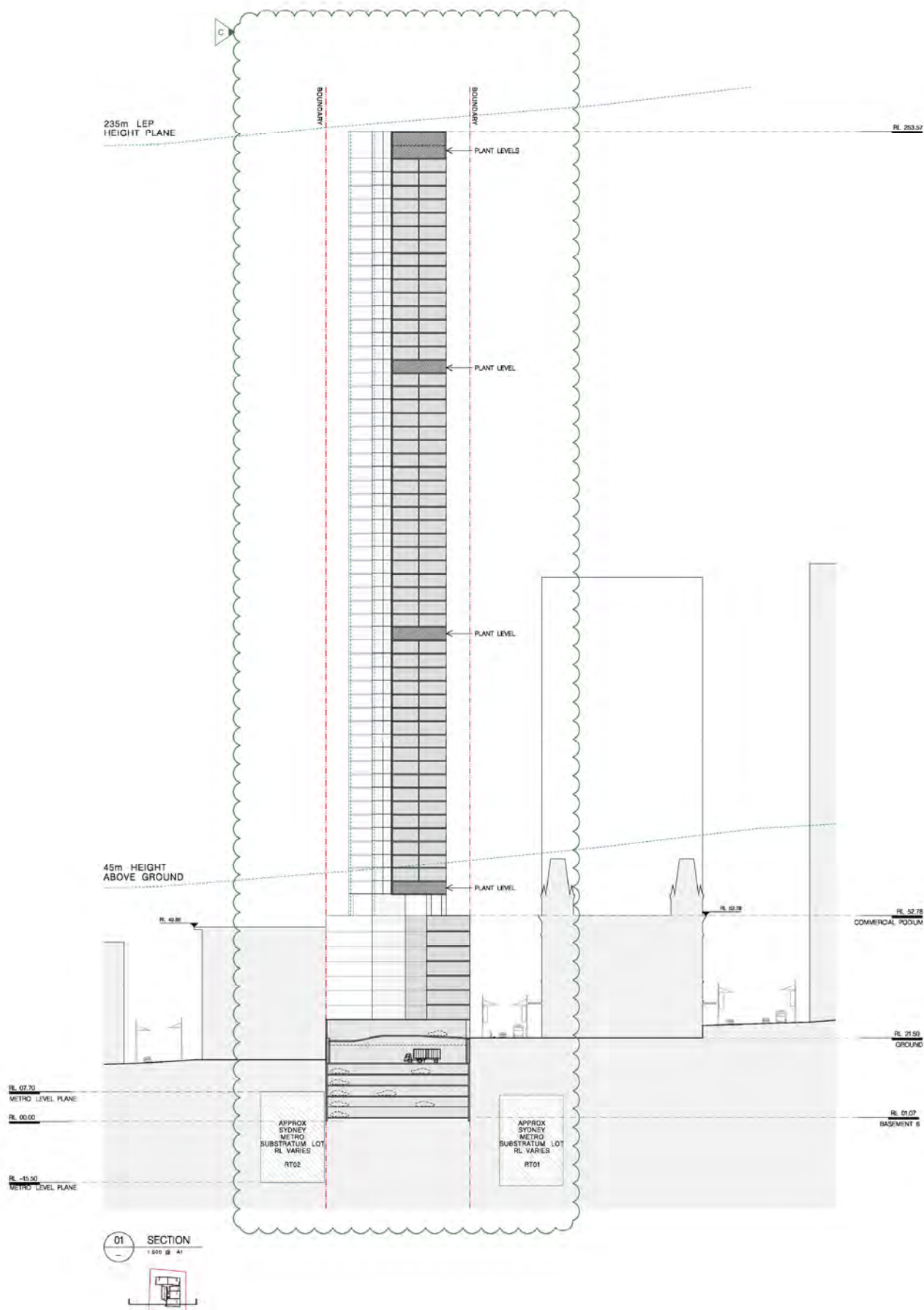


Attachment C

Indicative Scheme Drawings



DATE: 04/04/2019
DRAWN BY: CHL/ENR

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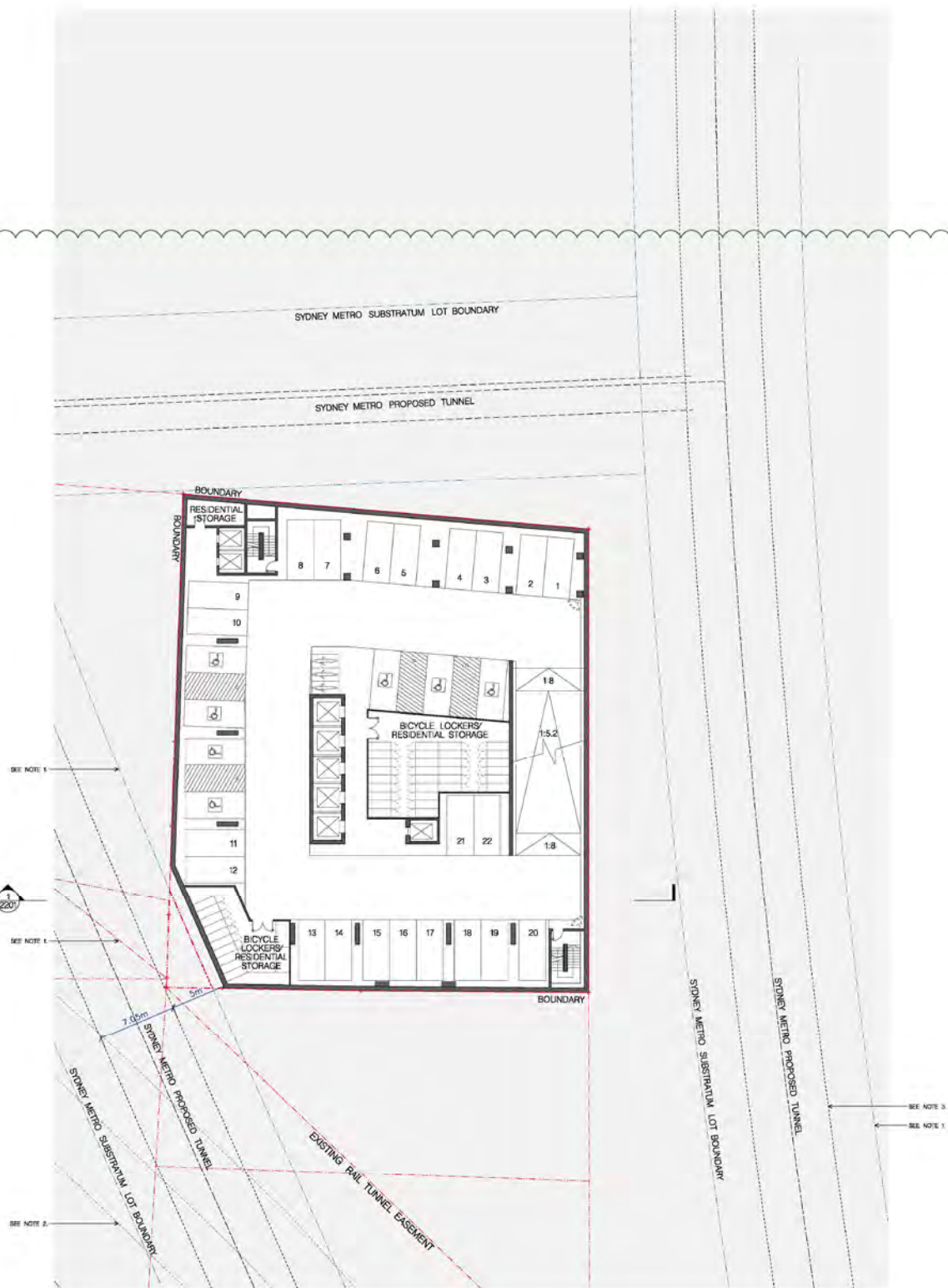
ARCHITECT:
CANDALEPAS
ASSOCIATES
308 SUSSEX STREET
SYDNEY NSW 2000
T: 02 9253 7700
F: 02 9253 7477
E: info@candalepas.com.au
WWW.Architects REG No. - 675

