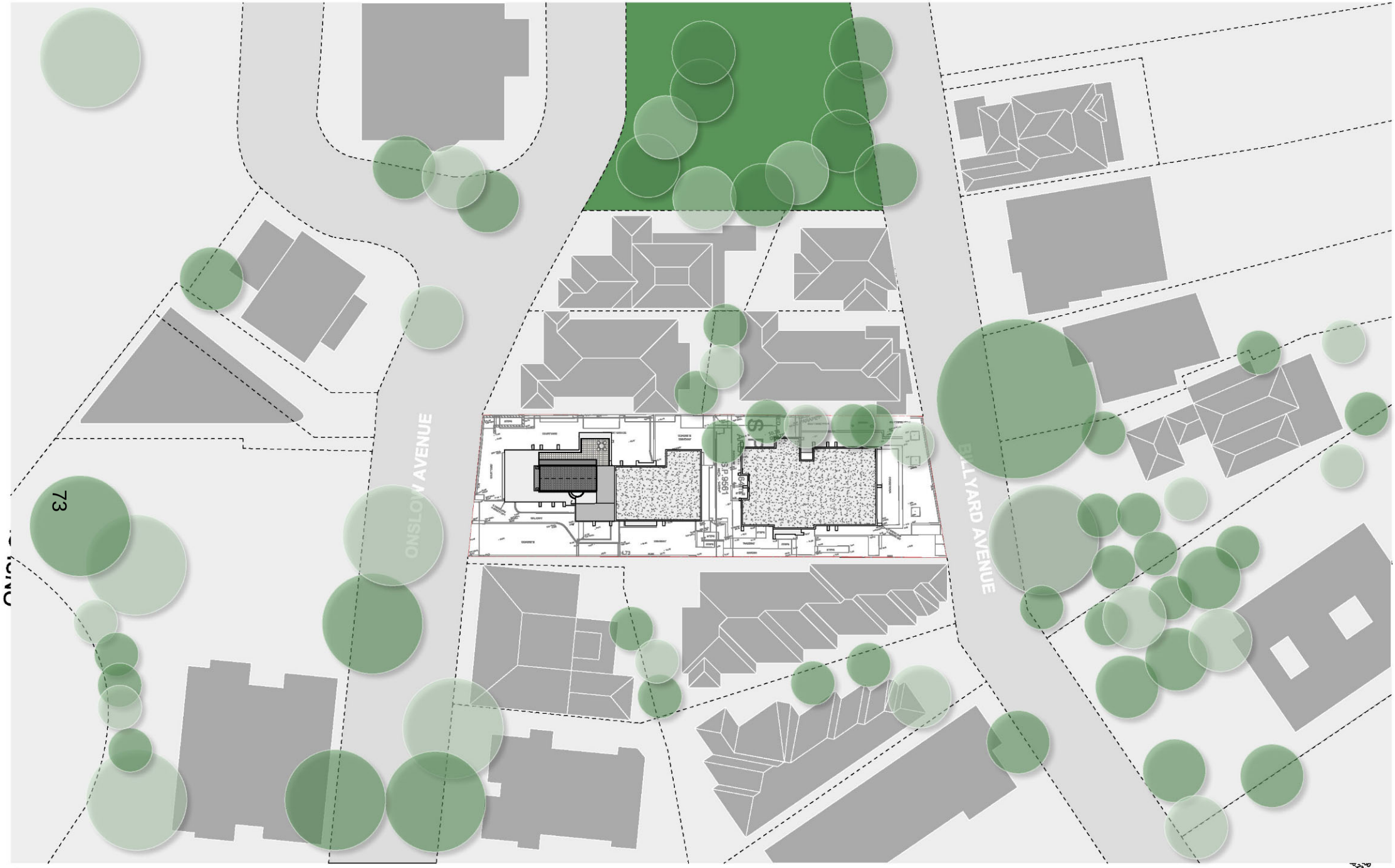
Attachment B

Selected Drawings



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

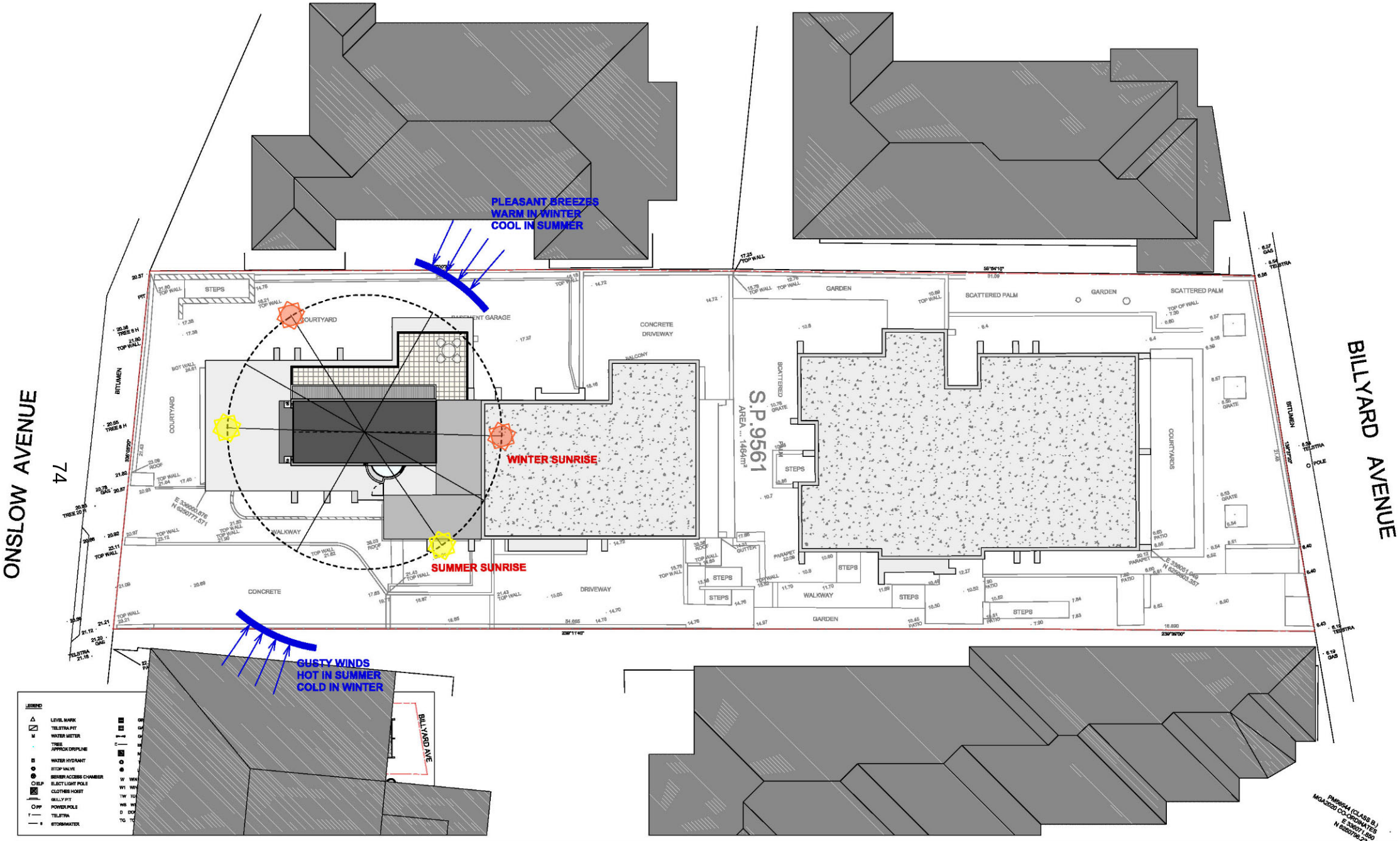
0 6 8 10 12 M

DATE	REVISION
07/03/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL

TITLE	SITE IDENTIFICATION PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 002

