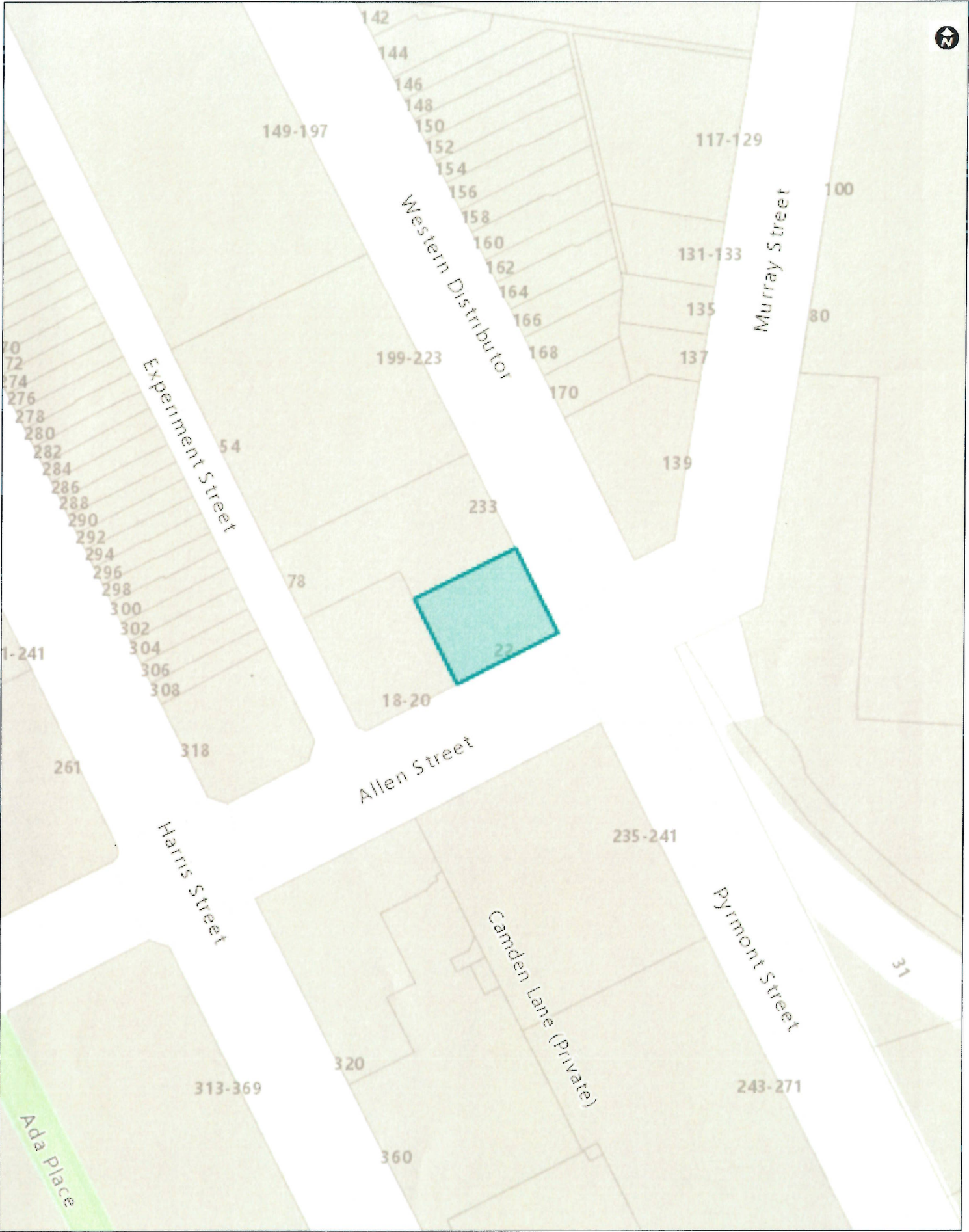


# **Attachment E**

**Council Officer Inspection Report  
22 Allen Street Pyrmont**



**Council Investigation Officer Inspection and Recommendation Report  
Clause 17(2) of Schedule 5, of the Environmental Planning and Assessment Act  
1979 (the Act)**

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**File:** CSM 2207246

**Officer:** Eyman Balta

**Date:** 24 December 2019

**Premises:** 22 Allen Street Pyrmont NSW 2009 - The Wool Brokers Arms Hotel

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**Executive Summary:**

Council received correspondence from the Commissioner of Fire and Rescue NSW (FRNSW) in relation to the subject premises on with respect to matters of fire safety.