PROJECT:
133 LIVERPOOL STREET, SYDNEY
CLIENT:
CATHOLIC ARCHDIOCESE OF SYDNEY
SCALE: 1:500 @A1 / 1:1000 @A3

DATE: 04/04/2019
CHD 1:
CHD SAVVO
OF
DRAWN BY:
CHL/ENR

DRAWING:
INDICATIVE
SCHEME
SECTION
LAYERING No.
DA - 1 - 2201
C.

5 8 3 6
5 8 3 6

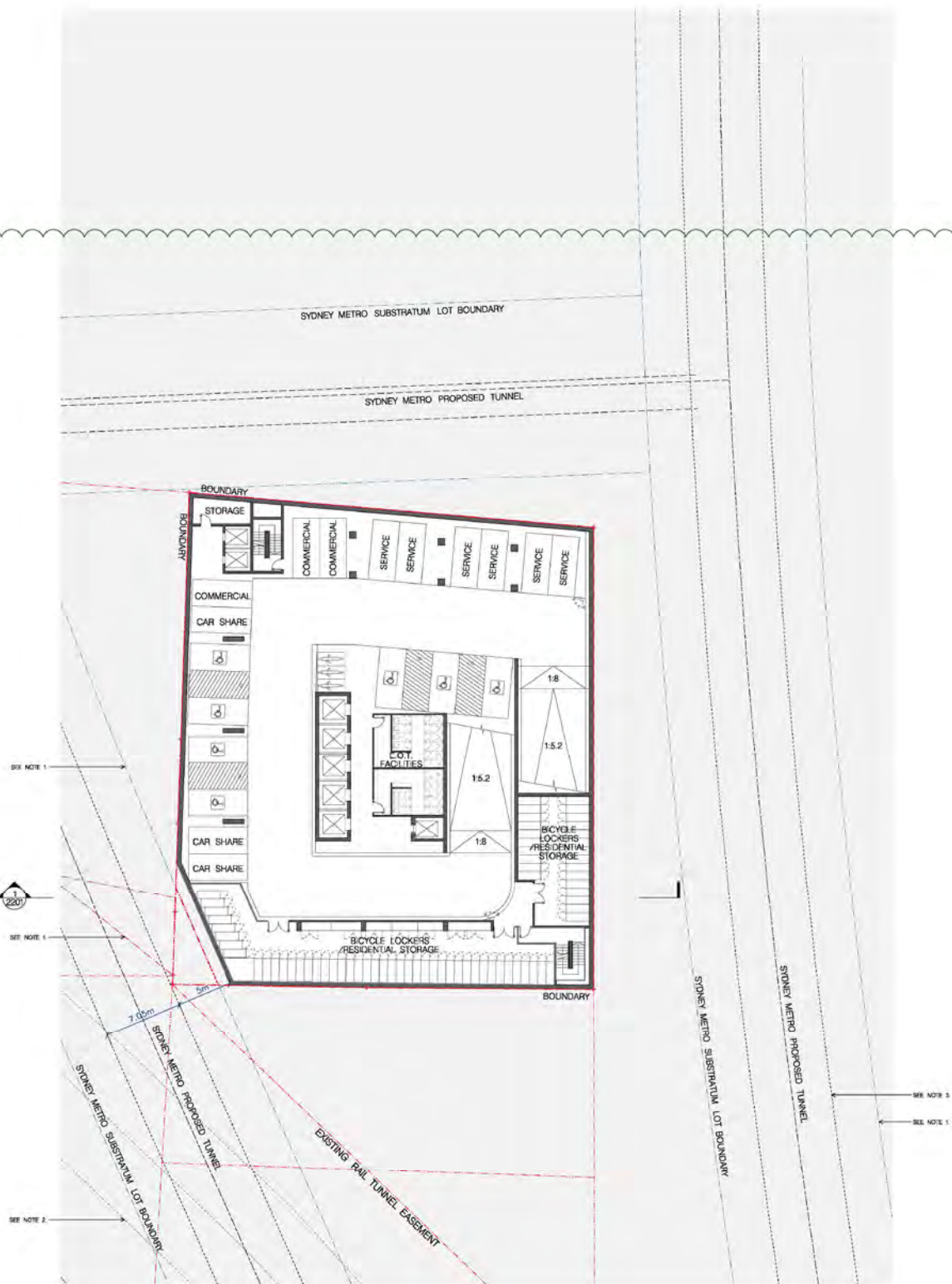


01 PLAN - BASEMENT 3 (LEVELS 4-6 SIMILAR)
1:250 @ A1

RESIDENTIAL CAR PARKING	22 SPACES
ACCESSIBLE PARKING	7 SPACES
MOTORBIKE PARKING	3 SPACES
BICYCLE PARKING	80 SPACES

NOTE:

1. INFORMATION RELATING TO RAIL EASEMENTS & SUBSTRATUM LOTS SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2019 (REF: 00000000).
2. INFORMATION RELATING TO EXISTING RAIL INFRASTRUCTURE SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2019 (REF: 00000000).
3. INFORMATION RELATING TO PROPOSED SYDNEY METRO TUNNELS SOURCED FROM DRAWINGS SUPPLIED BY TRANSPORT FOR NSW DATED 05/06/2018.

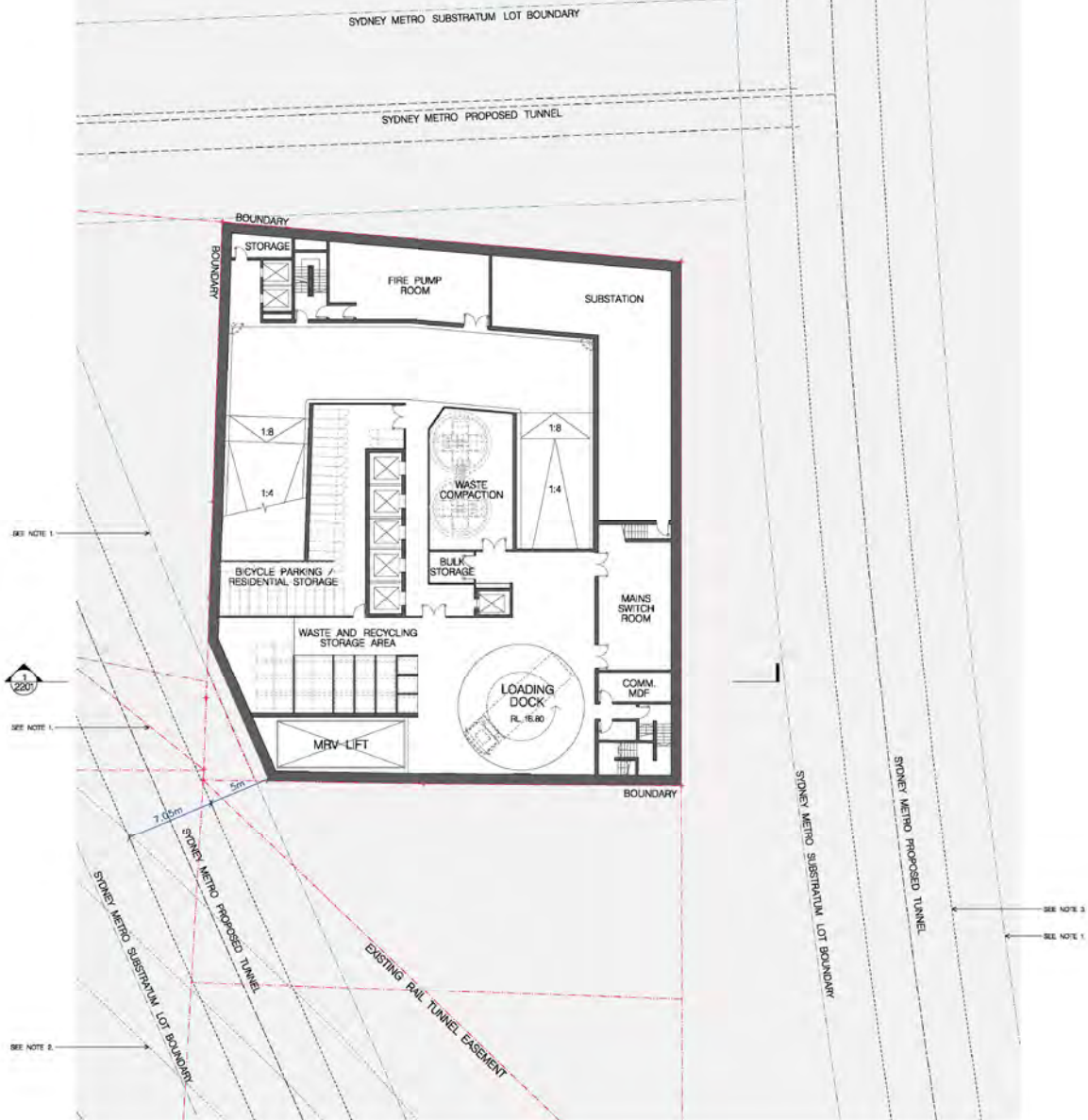


01 BASEMENT 2 PLAN
1:200 (A1)

CAR SHARE	3 SPACES
COMMERCIAL	3 SPACES
SERVICE VEHICLES	6 SPACES
ACCESSIBLE PARKING	7 SPACES
MOTORBIKE PARKING	3 SPACES
BICYCLE PARKING	138 SPACES

NOTE:

1. INFORMATION RELATING TO RAIL EASEMENTS & SUBSTRATUM LOTS SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2019 (REF: 2000086)
2. INFORMATION RELATING TO EXISTING RAIL INFRASTRUCTURE SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2019 (REF: 2000086)
3. INFORMATION RELATING TO PROPOSED SYDNEY METRO TUNNELS SOURCED FROM DRAWINGS SUPPLIED BY TRANSPORT FOR NSW DATED 05/06/2018