ISSUE **D**



PM66564 (CLASS B)
MGA2020 CO-ORDINATES
E 336001.040
N 6250760.257

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

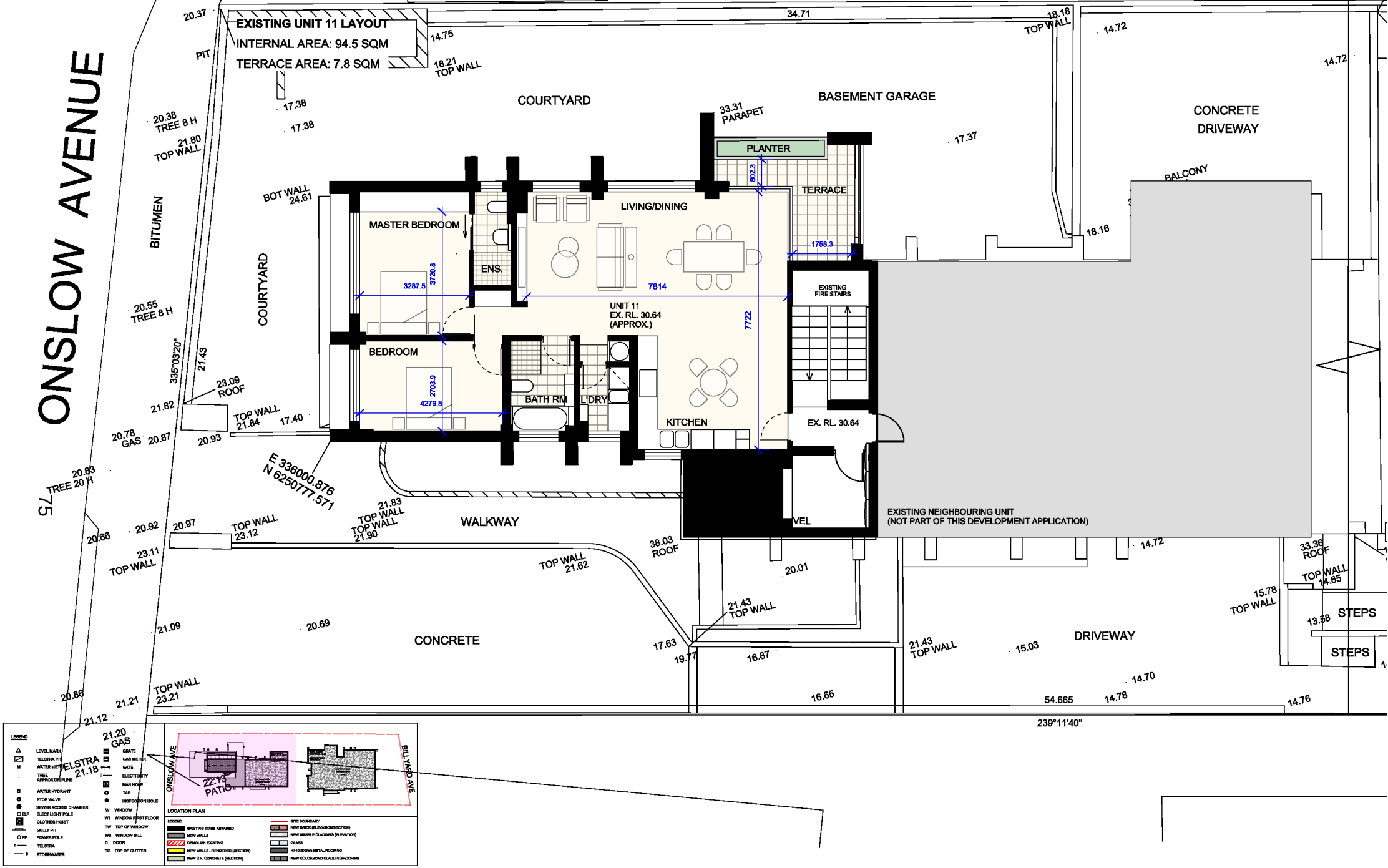
0 6 8 10 12 M

DATE	REVISION
07/03/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL

TITLE	SITE ANALYSIS PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 003

ISSUE **D**



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

