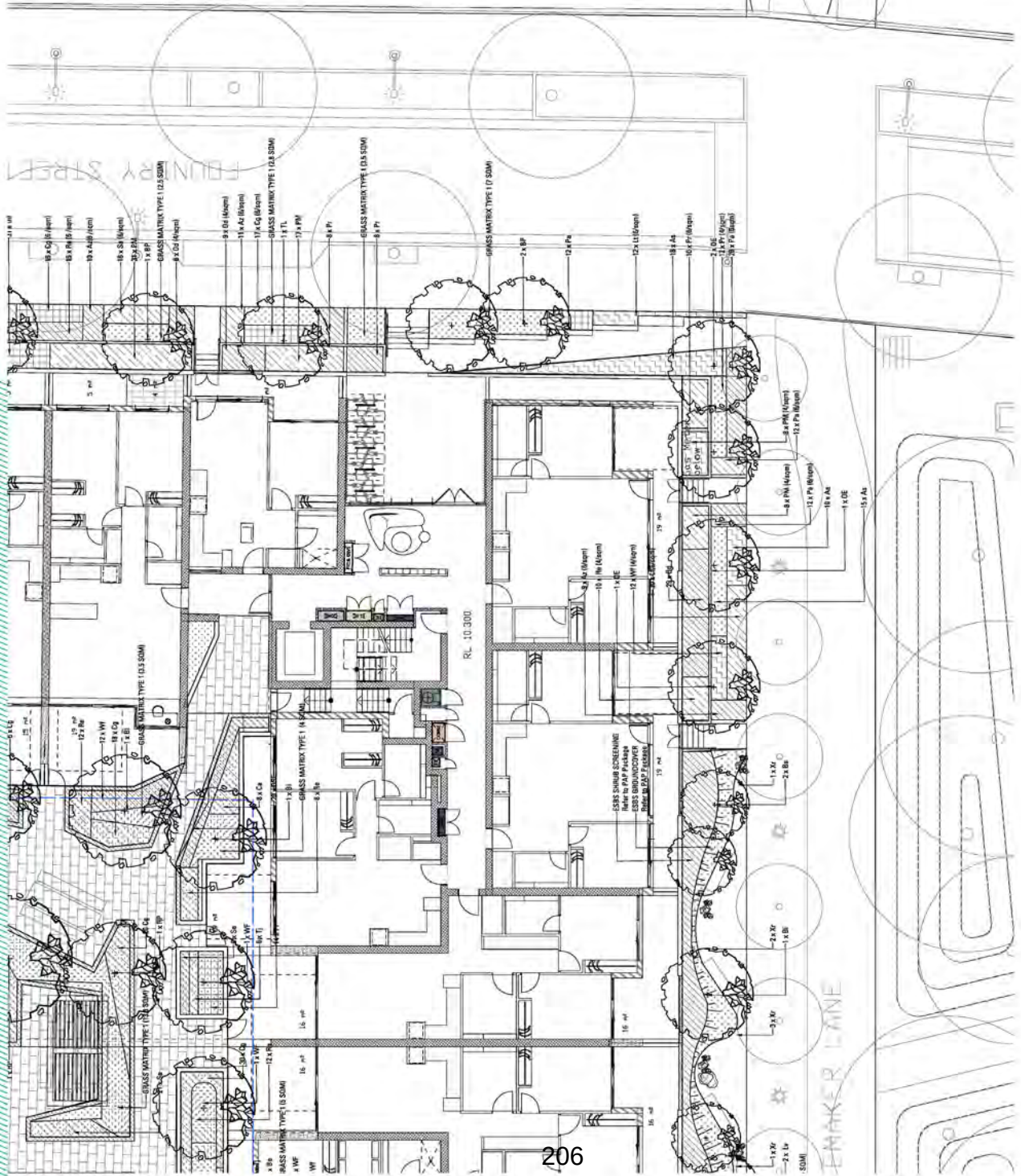
BLOCK A: 57 ASHMORE ST, ERSKINEVILLE
LANDSCAPE DEVELOPMENT APPLICATION

PREPARED BY Arcadis Landscape Architecture
CLIENT Urbis
ARCHITECT Turner

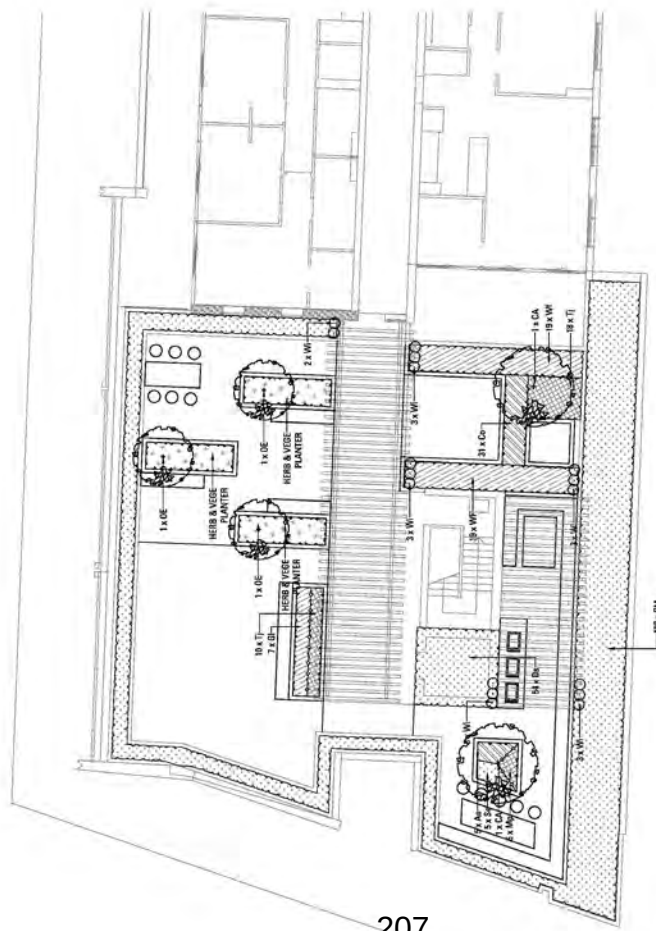
DATE JANUARY 20/20
SCALE 1:100 @ A1
ISSUE K

Copyright remains the property of Arcadis Landscape Architecture Pty Ltd. Use only beyond immediate. Any further required numbers are to be referred to and applied