The premises consists of a three level building used as an approved hotel containing thirty hotel rooms located at 22 Allen Street Pyrmont situated on the corner of Allen Street and Pyrmont Street Pyrmont.

The ground floor level contains an entrance lobby, a hotel reception area, dining rooms, a commercial kitchen and hotel rooms one to three.

The first floor level contains hotel rooms four to seventeen, shared sanitary facilities and a guest laundry.

The second floor contains hotel rooms eighteen to thirty, shared sanitary facilities and a guest laundry similar to that of the first floor level.

The building is also of heritage significance and is listed on the NSW Office of Environment and Heritage state heritage register.

Observation of the external features of the building did not identify the existence of any potential combustible composite cladding on the façade of the building.

The building was subject to the issue of a Fire Safety Order by the City of Sydney on the 3 March 2014 which was completed and finalised to the satisfaction of the City on the 17 June 2015.

An inspection of the premises undertaken by a Council investigation officer in the presence of the building owner and the hotel manager revealed that there were no significant fire safety issues occurring within the building.

The premises are equipped with numerous fire safety systems (both active and passive) that would provide adequate provision for fire safety for occupants in the event of a fire. The annual fire safety certification is current and compliant and is on display within the building in accordance with the requirements of the Environmental Planning and Assessment Regulation 2000.

Council investigations have revealed that whilst there remains several minor fire safety maintenance and management works to attend to, the overall fire safety systems provided within the subject premises are considered adequate in the circumstances.

It is considered that the above fire safety works are of a degree which can be addressed by routine preventative and corrective maintenance actions undertaken by the owner's fire service contractor through written instruction from Council.

## Chronology:

Date	Event
12/12/2019	FRNSW correspondence received regarding the Wool Brokers Arms Hotel located at 22 Allen Street Pyrmont NSW 2009.
17/12/2019	<p>An inspection of the subject premises was undertaken by a Council building officer in the presence of the building owner and the manager of the Wool Brokers Arms Hotel.</p> <p>The inspection revealed only minor non-compliances which could be addresses through appropriate maintenance and management. The inspection also revealed that the majority of the issues raised by FRNSW had been addressed by the building owner. The outcomes of the inspection were discussed at the conclusion of the inspection with the building owner who was also advised that written advice on the findings would be issued in due course.</p>

## **FIRE AND RESCUE NSW REPORT:**

References: BFS19/3059 (8864) and D19/87926.

Fire and Rescue NSW conducted an inspection of the subject premises on the 15 October 2019 after receiving an enquiry about a reoccurring alarm at the premises.

### Issues

The report from FRNSW detailed a number of issues in relation to the wool Brokers Arms Hotel, in particular noting concerns with:

1. That tags provided to fire rated doors and frames had been painted over making it difficult to determine the fire resistance level of the doors and frames.
2. That the premises did not have a complete set of service log books for each essential fire safety measure installed in the building.
3. That a fire hose reel located in an outdoor courtyard was not being maintained.
4. That the commercial kitchen did not have a specific type of portable fire extinguisher to cover hazards associated with the deep fat fryer.
5. Issues associated with the provision and maintenance of exit and directional signage within the premises.
6. The height of a balustrades provided to the buildings central fire separated stair.
7. Issues associated with the maintenance of fire doors within the premises.
8. Issues associated with the buildings Annual Fire Safety Statement.

## FRNSW Recommendations

FRNSW have made recommendations within their report. In general FRNSW have requested that Council;

1. Inspect the subject premises and take action to have the identified fire safety issues appropriately addressed;
2. In its capacity as the regulatory authority take action to have the abovementioned items appropriately addressed.
3. Advise them in writing of its determination in relation to this matter in accordance with the provisions of clause 17(4) of Schedule 5 of the Environmental Planning and Assessment Act 1979

### **COUNCIL INVESTIGATION OFFICER RECOMMENDATIONS:**

Issue Order (NOI)	Issue Emergency Order	<b>Issue a compliance letter of instruction</b>	Cited matters rectified	Continue to undertake compliance action in response to issued Council correspondence	Continue with compliance actions under the current Council Order	Other (to specify)
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As a result of preliminary site inspection undertaken by Council investigation officers it is recommended that a compliance letter of instruction be issued to the building owners and further action be undertaken, as appropriate, to address the fire safety deficiencies identified by FRNSW and any other matters that may be revealed during further investigations of the subject premises.