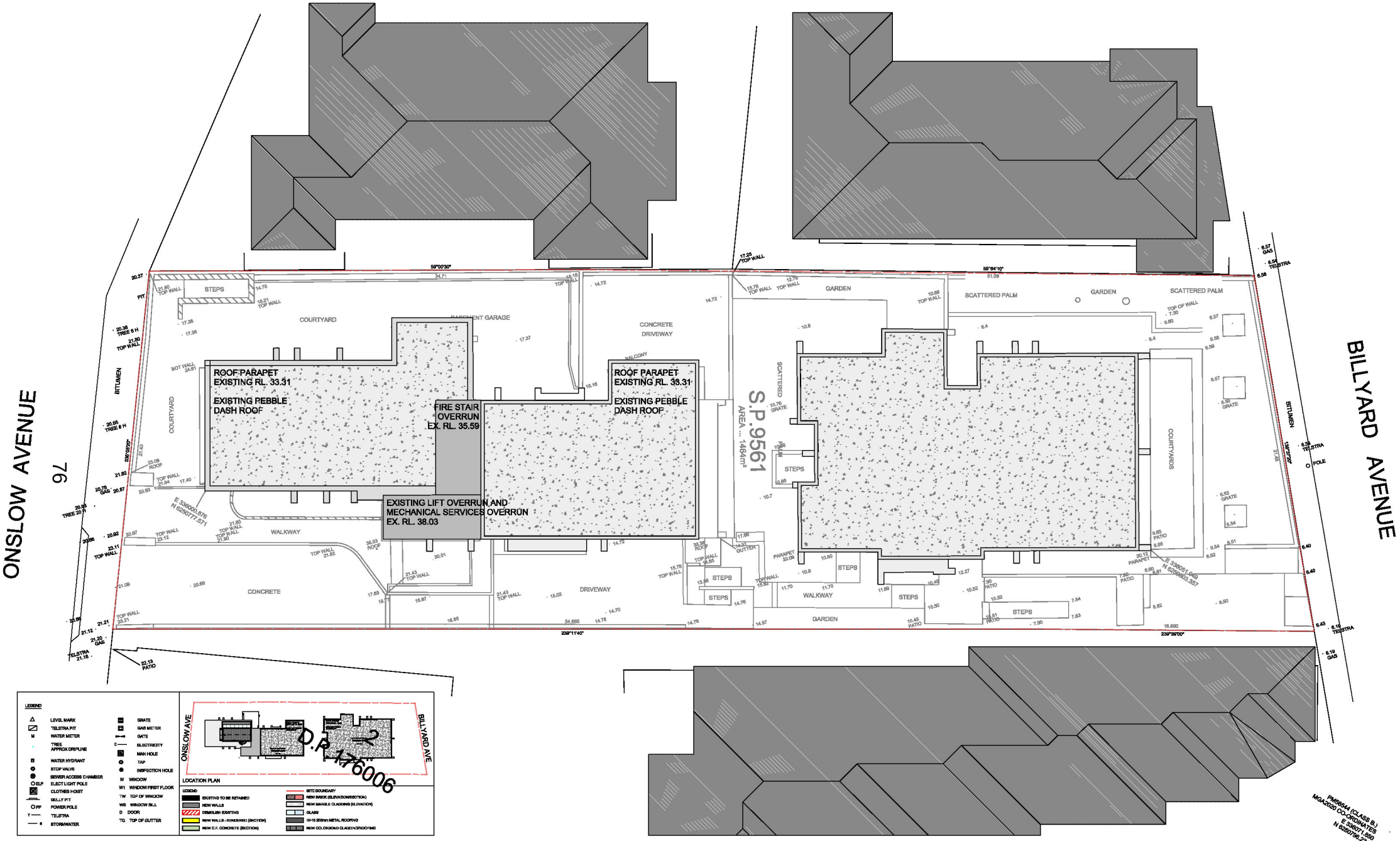
D.P 176

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	EXISTING UNIT 11 LAYOUT
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:100 @A3, 1:50@A1
DRAWN BY	[CL/HC]

DA 004

ISSUE E



PM8854A (CLASS B)
MGA2020 CO-ORDINATES
E 336071.660
N 6250736.224

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

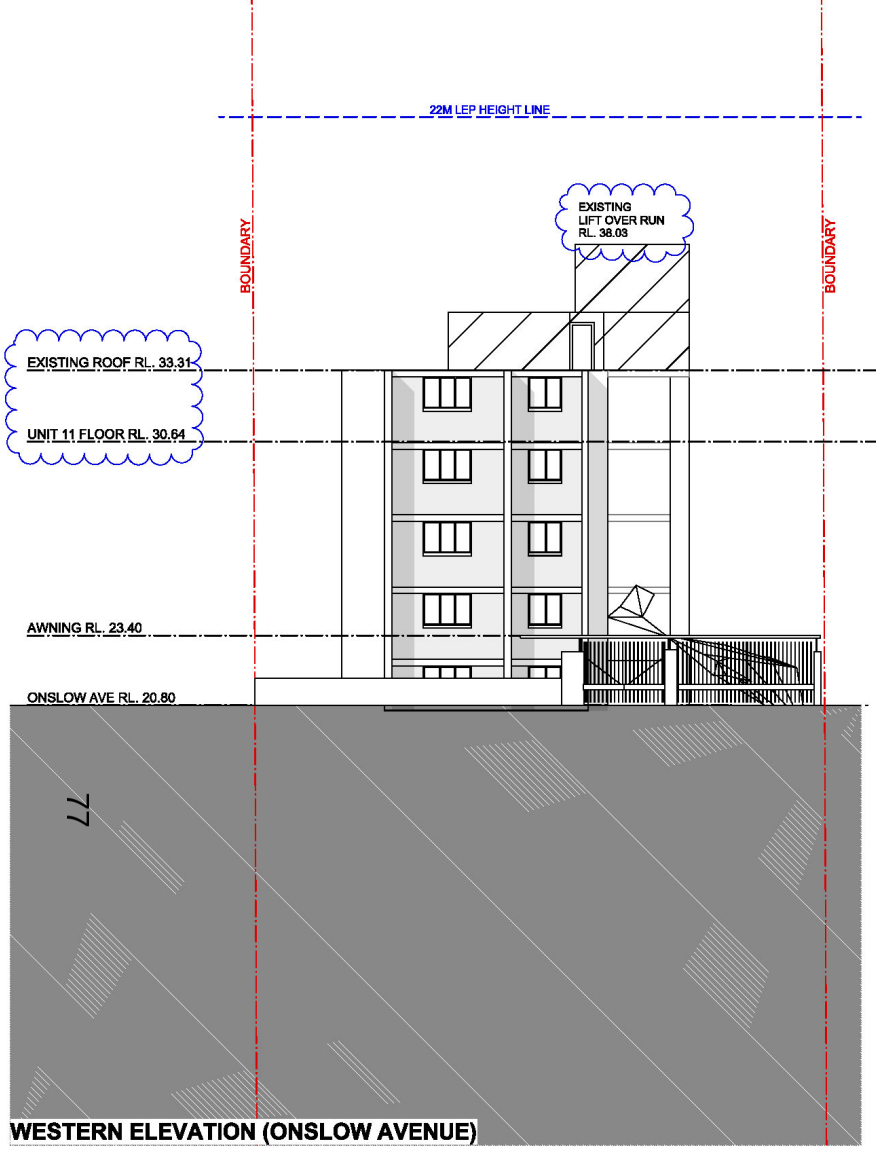
0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