by the landscape architect. All dimensions to be referred to the project manager and Arcadis Landscape Architecture Pty Ltd prior to construction. This document is to be used in accordance with the Australian Standard AS/NZS 1170:2002 and Australian Standard AS/NZS 1170:2002.

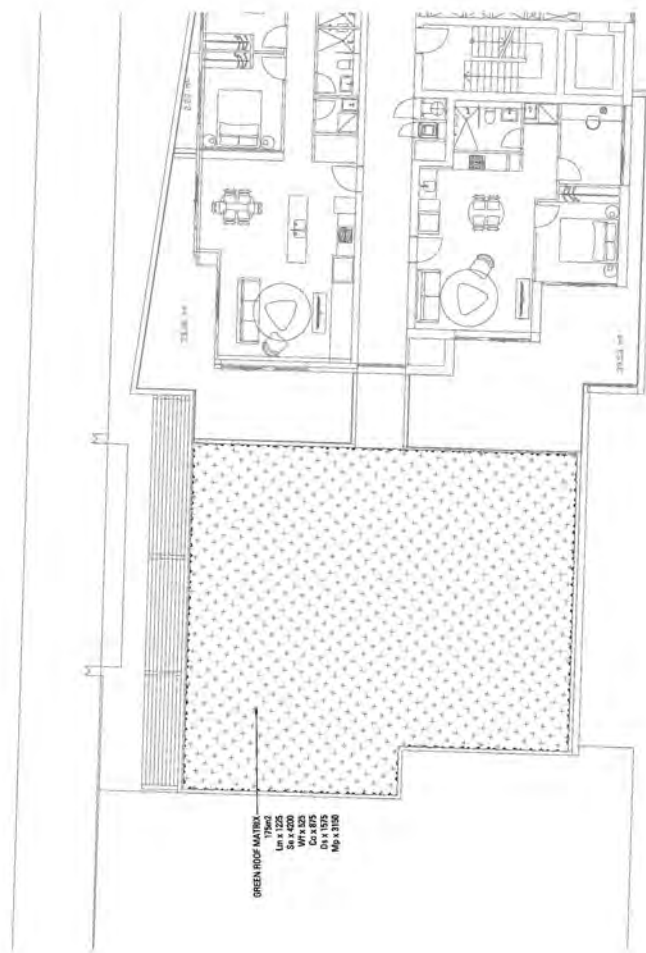




LEVEL 3



LEVEL 4



GREEN ROOF MATRIX —
175m2
Ln x 1225
Sd x 4200
Wt x 525
Co x 875
D1 x 1575
Mip x 3150