The above proposed correspondence will request that the building owner and hotel management attend to the issues identified by FRNSW in their correspondence to Council.

It is recommended that Council not exercise its powers to give a fire safety order at this time. That the Commissioner of FRNSW be advised of Council's actions and determination.

### **Referenced documents:**

No#	Document type	Trim reference
E1.	Fire and Rescue NSW report	2019/655570-01
E2.	Locality Plan	2019/655570-02
E3.	Attachment cover sheet	2019/655570-03

**Trim Reference:** 2019/655570

**CSM reference No#:** 2207246





File Ref. No: BFS19/3059 (8864)  
TRIM Ref. No: D19/87926  
Contact: [REDACTED]

11 December 2019

General Manager  
City of Sydney  
GPO Box 1591  
SYDNEY NSW 2001

Email: [council@cityofsydney.nsw.gov.au](mailto:council@cityofsydney.nsw.gov.au)

Attention: Manager Compliance/Fire Safety

Dear General Manager

**Re: INSPECTION REPORT  
'THE WOOLBROKERS ARMS HOTEL'  
22 ALLEN STREET PYRMONT ("the premises")**

Fire & Rescue NSW (FRNSW) received correspondence on 17 September 2019, in relation to the adequacy of the provision for fire safety in or in connection with 'the premises'.

The correspondence stated in part that:

*...a reoccurring alarm at Woolbrokers Arms 22 Allen Street Pyrmont...the hotel does not have a contract with a fire servicing company to fix the issues with the alarm system.*

Pursuant to the provisions of Section 9.32(1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act), an inspection of the fire indicator panel on 18 September 2019 was conducted by Authorised Fire Officers from the Fire Safety Compliance Unit of FRNSW. An inspection of 'the premises' was conducted on 15 October 2019.

The inspection was limited to the following:

- A visual inspection of the essential Fire Safety Measures as identified in this report only.
- A conceptual overview of the building, where an inspection had been conducted without copies of the development consent or copies of the approved floor plans.

On behalf of the Commissioner of FRNSW, the following comments are provided for your information in accordance with Section 9.32(4) and Schedule 5, Part 8, Section 17(1) of the EP&A Act. Please be advised that Schedule 5, Part 8, Section 17(2) requires any report or recommendation from the Commissioner of FRNSW to be tabled at a Council meeting.

## COMMENTS

Please be advised that this report is not an exhaustive list of non-compliances. The proceeding items are limited to observations of the building accessed at the time of the inspection and identifies possible deviations from the National Construction Code 2019, Volume 1 Building Code of Australia (NCC). FRNSW acknowledges that the deviations may contradict development consent approval or relate to the building's age. It is therefore council's discretion as the appropriate regulatory authority to consider the most appropriate action.

The following items were identified as concerns at the time of the inspection:

### 1. Essential Fire Safety Measures

- 1A. Fire Indicator Panel – At the time of the inspection on 18 September 2019 there were faults and isolations observed on the panel. As a result, a Notice of Intention to Serve an Order was issued on 19 September 2019. A reinspection on 4 October 2019 revealed one fault, resulting in an Order being issued on the same day. A reinspection on 15 October 2019 revealed compliance with the Order.
- 1B. Regular Maintenance – Australian Standard AS1851-2012 (amendment 1) - "Service of fire protection systems and equipment", requires essential service measures to be regularly tested. The following is noted:
  - A. Fire Doors / Smoke Doors – Section 12.2.4. requires fire doors and smoke doors to be appropriately tagged. At the time of the inspection there were a number of doors to the rooms that lacked tags or were painted over and were no longer legible.
  - B. Log Books – Clause 1.16.2 of requires service logbooks to be left on site. At the time of the inspection, copies of service records were unavailable. As a result, it was difficult to establish which essential service measures are regularly maintained.
  - C. There was a Fire Hose Reel (FHR) that was painted grey in the courtyard adjoining the dining room. The FHR was not tagged and did not appear to be maintained accordingly. It would be at Council's discretion to determine whether the FHR is required to be maintained.
- 1C. Maintenance – Clause 182 of the Environmental Planning and Assessment Regulation 2000 requires that an Essential Fire Safety Measure must be maintained to a standard no less than when it was first installed. The following was noted at the time of the inspection:



- A. Exit signs –A number of exit signs that were either not operating when the test button was pressed or were not illuminated.
- B. Portable Fire Extinguisher (PFE).
  - i. The PFE in the kitchen appears to dry chemical powder. Consideration may need to be given for a wet chemical PFE to be provided in the kitchen. Subject to confirmation that cooking oils and fats are used for cooking.
  - ii. It was noted that housekeeping were cleaning at the time of the inspection, however Table 10.4.1 of Australian Standard AS1851-2012 (amendment 1) - "Service of fire protection systems and equipment", requires PFEs' to remain conspicuous, readily accessible and in its assigned location. At the time of the inspection there were items restricting access to a number of PFE that appeared to be obstructed for some time.

## 2. Access & Egress

- 2A. Exit Signs – Performance Requirement EP4.2 of the NCC requires that suitable signs be installed to identify the location of exits, hence the following observations were noted:
  - A. At first sight, the egress strategy from the hallway on the ground floor that leads into the kitchen has insufficient cues to identify where the exits are located. A review of the exit strategy may be required.
  - B. Clause E4.5 of the NCC requires exits signs to be installed in a specified location and visible when approaching an exit. At the time the following was observed:
    - i. The door facing south on the ground floor adjacent to the kitchen lacks an exit sign, however the evacuation plan nominates the door as a designated exit. The door also opens inward.
    - ii. Due to the age of the building and location of the exit signage within the sleeping accommodation area appears at first glance difficult to identify the location of the exits.
- 2B. Discharge of Exits – Clause D1.10 of the NCC specifies that the path of travel that leads to an open space and onto the road from a required exit, must consist of an unobstructed width of 1 metre. Or alternatively, be equal to the width of the required exit (whichever is greater). Council may need to review its records to confirm whether the path of travel to the road from the required exit on the western elevation has been approved.
- 2C. Balustrade – Clause D2.16 of the NCC requires specific heights to be provided along the side of continuous barriers for specific locations. The age of the building may be a contributing factor to the height of the balustrade within the common stairway commencing from the lobby, as it appears less than the prescribed height.



### 3. Compartmentation

- 3A. Fire doors – Performance requirement CP8 of the NCC requires openings to be protected to resist the spread of fire. At first glance the following observations were made at the time of the inspection:
- A. C3.5 of the NCC requires doorways in fire walls to be self-closing. The door to the office was propped open.
  - B. The reception window opening into the office, and located within the lobby entrance includes a sliding security shutter. The shutter remains propped open, and does not appear to be a fire shutter.
  - C. The fire door facing south identified in 2A(B) includes a hook and eye hold open device.
  - D. It appears that none of the openings identified in the above points, include an automatic closing operation has been installed upon activation of a smoke detector.
  - E. The door to the kitchen did not seal when the door returned to the door frame.
- 3B. West Elevation – Clause C3.2 of the NCC requires walls that are required to have an FRL which include openings in to be protected in accordance with Clause C3.4 of the NCC, if the opening is within a specific distance. It appears the openings on the western elevation are less than 3 metres from the boundary, and do not include protection in accordance with clause C3.4.

### 4. Generally

- 4A. Annual Fire Safety Statement (AFSS) – Clause 177(3)(b) of the Environmental Planning and Assessment Regulation 2000 states that the AFSS must be prominently displayed in the building. At the time of the inspection the AFSS could not be located. Moreover, it is unclear whether the Essential Fire Safety Measures are regularly maintained. In this regard, the following is noted:
- A. For ease FRNSW prefers the statement be located beside the FDCIE. An inspection and a review of council's records may be required.
  - B. The manager of the premises advised that during heavy rain, the roof leaks which has affected the smoke detection system.
  - C. Council may need to review the smoke detector location.

FRNSW is therefore of the opinion that there are inadequate provisions for fire safety within the building.

## FIRE SAFETY ORDER NO. 1

The inspecting Authorised Fire Officers from the Fire Safety Compliance Unit of FRNSW issued an Order No. 1, dated 4 October 2019, in accordance with the provisions of Section 9.34 of the EP&A Act, to have item no. 1A of this report rectified.