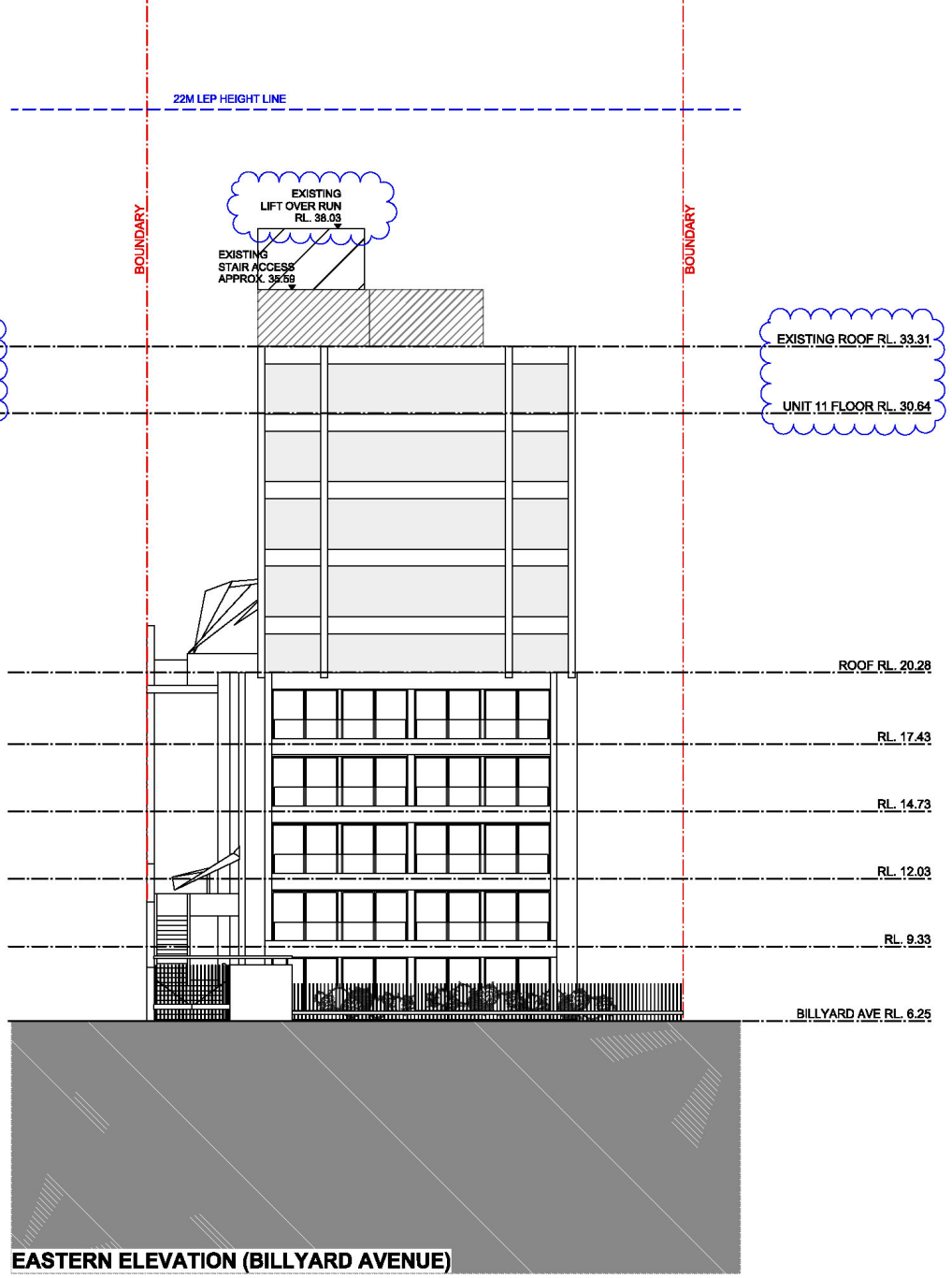
TITLE	EXISTING ROOF PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 005

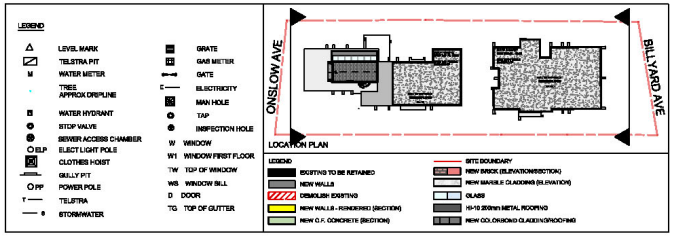
ISSUE **E**



WESTERN ELEVATION (ONSLOW AVENUE)



EASTERN ELEVATION (BILLYARD AVENUE)