1:100 @ A1



ARCADIA
LANDSCAPE ARCHITECTURE

BLOCK A: 57 ASHMORE ST, ERSKINEVILLE
LANDSCAPE DEVELOPMENT APPLICATION

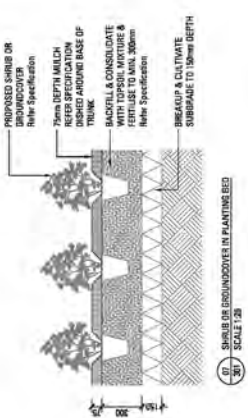
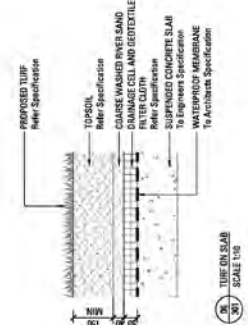
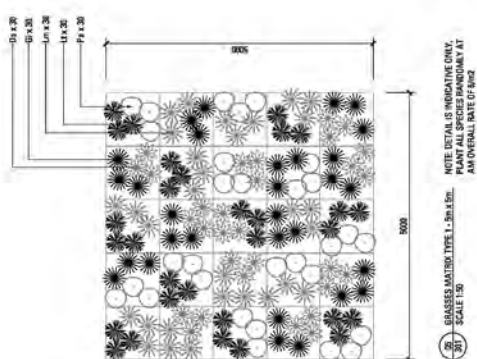
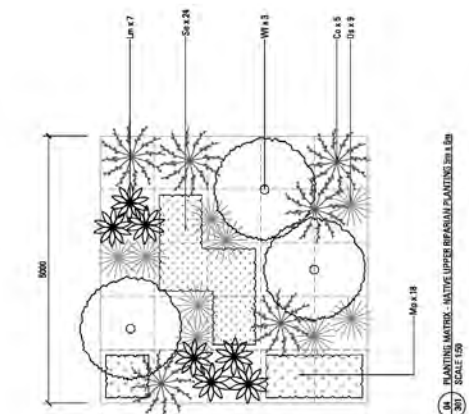
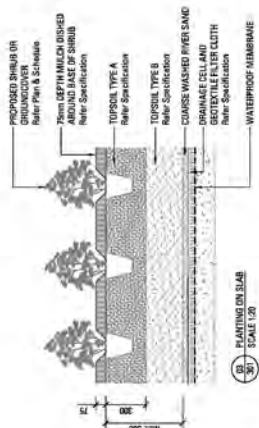
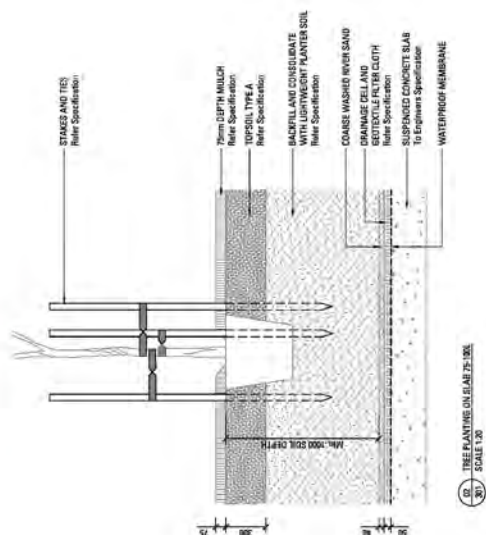
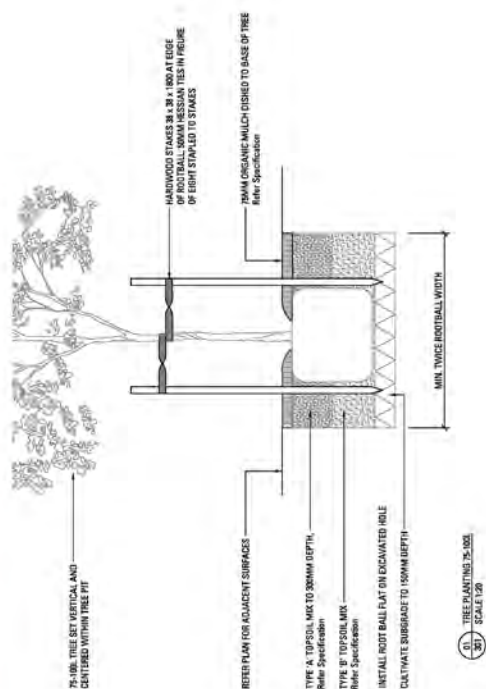