In accordance with the provisions of Schedule 5, Part 6, Section 12 of the EP&A Act, a copy of the Order is attached for your information. FRNSW has conducted further inspections of the building to assess compliance with the terms of this Order

## RE-INSPECTION

Pursuant to the provisions of Section 9.32(1)(b) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and Clause 189(a) of the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation), an inspection of 'the premises' on 15 October 2019 was conducted by Authorised Fire Officers from the Fire Safety Compliance Unit of FRNSW.

At the time of the inspection, the terms of 'the order' issued on 'the premises' were compliant. Please be advised that 'the order' is not an exhaustive list of non-compliances, it is at Council's discretion to inspect and address any other deficiencies identified on 'the premises'.

## RECOMMENDATIONS

FRNSW recommends that Council:

- a. Inspect and address item no. 1 through to item no. 4 of this report and any other deficiencies identified on 'the premises'.

This matter is referred to Council as the appropriate regulatory authority. FRNSW therefore awaits Council's advice regarding its determination in accordance with Schedule 5, Part 8, Section 17 (4) of the EP&A Act.

Should you have any enquiries regarding any of the above matters, please do not hesitate to contact [REDACTED] of FRNSW's Fire Safety Compliance Unit on (02) 9742 7434. Please ensure that you refer to file reference BFS19/3059 (8864) for any future correspondence in relation to this matter.

Yours faithfully

[REDACTED]  
Senior Building Surveyor  
Fire Safety Compliance Unit

Attachment: [Appendix 1 – Notice of Intention – Proposed Fire Safety Order – 4 pages]  
[Appendix 2 – Fire Safety Order – 3 pages]

Appendix 1 – Notice of Intention – 4 pages

Unclassified



File Ref. No: BFS19/3059 (8864)  
TRIM Ref. No: D19/65947  
Contact: [REDACTED]

19 September 2019

The Proper Officer  
[REDACTED]

Dear Sir / Madam

Re: **NOTICE OF INTENTION – PROPOSED FIRE SAFETY ORDER  
'WOOLBROKERS HOTEL'  
LOT 1, DP79202, 22 ALLEN STREET PYRMONT ("the premises")**

An inspection of the premises was conducted by Officers from the Fire Safety Compliance Unit of Fire & Rescue NSW (FRNSW) on 18 September 2019. The inspection identified fire safety matters that were of concern to FRNSW during the inspection.

Accordingly, FRNSW hereby gives Notice of Intention to give a Fire Safety Order (Order no. 1), in accordance with the provisions of Section 9.34 of the *Environmental Planning and Assessment Act, 1979* (EP&A Act) and pursuant to Schedule 5, Part 6, Section 9 (corporation) of the EP&A Act. A copy of the proposed order is attached, which includes the terms of the proposed Order and the period proposed within which the Order is to be complied with.

You may make representation to FRNSW as to why the proposed Order should not be given or as to the terms of or the period for compliance with the Order, in accordance with the provisions of Schedule 5, Part 7, Section 13 of the EP&A Act. Representations are to be made in writing and should be received by FRNSW by no later than close of business Thursday 3 October 2019.

After hearing and considering any such representations, in accordance with the provisions of Schedule 5, Part 7 (Section 14 and Section 15) of the EP&A Act, FRNSW may determine:

- to give an Order in accordance with the Proposed Order;
- to give an Order in accordance with modifications made to the Proposed Order;

Fire and Rescue NSW	ABN 12 563 473 110	<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>
Community Safety Directorate	1 Amarina Ave	T (02) 9742 7434
Fire Safety Compliance Unit	Greenacre NSW 2160	F (02) 9742 7843
<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>		Page 1 of 4

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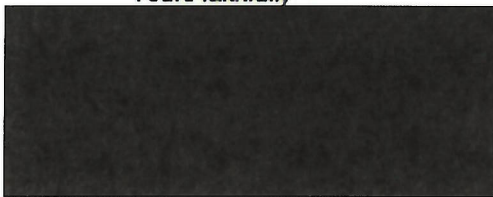
Unclassified

- not to give an Order.

A report of the inspection will be forwarded to City of Sydney Council, in accordance with the provisions of Sections 9.32, Schedule 5, Part 8 (Section 16 and Section 17) of the EP&A Act.

Should you have any enquiries regarding any of the above matters, please do not hesitate to contact Edren Ravino of FRNSW's Fire Safety Compliance Unit on (02) 9742 7434. Please ensure that you refer to file reference BFS19/3059 (8864) for any future correspondence in relation to this matter.