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

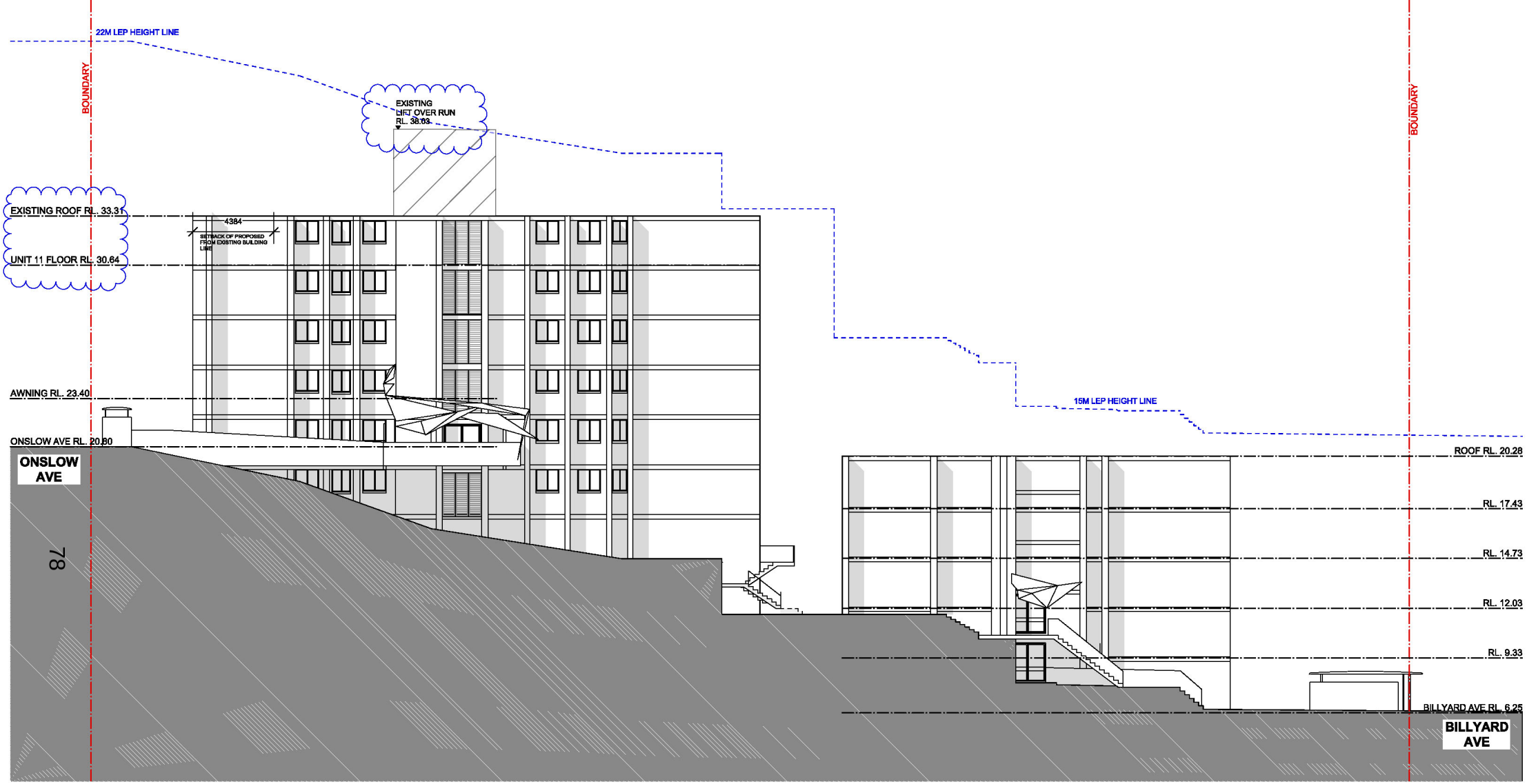
0 6 8 10 12 M

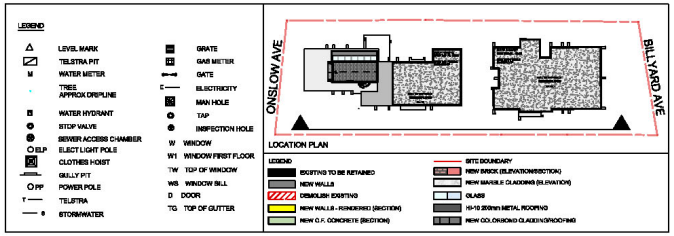
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	EXISTING BUILDING ELEVATION EAST & WEST
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 006

ISSUE **E**





ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

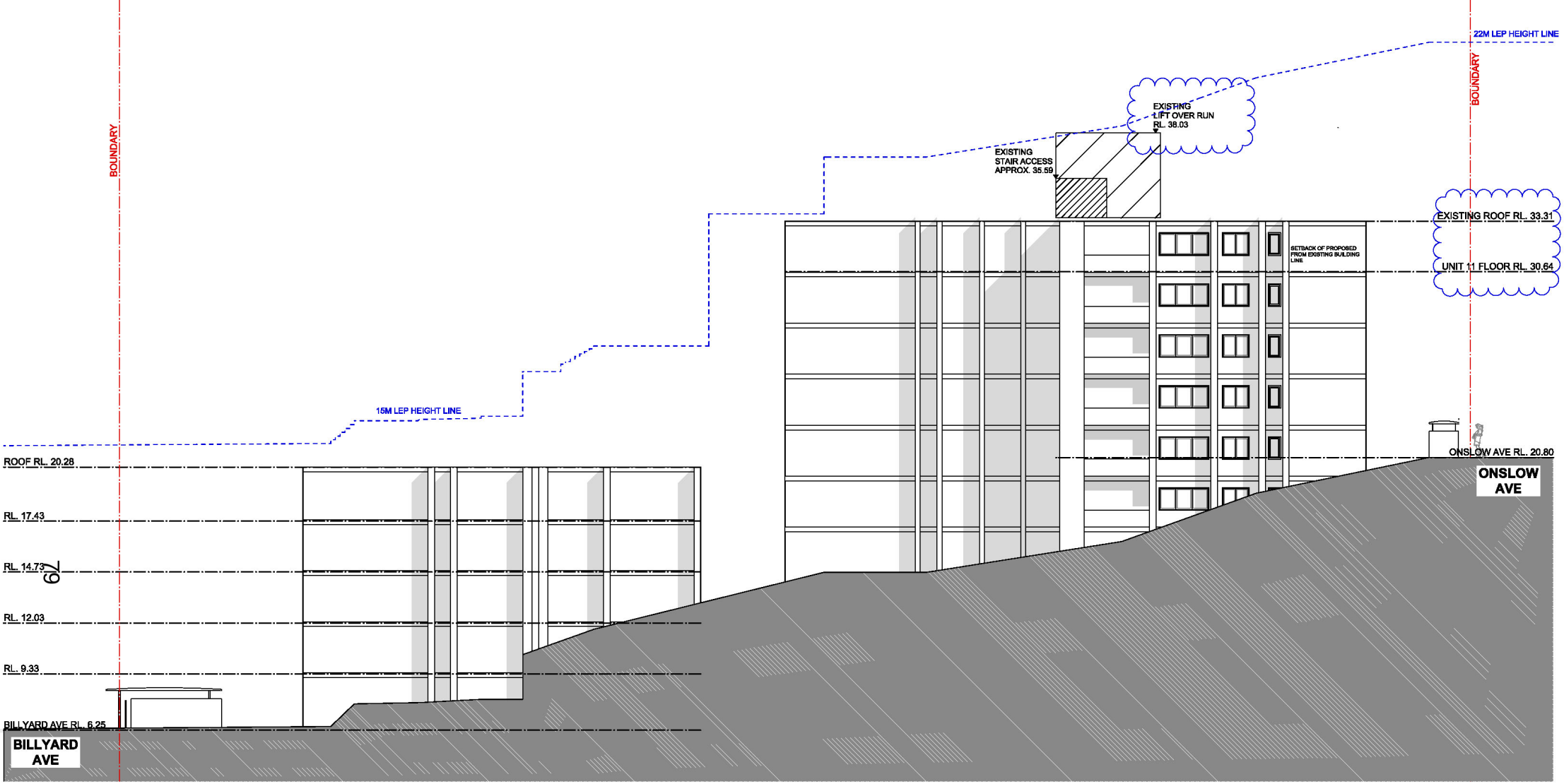
0 6 8 10 12 M

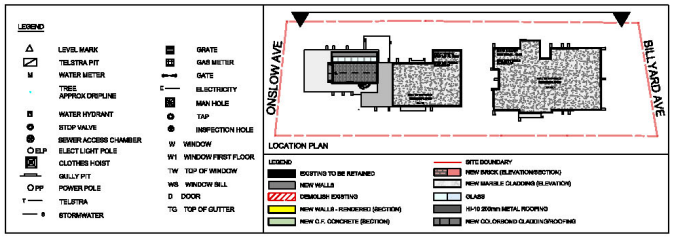
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	EXISTING BUILDING ELEVATION SOUTH
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 007