PREPARED BY Arcadia Landscape Architecture
CLIENT Urbis
ARCHITECT Turner

DATE: JANUARY 2020
SCALE: 1:100 @ A1
ISSUE: K

Copyright remains the property of Arcadis Landscape Architecture Pty Ltd. Use only licensed documents. Any other required documents are to be referred to and supplied by the landscape architect. All documents are to be referred to the project manager and Arcadis Landscape Architecture Pty Ltd prior to construction. Ensure compliance with the Building Code of Australia and all relevant Australian Standards and Authorities.

LANDSCAPE DETAILS



LANDSCAPE SPECIFICATION

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE AND MAINTAIN SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM.

TURF

TO BE SURE ALL LANDSCAPE AREAS AS SHOWN ON THE LANDSCAPE DRAWMING, TURF IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 8 CM. OBTAIN TURF FROM AN APPROVED GROWER, RUNNICH A WARRANTY FROM THE GROWER THAT THE TURF IS FREE FROM WEEDS AND OTHER FOREIGN MATTER. DELIVER TURF TO THE SITE WITHIN 24 HOURS OF BEING CUT, AND LAY IT WITHIN 24 HOURS OF BEING DELIVERED.

CONTRACTOR'S OBLIGATION: ARRANGE FOR DELIVERY TIME, CUT, MOISTEN, TAMP, AND SPREAD TURF IN ACCORDANCE WITH THE SPECIFICATIONS AND

THEY ARE AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100 MM. PROTECT NEWLY PLANTED AREAS AGAINST PLANT LOSS WITH GRASS IS ESTABLISHED. FERTILIZE TWO WEEKS AFTER LAYING THE MULCH.

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICES ASPECTING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, WATERING, MOWING, WEEDING, PRUNING, FERTILIZING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATING, PRUNING, AUGERING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

[illegible]

REPAIRS AND TIES

The LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STOCKS, AND TREE GUARDS AS NECESSARY ON ALL DIRECTED PLANTS. THE LANDSCAPE ARCHITECT WILL MONITOR AND TIE IN AT THE END OF THE MAINTENANCE PERIOD AS DIRECTED.

WALLS AND SURFACES
WALLS AND SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINTEGRATED IF NECESSARY TO INSURE THAT A COMPLETE TEAM IS MAINTAINED. INSURE WALLS ARE KEPT CLEAN BY FLYING STAFF AT ALL TIMES.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL GRASSES AND TURF AREAS BY WATERING, WEEDING, FERTILIZING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIES. TURF AREAS SHALL BE MAINTAINED TO THE SAME CONDITION AS THE ORIGINAL SPECIES. TURF AREAS SHALL BE MAINTAINED WITH APPROPRIATE SELECTIVE HERBICIDE AGAINST BROAD LEAVED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASSES AND TURF AREAS SHALL BE FERTILIZED ONCE A YEAR IN A CUMULATIVE TOTAL OF 100 LBS PER ACRE BY DATE OF APPLICATION. FERTILIZER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASSES AND TURF AREAS SHALL BE KEPT MOIST TO MAINTAIN COLOR AND VIGOR. TURF AREAS SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASSES AND TURF AREAS SHALL BE KEPT MOIST TO MAINTAIN COLOR AND VIGOR. TURF AREAS SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASSES AND TURF AREAS SHALL BE KEPT MOIST TO MAINTAIN COLOR AND VIGOR.