Yours faithfully



CC: Woolbrokers Hotel  
22 Allen Street  
PYRMONT NSW 2009  
[info@woolbrokershotel.com.au](mailto:info@woolbrokershotel.com.au)

Unclassified

Unclassified



Unclassified

## Proposed Fire Safety Order ORDER No. 1

*Under the Environmental Planning and Assessment Act 1979 (EP&A Act)  
Part 9 Implementation and Enforcement – Division 9.3 Development Control  
Orders  
Fire Safety Orders in accordance with the table to Part 2 - Schedule 5.  
Intend to give an Order in accordance with Section 9.34(1)(b)*

I, [REDACTED] Senior Building Surveyor 903766  
(name) (rank) (number)

being an authorised Fire Officer within the meaning of Schedule 5, Part 8, Section 16 of the *Environmental Planning and Assessment Act 1979*, and duly authorised for the purpose, hereby order:

[REDACTED] Owner  
(name of person whom Order is served) (position i.e. owner, building manager)

with respect to the premise

**'WOOLBROKERS HOTEL'**  
**LOT 1, DP79202, 22 ALLEN STREET PYRMONT ("the premises")**  
(name/address of premises to which Order is served)

to do, or refrain from doing, the following things:

1. Repair the FIP by ensuring the Automatic Smoke Detection and Alarm System ('the system') continually monitors 'the premises' by:
  - a. Repairing all faults displayed on the FIP at the time of the inspection.
  - b. Reinstating the isolations displayed on the FIP at the time of the inspection.

The terms of the Order are to be complied with:

By no later than 30 days from the date of the order.

Fire and Rescue NSW	ABN 12 563 473 110	<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>
Community Safety Directorate	1 Amarina Ave	T (02) 9742 7434
Fire Safety Compliance Unit	Greenacre NSW 2190	F (02) 9742 7843
<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>		Page 3 of 4

Unclassified

**The reasons for the issue of this Order are:**

- a. At the time of the inspection on 18 September 2019 there were faults and isolations to "the system".
- b. An e-mail from Force Fire forwarded on from Woolbrokers Hotel received on 18 September 2019 identified 20 alarms, 6 faults and 39 isolations to "the system".
- c. Faults and isolations to "the system" is likely to delay timely evacuation of the public from the building in the event of an emergency.
- d. The automatic identification and notification that is provided by the FIP is diminished by the faults and isolations. As a result, it is likely that the evacuation routes from "the premises" may be compromised by poor visibility and high levels of toxicity that may endanger human life.
- e. To do, or refrain from doing such things that are specified in the Order, so as to ensure or promote adequate fire safety or fire safety awareness.

**Appeals**

Pursuant to Section 8.18 of the *Environmental Planning & Assessment Act 1979* (EP&A Act), there is no right of appeal to the Court against this Order, other than an order that prevents a person using or entering premises.

**Non-Compliance with the Order**

Failure to comply with this Order may result in further Orders and/or fines being issued. Substantial penalties may be imposed under Section 9.37 of the EP&A Act for failure to comply with an Order.

**NOTE:** Representations are to be made in writing and should be received by FRNSW by no later than close of business Thursday 3 October 2019.



This Proposed Fire Safety Order No. 1 was sent by mail on Thursday 19 September 2019.



## Appendix 2 – Fire Safety Order – 3 pagers

Unclassified



File Ref. No: BFS19/3059 (8864)  
 TRIM Ref. No: D19/71149  
 Contact: [REDACTED]

4 October 2019

The Proper Officer



Dear Sir / Madam

Re: FIRE SAFETY ORDER – ORDER 1  
 'WOOLBROKERS HOTEL'  
 LOT 1, DP79202, 22 ALLEN STREET PYRMONT("the premises")

Following the Notice of Intention to issue a Fire Safety Order, dated 19 September 2019 issued on 'the premises', Fire & Rescue NSW (FRNSW) has yet to receive representations in response to the proposed Order. A follow up inspection on 4 October 2019 revealed a fault on the Fire Indicator Panel. Based on the information available at the time, FRNSW has determined to issue the Fire Safety Order.