ISSUE **E**





ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

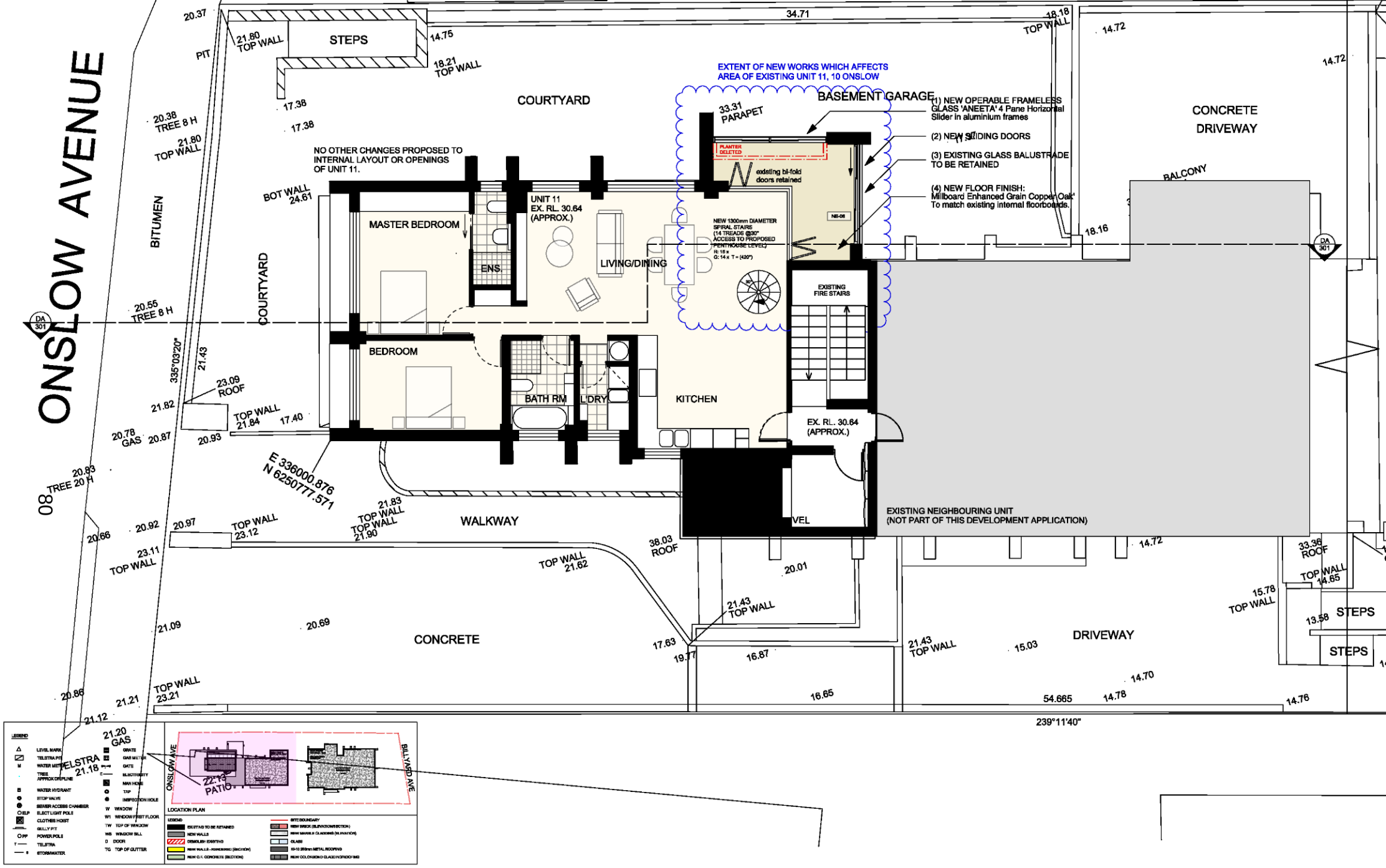
0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	EXISTING BUILDING ELEVATION NORTH
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 008

ISSUE **E**



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

0 4 5 6 M

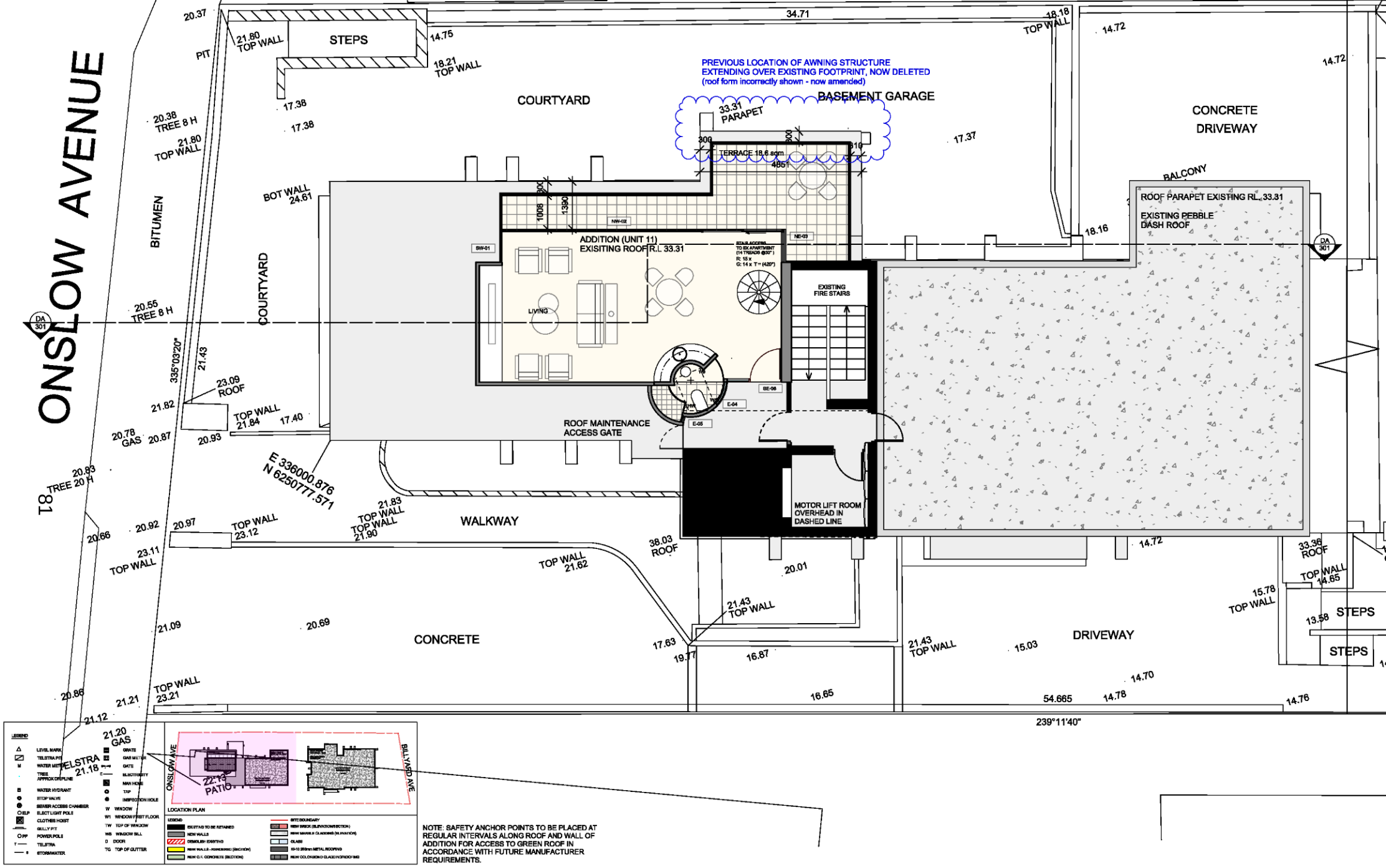
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	UNIT 11, 10 ONSLOW UNIT FLOOR PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:100 @A3, 1:50@A1
DRAWN BY	[CL/HC]