SOIL SUBSISTENCE—ANY EROSION, SUBSISTENCE OR REDDION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.

Aracida Landscapes Architecture
 Urbis
 Turner

DATE JANUARY
 SCALE 1:100 @ A1
 ISSUE X

and courage was an extraordinary achievement for a woman in your position and for the Building Group of Australia and all relevant Australian Standards and legislation.

LANDSCAPE SPECIFICATION NOTES

REMARKS:

LANDSCAPE CONSTRUCTION IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND INSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICE LINES, VENTS AND GUTTERS SHALL BE LEFT PROTECTED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, GARDEN BEDS ETC). ANY CHANGING TO BE DISCUSSED BY THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT.

DRAINAGE CELL AND PETER FABRIC
DRAINAGE CELL[®] PRODUCT IS COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTING OVER DRAINAGE CELL TO ON-SLAB AREAS. A POLYESTER TEXTURED LINING IS SUPPLIED AT 100% TILT OR APPROVED DRAINAGE CELL IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTING. TURNED UP JOINTS AND TAPES TO THE JOINTS OF THE ENTIRE CONTAINMENT PERIOD TO INSURE PROPER DRAINAGE MANAGEMENT AND PROTECTION OF THE TREES.

WE WILL BE HONORING BLEND OF SOIL AND ADAPTIVE TO THE FOLLOWING PROPORTIONS:

EXISTING SITE SOIL IS SUITABLE ON	IMPORTED TOPSOIL 50%
COMPOST 30%	DMV SAND 20%

SOIL TESTING OF EXISTING SITE SOIL IS TO BE UNDERTAKEN TO ASSESS SUITABILITY OF USE AS PLANTING TOPSOIL AND COMPLIANCE WITH AUSTRALIAN STANDARDS.

SAMPLE TYPE
BARK: BARK FROM MATURE TREES, GRADED IN SIZE FROM 1/4" TO 3/4", FREE FROM MOULD, SLIVERS, DARK BROWN IN COLOUR AND TEXTURE.

[illegible]

THREE IN EACH AND SUPER ADVANCED TREES
PELLETS SHALL BE IN THE PLOT INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS OVER A PERIOD OF APPROXIMATELY
ONE MONTHS (TILLER TO SAMPLERS) KODI PELLETS SHALL BE PLACED AT THE TIME OF
PLANTING TO THE BASE OF THE PLANT, ROOM WITHIN FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER BOWMAN OF TOP
GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE.

IRRIGATION SYSTEM
 TO APPLY AN AUTOMATIC WATERING SYSTEM USING TUBING REGULATION SYSTEM, IN MICRO-SET

A schematic plan of the proposed irrigation system is to be prepared by the contractor, showing all mainlines, submainlines, laterals, risers, valves, and all nozzle and trickle attachment types (including sprayhead angles), for review by the superintendent prior to installation.

WATER JUMP POINTS TO BE SUPPLIED BY BARRIER.