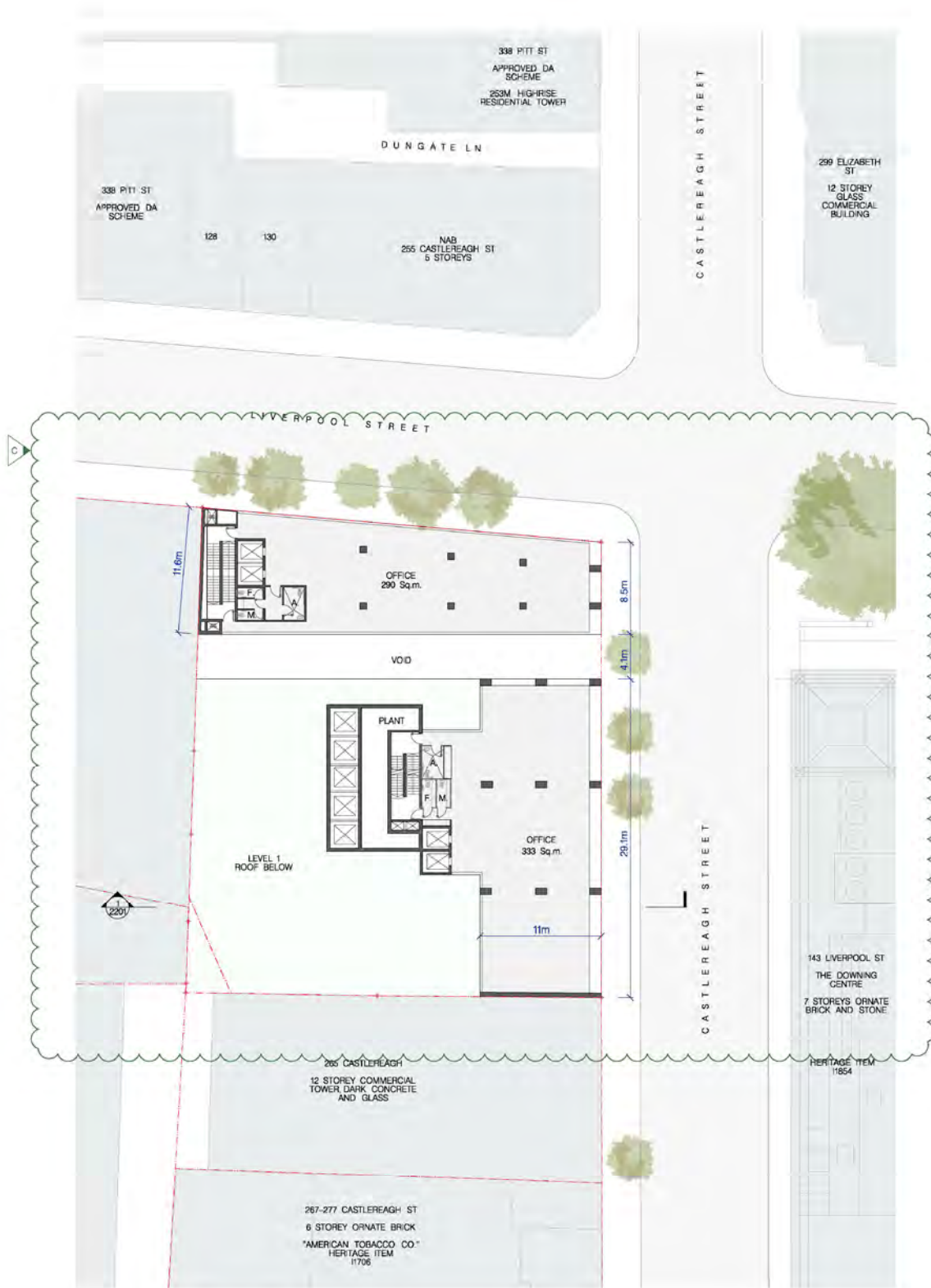


D1 BASEMENT 1 PLAN
1:200

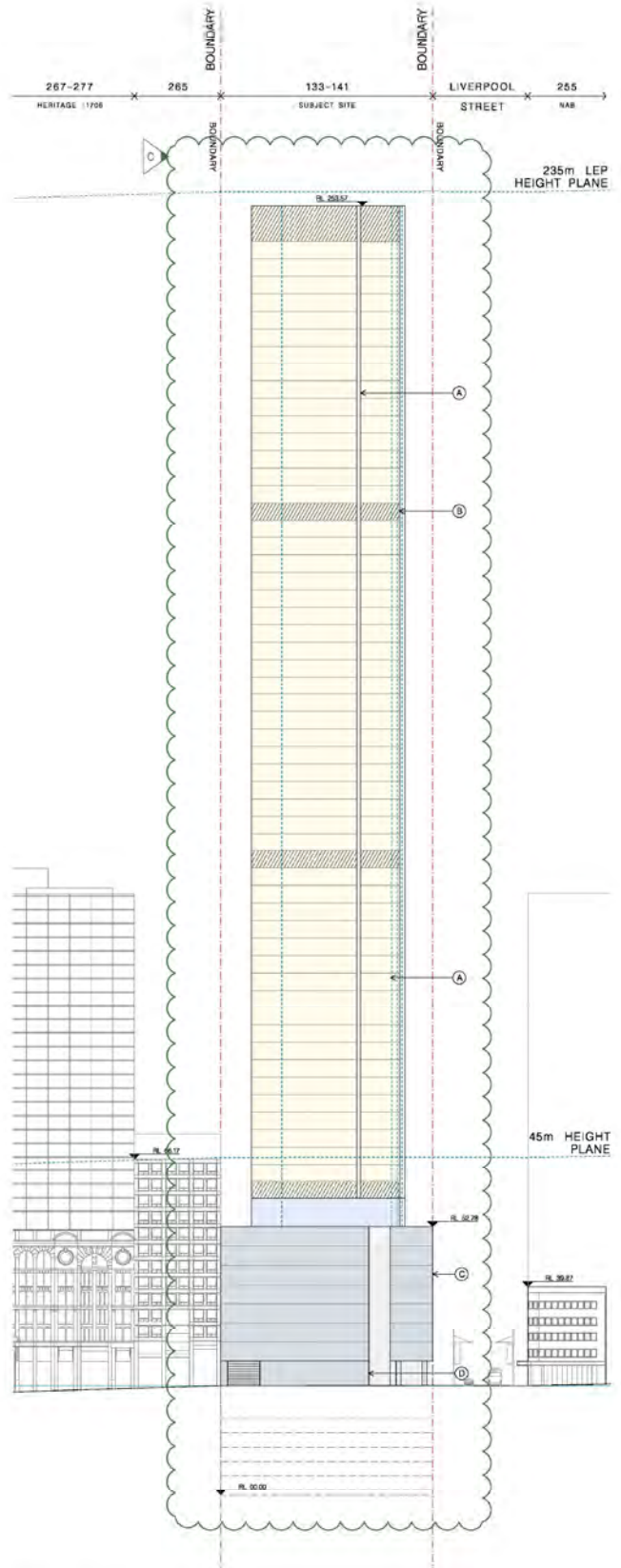
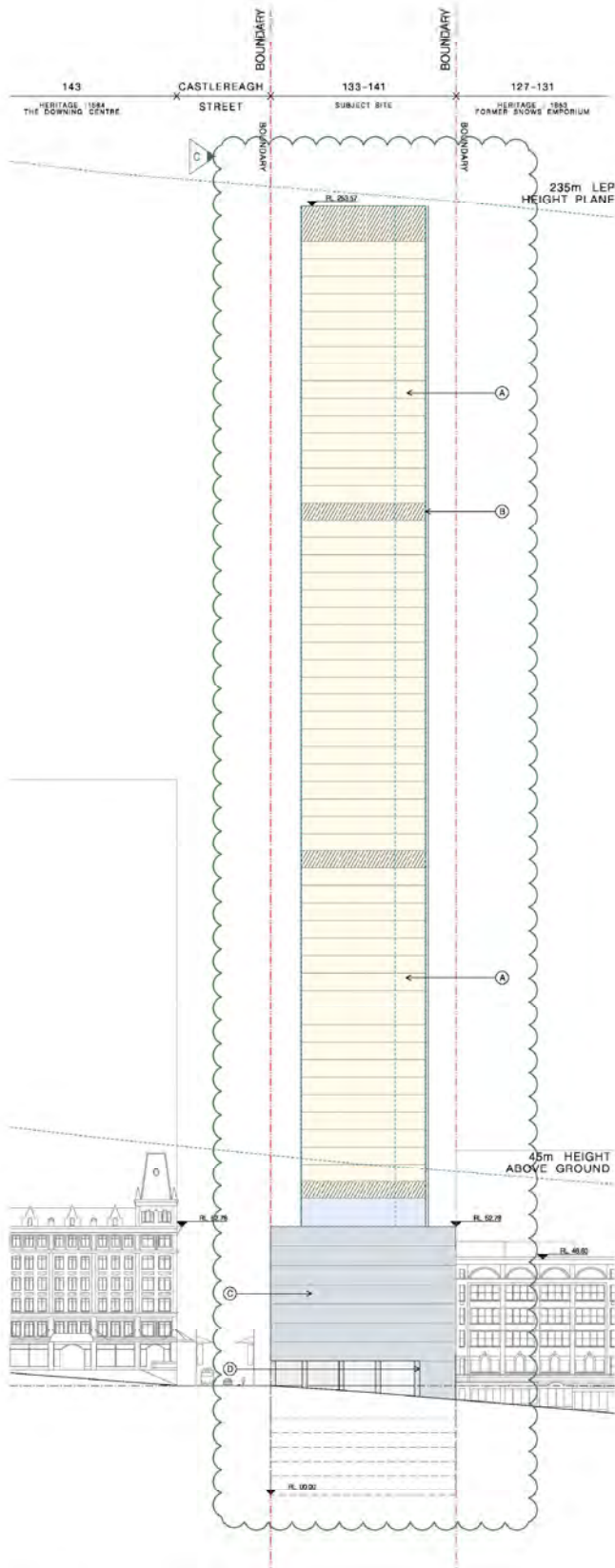
BICYCLE PARKING 66 SPACES

NOTE:

1. INFORMATION RELATING TO RAIL EASEMENTS & SUBSTRATUM LOTS SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2018 (REF: 2000086).
2. INFORMATION RELATING TO EXISTING RAIL INFRASTRUCTURE SOURCED FROM PROJECT SURVEY PREPARED BY VERIS DATED 05/04/2018 (REF: 2000086).
3. INFORMATION RELATING TO PROPOSED SYDNEY METRO TUNNELS SOURCED FROM DRAWINGS SUPPLIED BY TRANSPORT FOR NSW DATED 05/06/2018.