DA 101

ISSUE **E**

D.P 176



NOTE: SAFETY ANCHOR POINTS TO BE PLACED AT REGULAR INTERVALS ALONG ROOF AND WALL OF ADDITION FOR ACCESS TO GREEN ROOF IN ACCORDANCE WITH FUTURE MANUFACTURER REQUIREMENTS.

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

0 4 5 6 M

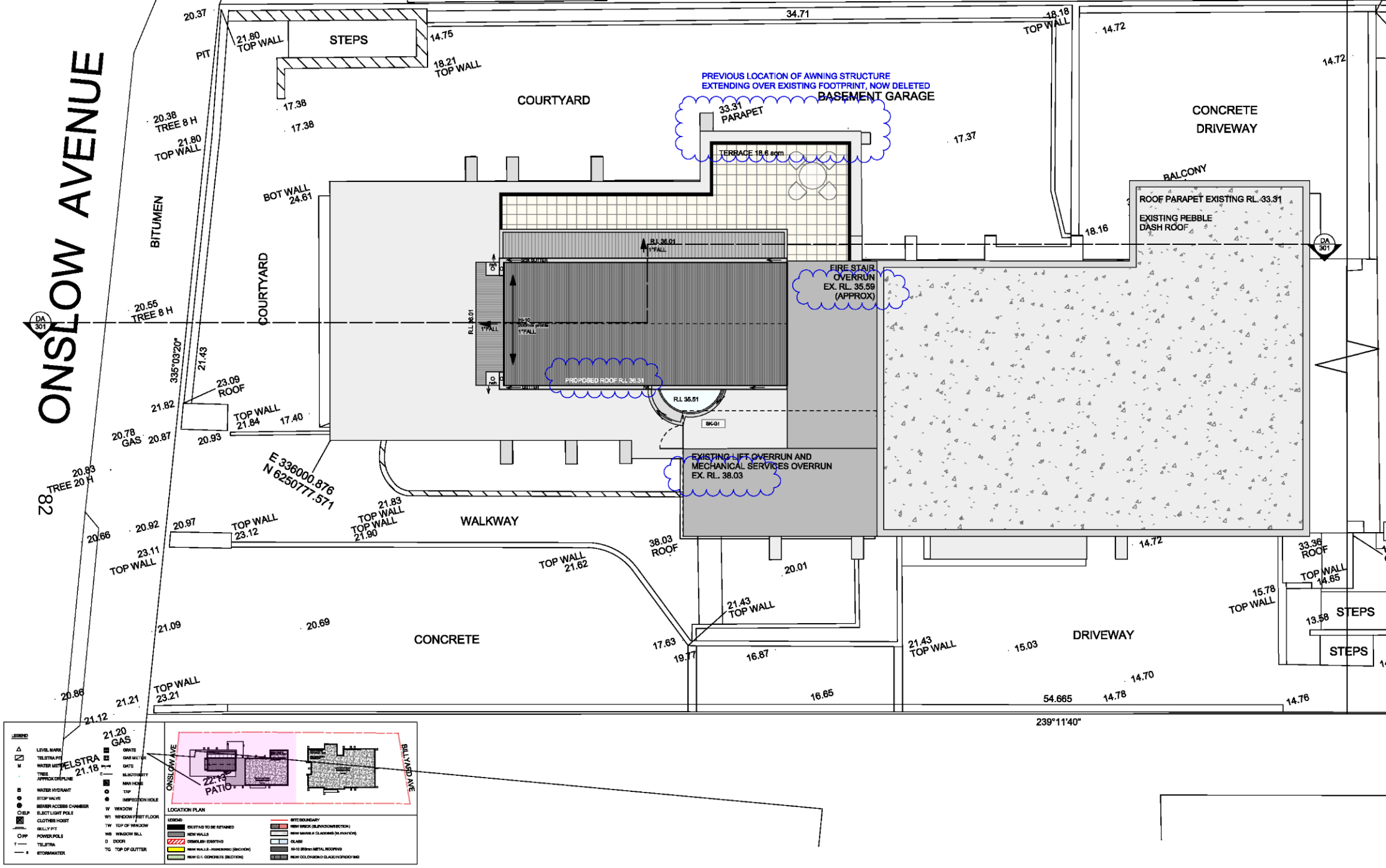
D.P 176

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	PENTHOHUSE ADDITION FLOOR PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:100 @A3, 1:50@A1
DRAWN BY	[CL/HC]