PLANTING
Refer Plans and Specifications

MULCH
Refer Specifications

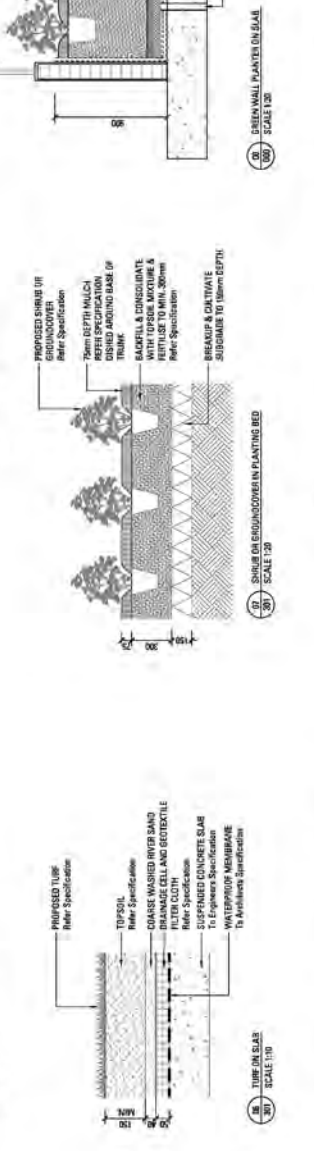
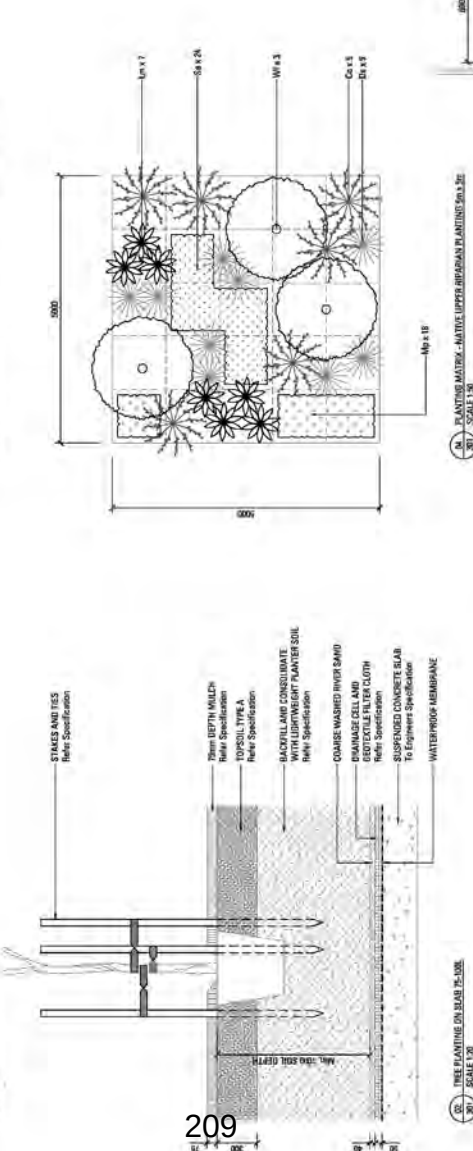
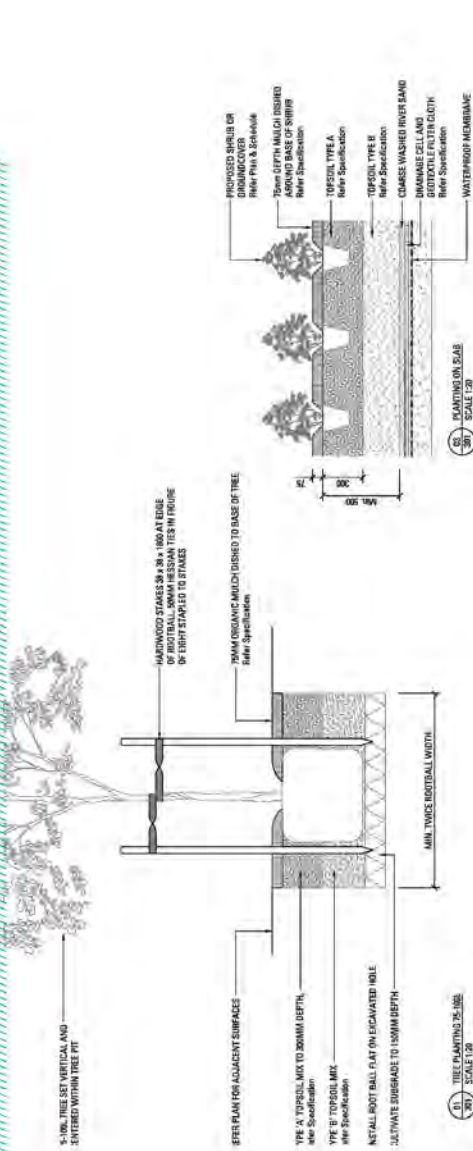
SCREEN TO PLANTER

SOIL COARSE RIVER SAND	Refer Specification
DRAINAGE CELL TO PLANTER BASE	Refer Specification

INTERNET

KINEVILLE

Table 1



ARCADIA
LANDSCAPE ARCHITECTURE

BLOCK A: 57 ASHMORE ST, ERSKINEVILLE
LANDSCAPE DEVELOPMENT APPLICATION



PREPARED BY **ARCADIA LANDSCAPE ARCHITECTURE**
CLIENT **URBIS**
ARCHITECT **TURNER**

DATE JANUARY 2020
SCALE 1:100 @ A1
ISSUE K