01 PLAN LEVEL 1
1:200 @ A1 LEVELS 2-7 SIMILAR



01 ELEVATION - NORTH
1:500 @ A1

02 ELEVATION - EAST
1:500 @ A1

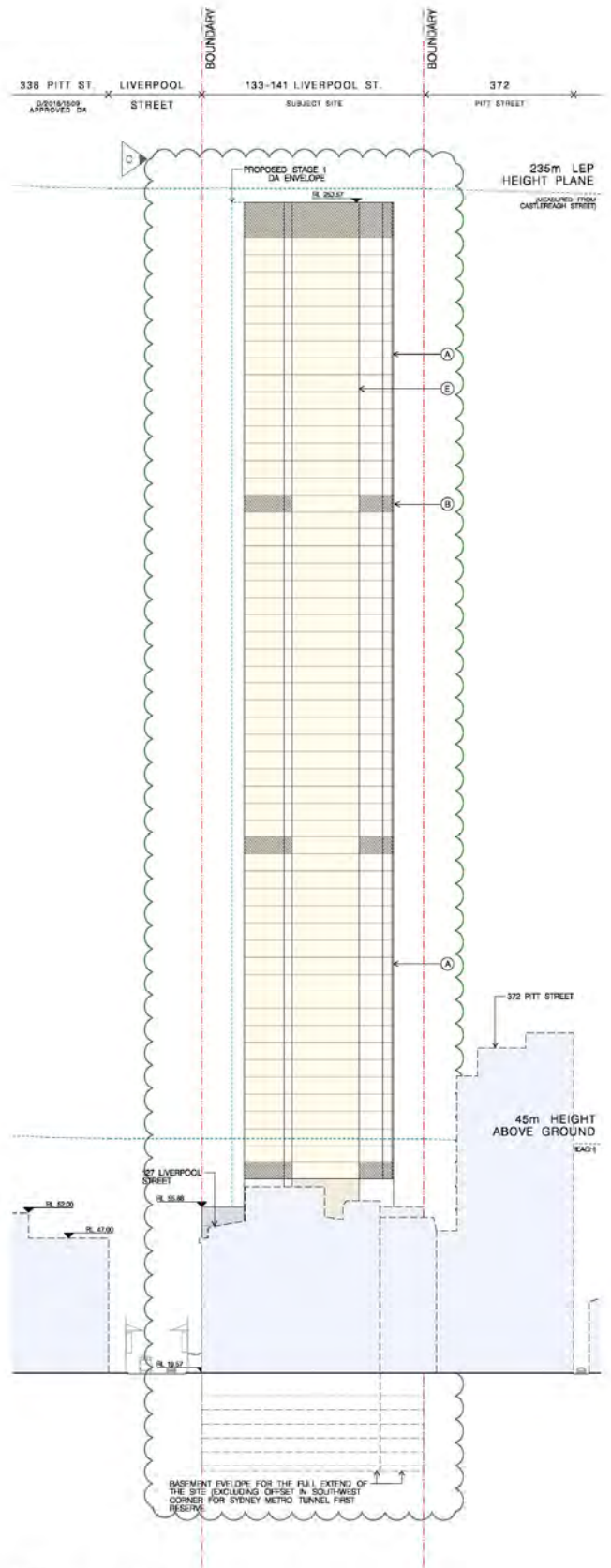
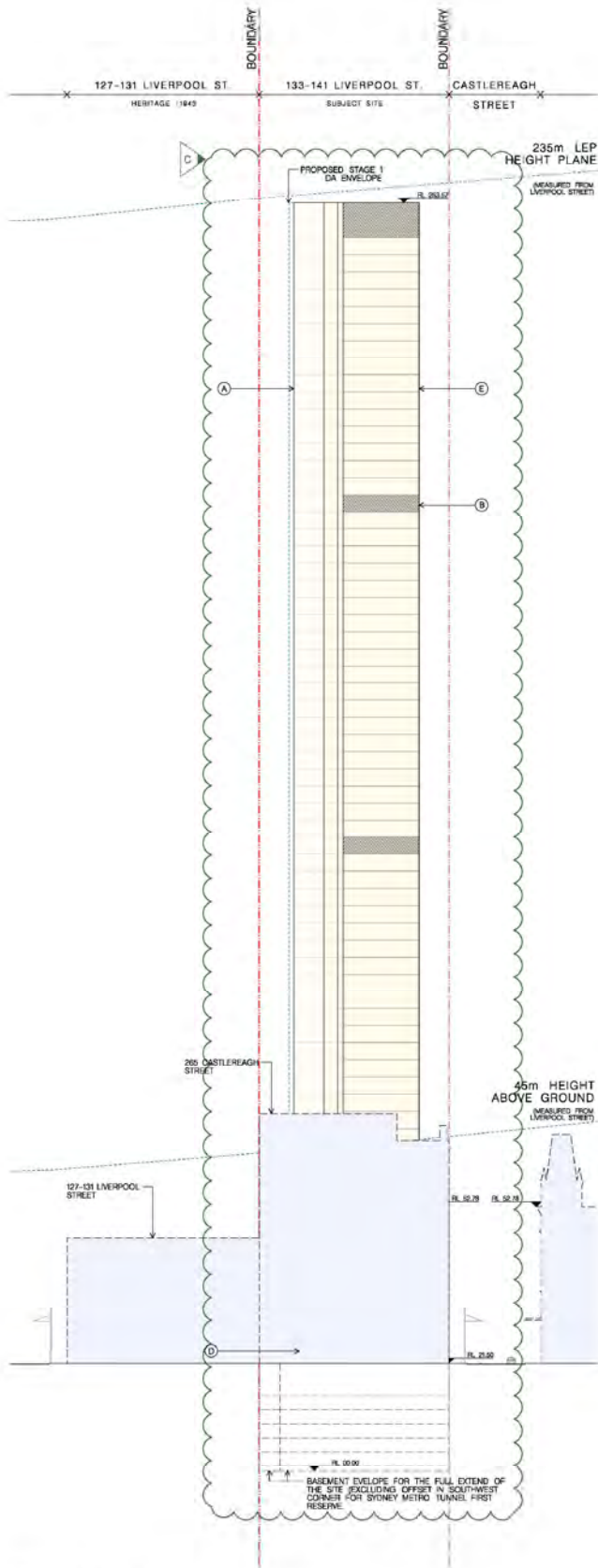


03 INDICATIVE FINISHES
A/D

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70
THE CATHOLIC ARCHDIOCESE OF SYDNEY
CATHOLIC ARCHDIOCESE OF SYDNEY
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F: 02 9555 1701
E: info@catholicarchdioceseofsydney.org.au
WWW.CATHOLICARCHDIOCESEOF.SYDNEY.NSW.AU

PROJECT:
133 LIVERPOOL STREET, SYDNEY
CLIENT:
CATHOLIC ARCHDIOCESE OF SYDNEY
SCALE: 1:500 @ A1/1:500 @ A2

DATE:
APRIL 2019
DRAWN:
01
CHECKED:
02
DRAWN BY:
01/196
PROJECT:
INDICATIVE
SCHEME
NORTH & EAST
ELEVATIONS
DRAWING NO:
DA - 1 - 2301
C.



01 SOUTH ELEVATION
1:500 @ A1

02 WEST ELEVATION
1:500 @ A1



03 INDICATIVE FINISHES
A7D

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ARCHITECT
CANDALIFAS ASSOCIATES
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FOR ARCHITECTS USE ONLY - P114

PROJECT
132 LIVERPOOL STREET, SYDNEY
CLIENT
CATHOLIC ARCHDIOCESE OF SYDNEY
SCALE: 1:500 @ A1 (1:500 @ A1)

DATE
APRIL 2020
DRAWN BY
DA - 1 - 2302
UNISSUED
INDICATIVE
SCHEME
SOUTH & WEST
ELEVATIONS
UNISSUED
DA - 1 - 2302
C.