Given the circumstances of this case and in accordance with the provisions of Schedule 5, Part 7 (Section 14 and Section 15) of the *Environmental Planning & Assessment Act 1979* (EP&A Act), please find attached a copy of the FRNSW Fire Safety Order (Order No. 1) issued in accordance with the provisions of Section 9.34 of the EP&A Act.

A copy of the Order will be forwarded to City of Sydney Council, in accordance with the provisions of Schedule 5, Part 6, Section 12 of the EP&A Act. FRNSW will conduct further inspections to assess compliance with the terms of the Order.

Should you have any enquiries regarding any of the above matters, please do not hesitate to contact Edren Ravino of FRNSW's Fire Safety Compliance Unit on (02) 9742 7434. Please ensure that you refer to file reference BFS19/3059 (8864) for any future correspondence in relation to this matter.

Yours faithfully,



Fire Safety Compliance Unit

CC: Woolbrokers Hotel  
 22 Allen street  
 PYRMONT NSW 2009  
[info@woolbrokershotel.com.au](mailto:info@woolbrokershotel.com.au)

Fire and Rescue NSW

ABN 12 563 473 110

[www.fire.nsw.gov.au](http://www.fire.nsw.gov.au)

Community Safety Directorate  
 Fire Safety Compliance Unit

1 Amarina Ave  
 Greenacre NSW 2190

T (02) 9742 7434  
 F (02) 9742 7843

[www.fire.nsw.gov.au](http://www.fire.nsw.gov.au)

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Unclassified



# Fire Safety Order

## ORDER No. 1

Under the *Environmental Planning and Assessment Act 1979 (EP&A Act)*  
*Part 9 Implementation and Enforcement – Division 9.3 Development Control*  
*Orders*

*Fire Safety Orders in accordance with the table to Part 2 - Schedule 5.*  
*Give an Order in accordance with Section 9.34(1)(a)*

I, [REDACTED] Senior Building Surveyor 903766  
(rank) (number)

being an authorised Fire Officer within the meaning of Schedule 5, Part 8, Section 16 of the *Environmental Planning and Assessment Act 1979*, and duly authorised for the purpose, hereby order you

[REDACTED] Owner  
(name of person whom Order is served) (position i.e. owner, building manager)

with respect to the premise

**'WOOLBROKERS HOTEL'**  
**LOT 1, DP79202, 22 ALLEN STREET PYRMONT ("the premises")**  
(name/address of premises to which Order is served)

to do, or refrain from doing, the following things:

1. Repair the FIP by ensuring the Automatic Smoke Detection and Alarm System ('the system') continually monitors 'the premises' by:
  - a. Repairing all faults displayed on the FIP at the time of the inspection.
  - b. Reinstating the isolations displayed on the FIP at the time of the inspection.

The reasons for the issue of this Order are:

- a) At the time of the inspection on 18 September 2019 there were faults and isolations to "the system".

Fire and Rescue NSW	ABN 12 583 473 110	<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>
Community Safety Directorate	1 Amarina Ave	T (02) 9742 7434
Fire Safety Compliance Unit	Greenacre NSW 2190	F (02) 9742 7843
<a href="http://www.fire.nsw.gov.au">www.fire.nsw.gov.au</a>		Page 2 of 3

- b) An e-mail from Force Fire forwarded on from Woolbrokers Hotel received on 18 September 2019 identified 20 alarms, 6 faults and 39 isolations to "the system".
- c) Faults and isolations to "the system" is likely to delay timely evacuation of the public from the building in the event of an emergency.
- d) The automatic identification and notification that is provided by the FIP is diminished by the faults and isolations. As a result, it is likely that the evacuation routes from "the premises" may be compromised by poor visibility and high levels of toxicity that may endanger human life.
- e) To do, or refrain from doing such things that are specified in the Order, so as to ensure or promote adequate fire safety or fire safety awareness.

The terms of the Order are to be complied with:

By no later than Monday on the 14 October 2019.

#### Appeals

Pursuant to Section 8.18 of the *Environmental Planning & Assessment Act 1979* (EP&A Act), there is no right of appeal to the Court against this Order, other than an order that prevents a person using or entering premises.

#### Non-Compliance with the Order

Failure to comply with this Order may result in further Orders and/or fines being issued. Substantial penalties may also be imposed under Section 9.37 of the EP&A Act for failure to comply with an Order.



Fire Safety Compliance Unit

This Order No. 6 was sent by mail and e-mail on 4 October 2019.