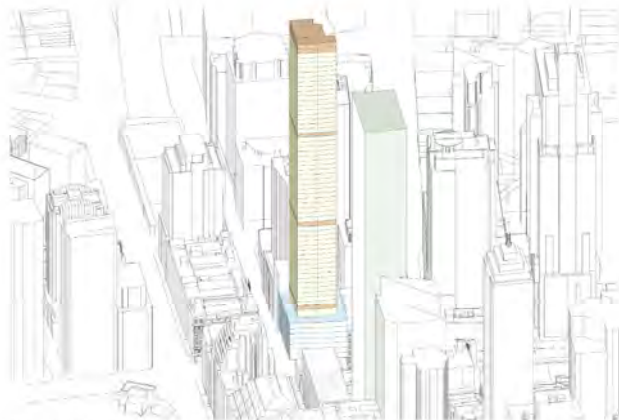
SOLAR ACCESS



VIEW FROM SUN - 9AM (AEST) 21ST JUNE



VIEW FROM SUN - 10AM (AEST) 21ST JUNE

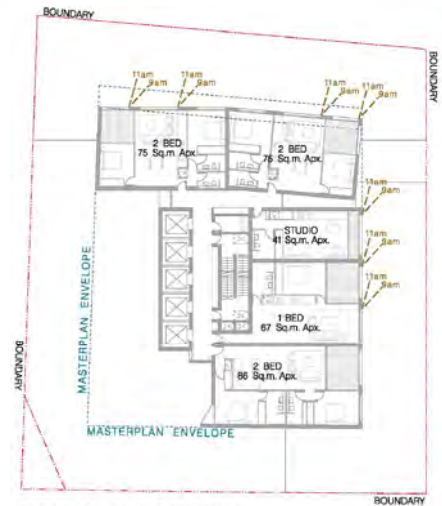


VIEW FROM SUN - 11AM (AEST) 21ST JUNE

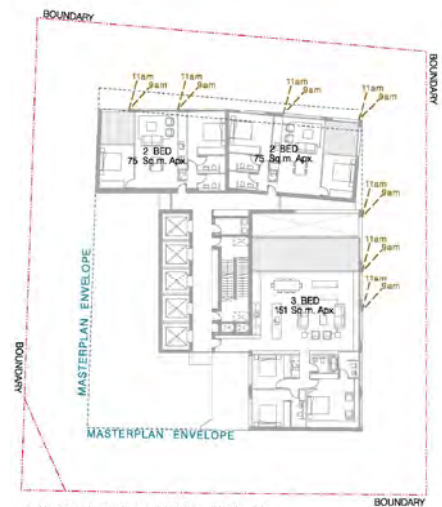
JUNE 21ST SOLAR ACCESS SUMMARY BY LEVEL	MORE THAN 6 HOURS DIRECT SOLAR ACCESS	LESS THAN 6 HOURS DIRECT SOLAR ACCESS
TYPICAL PLAN (LEVELS 10,11,12,13,14,15,16,17,18,19,20,21,22,23,24,25,26,27,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44,45,46,47,48,49,50,51,52,53,54,55,56,57,58,59,60)	118 (206%)	29
ALTERNATE FLOOR PLAN 'A' (LEVELS 12,13,23,24,34,35,50,54,57,58,64,65)	30 (100%)	0
ALTERNATE FLOOR PLAN 'B' (LEVELS 14,15,25,26,30,39,41,45,51,51,63,64)	39 (100%)	0
TOTAL PERCENTAGE	18% 31.5%	4% 7.5%

NOTE:

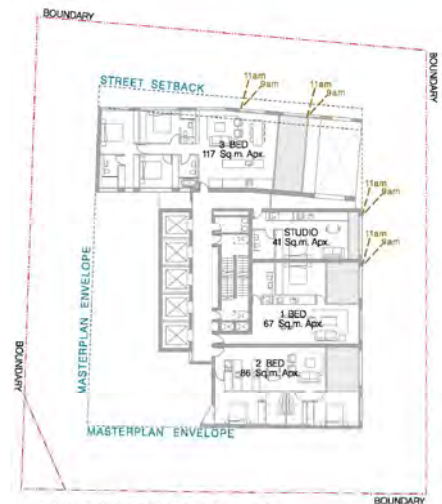
- ALL APARTMENTS RECEIVE DIRECT SUNLIGHT ON JUNE 21ST
 - 3D MODEL TOPOGRAPHY - MESH MODELLED FROM GIS - 1M GROUND DEM (DIGITAL ELEVATION MODEL) LIDAR 2013
 - 3D MODEL BUILDING HEIGHTS & FOOTPRINTS - CITY OF SYDNEY IGE FILE SITE SURVEY BY VERIS DATED MARCH 2016
- ADDITIONAL BUILDING HEIGHT DETAILS - CENTRAL SYDNEY PLANNING STRATEGY APPENDIX C, ATTACHMENT A13 PAGE 32 'EXISTING HEIGHT OF BUILDINGS MAP' 19 JULY 2016 & GEOGRAPHIC NAME CITY MODEL, LAST ACCESSSED 21.05.2018 <http://s3apcs.simgcloud.com/virtualsydneyapp/>



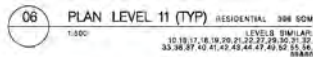
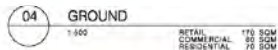
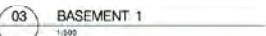
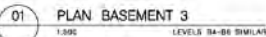
TYPICAL TOWER FLOOR PLAN
1:250 @ A1



ALTERNATE TOWER FLOOR PLAN 'A'
1:250 @ A1 LEVELS: 12,13,23,24,34,35,50,54,57,58,64,65



ALTERNATE TOWER FLOOR PLAN 'B'
1:250 @ A1 LEVELS: 14,15,25,26,30,39,41,45,51,51,63,64



SUMMARY BY LEVEL			
LEVEL	LEVEL	LEVEL	APARTS
BASINMENT 0	(SOH)	0 m ²	
BASINMENT 5	(SOH)	0 m ²	
BASINMENT 4	(SOH)	0 m ²	
BASINMENT 3	(SOH)	0 m ²	
BASINMENT 2	(SOH)	0 m ²	
BASINMENT 1	(SOH)	0 m ²	
GROUND FLOOR	(Rels. Lobby / Com. Lobby / Hall)	200 m ²	
LEVEL 1	(Commercial)	520 m ²	
LEVEL 2	(Commercial)	520 m ²	
LEVEL 3	(Commercial)	520 m ²	
LEVEL 4	(Commercial)	520 m ²	
LEVEL 5	(Commercial)	520 m ²	
LEVEL 6	(Commercial)	520 m ²	
LEVEL 7	(Commercial)	520 m ²	
LEVEL 8	(Commercial Open Space)	5 m m ²	
LEVEL 9	(Plant)	5 m m ²	
LEVEL 10	(Apartment)	346 m ²	5
LEVEL 11	(Apartment)	346 m ²	5
LEVEL 12	(Apartment)	346 m ²	5
LEVEL 13	(Apartment)	346 m ²	5
LEVEL 14	(Apartment)	346 m ²	5
LEVEL 15	(Apartment)	346 m ²	5
LEVEL 16	(Apartment)	346 m ²	5
LEVEL 17	(Apartment)	346 m ²	5
LEVEL 18	(Apartment)	346 m ²	5
LEVEL 19	(Apartment)	346 m ²	5
LEVEL 20	(Apartment)	346 m ²	5
LEVEL 21	(Apartment)	346 m ²	5
LEVEL 22	(Apartment)	346 m ²	5
LEVEL 23	(Apartment)	346 m ²	5
LEVEL 24	(Apartment)	346 m ²	5
LEVEL 25	(Apartment)	346 m ²	5
LEVEL 26	(Apartment)	346 m ²	5
LEVEL 27	(Apartment)	346 m ²	5
LEVEL 28	(Plant)	5 m ²	
LEVEL 29	(Apartment)	346 m ²	5
LEVEL 30	(Apartment)	346 m ²	5
LEVEL 31	(Apartment)	346 m ²	5
LEVEL 32	(Apartment)	346 m ²	5
LEVEL 33	(Apartment)	346 m ²	5
LEVEL 34	(Apartment)	346 m ²	5
LEVEL 35	(Apartment)	346 m ²	5
LEVEL 36	(Apartment)	346 m ²	5
LEVEL 37	(Apartment)	346 m ²	5
LEVEL 38	(Apartment)	346 m ²	5
LEVEL 39	(Apartment)	346 m ²	5
LEVEL 40	(Apartment)	346 m ²	5
LEVEL 41	(Apartment)	346 m ²	5
LEVEL 42	(Apartment)	346 m ²	5
LEVEL 43	(Apartment)	346 m ²	5
LEVEL 44	(Apartment)	346 m ²	5
LEVEL 45	(Apartment)	346 m ²	5
LEVEL 46	(Apartment)	346 m ²	5
LEVEL 47	(Apartment)	346 m ²	5
LEVEL 48	(Plant)	5 m ²	
LEVEL 49	(Apartment)	346 m ²	5
LEVEL 50	(Apartment)	346 m ²	5
LEVEL 51	(Apartment)	346 m ²	5
LEVEL 52	(Apartment)	346 m ²	5
LEVEL 53	(Apartment)	346 m ²	5
LEVEL 54	(Apartment)	346 m ²	5
LEVEL 55	(Apartment)	346 m ²	5
LEVEL 56	(Apartment)	346 m ²	5
LEVEL 57	(Apartment)	346 m ²	5
LEVEL 58	(Apartment)	346 m ²	5
LEVEL 59	(Apartment)	346 m ²	5
LEVEL 60	(Apartment)	346 m ²	5
LEVEL 61	(Apartment)	346 m ²	5
LEVEL 62	(Apartment)	346 m ²	5
LEVEL 63	(Apartment)	346 m ²	5
LEVEL 64	(Plant)	5 m ²	
LEVEL 65	(Plant)	5 m ²	

* FLOOR AREA OF A BUILDING (SYDNEY LEP 2012)

ROOM AREA OF BUILDING:

TO-HR AND BUILDING OR PART OF A BUILDING-IF A PERSONNEL, COMMERCIAL, RESIDENTIAL AREA, THE GROSS TOTAL OF THE AREA OF ALL FLOORS OF THE BUILDING BEING THE AREA SPECIFIED THE GROSS TOTAL OF THE AREA OF ALL FLOORS OF THE BUILDING.

IF (OR ANY OTHER BUILDING) PART OF A BUILDING, THE GROSS TOTAL AREA OF ALL FLOORS OF THE BUILDING:

— INCLUDES AREAS AVAILABLE TO ROOM VISITORS IN A BARRANG (OFFICE SPACE)
— NOT SHOP, AUDITORIUM, ROOMS WITH BARRANG (OFFICE SPACE)

EXCLUSIONS — ARE NOT FOR COMMON VEHICLE, ORIGINATOR

TO-BE EXCLUDED:

- STAIRS AND STAIR LANDINGS
- HALLWAYS FOR STAIRS, HALLWAYS ACCESS, LIVING, AVAILABLE, SERVICES
- PLANT ROOMS
- TOYER, BARRANG SERVICES
- CARPENTRY, ACCESS TO CARPENTRY
- LIVING OF THE BUILDING
- PARKING, BARRANG WITH OFFICE SPACE (THIS LINE FIRST)
- BARRANG A FLOOR IN THE BUILDING OR STORY ABOVE

IF AREAS ARE MEASURED TO INTERNAL FACE OF WALLS AT ROOM (M2).

BUILDING HEIGHT (SYDNEY LEP 2012)

BUILDING HEIGHT MEANS THE VERTICAL DISTANCE BETWEEN EXISTING (BROKEN) LEVEL AND THE HIGHEST POINT OF THE BUILDING.

IT EXCLUDES MAST AND LIFT OVERHEADS.

IT EXCLUDES COMMUNICATION DEVICES, ANTENNAE, SATELLITE DISHES, Masts

BALCONIES (SYDNEY LEIP 2012)

[illegible]

LEGEND:

COMMERCIAL GFA	COMMUNAL OPEN SPACE
RESIDENTIAL GFA	