DA 102

ISSUE E



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

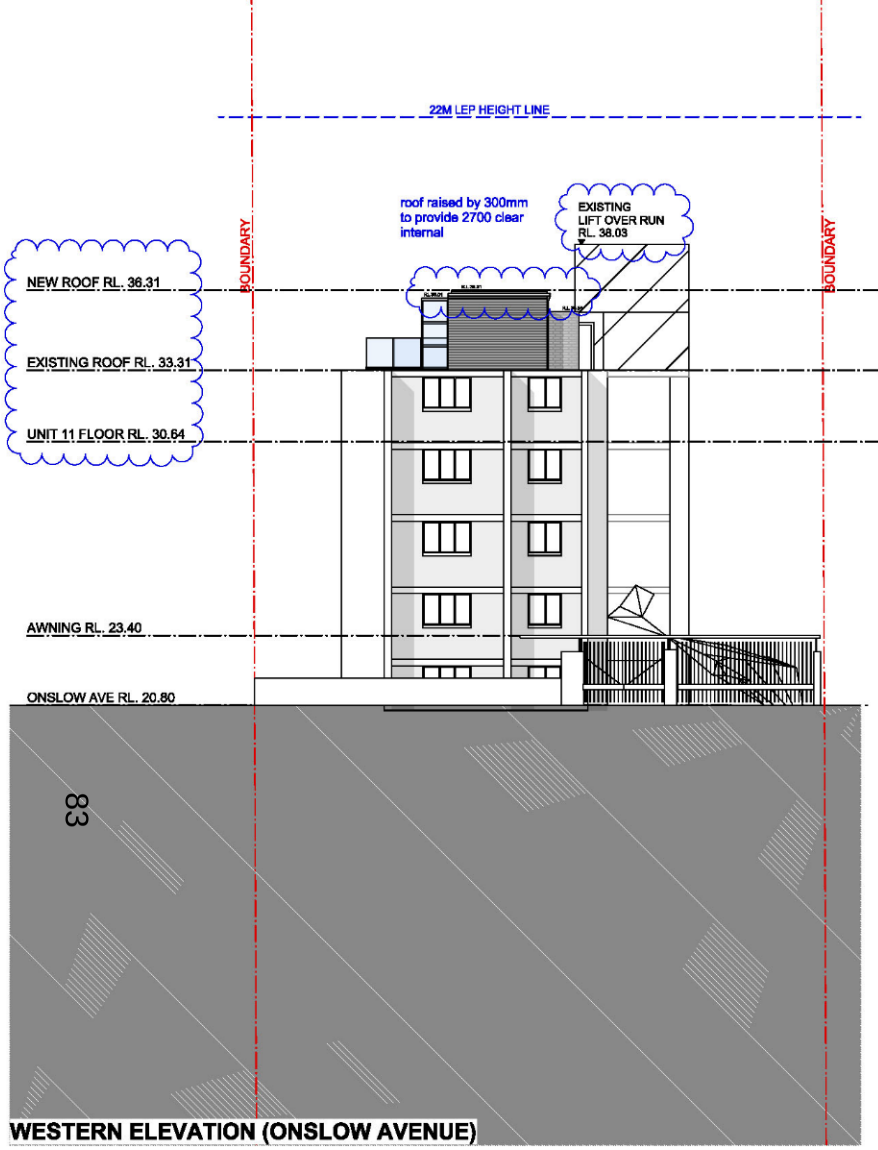
D.P 176

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

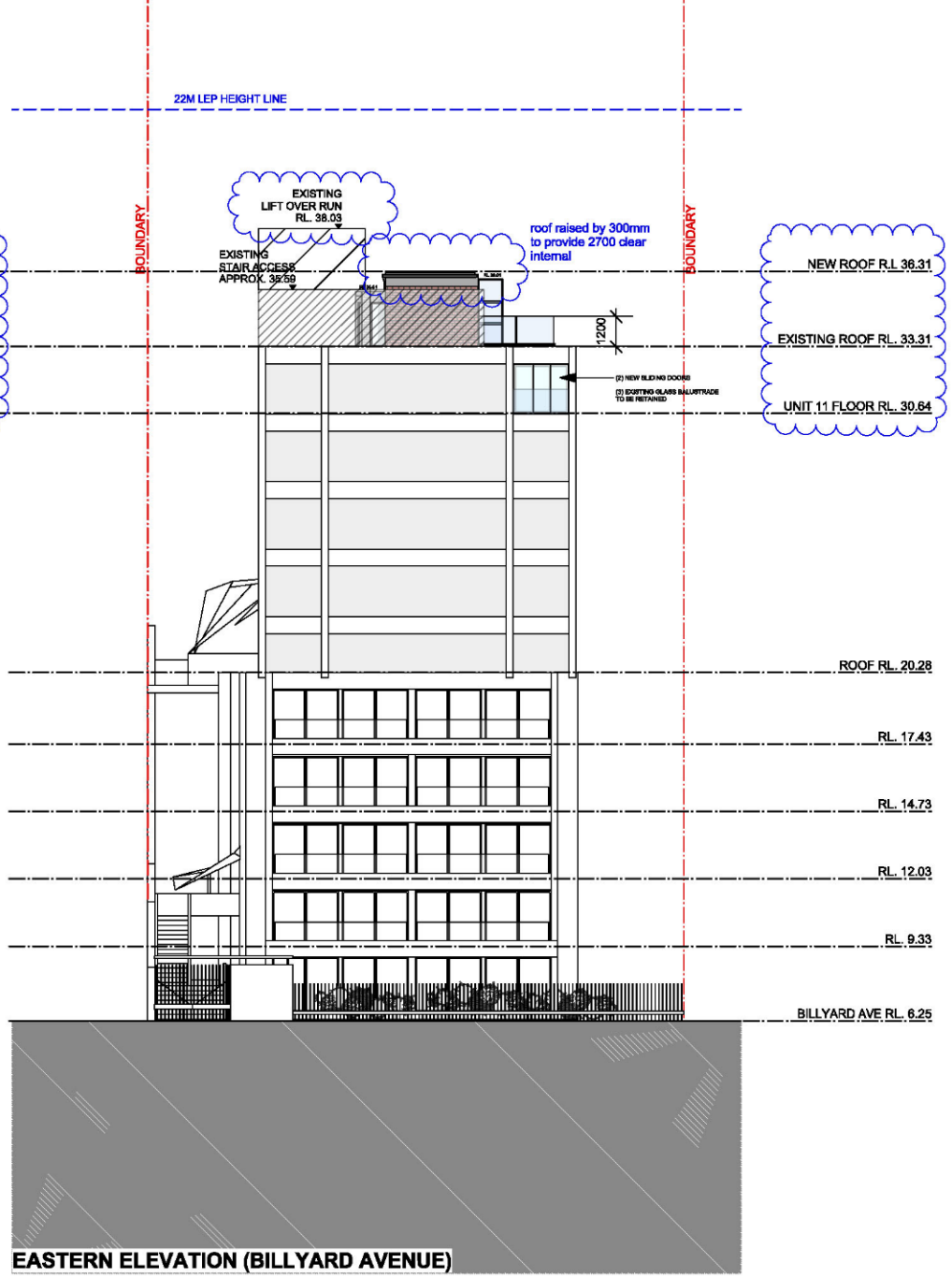
TITLE	ROOF PLAN
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:100 @A3, 1:50@A1
DRAWN BY	[CL/HC]

DA 103

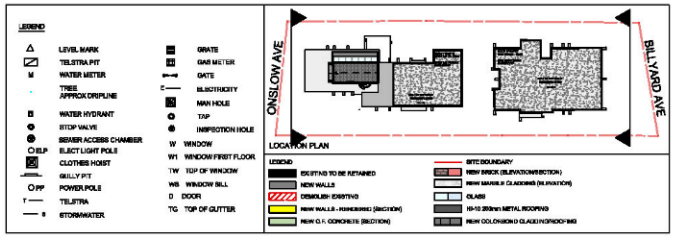
ISSUE **E**



WESTERN ELEVATION (ONSLOW AVENUE)



EASTERN ELEVATION (BILLYARD AVENUE)



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

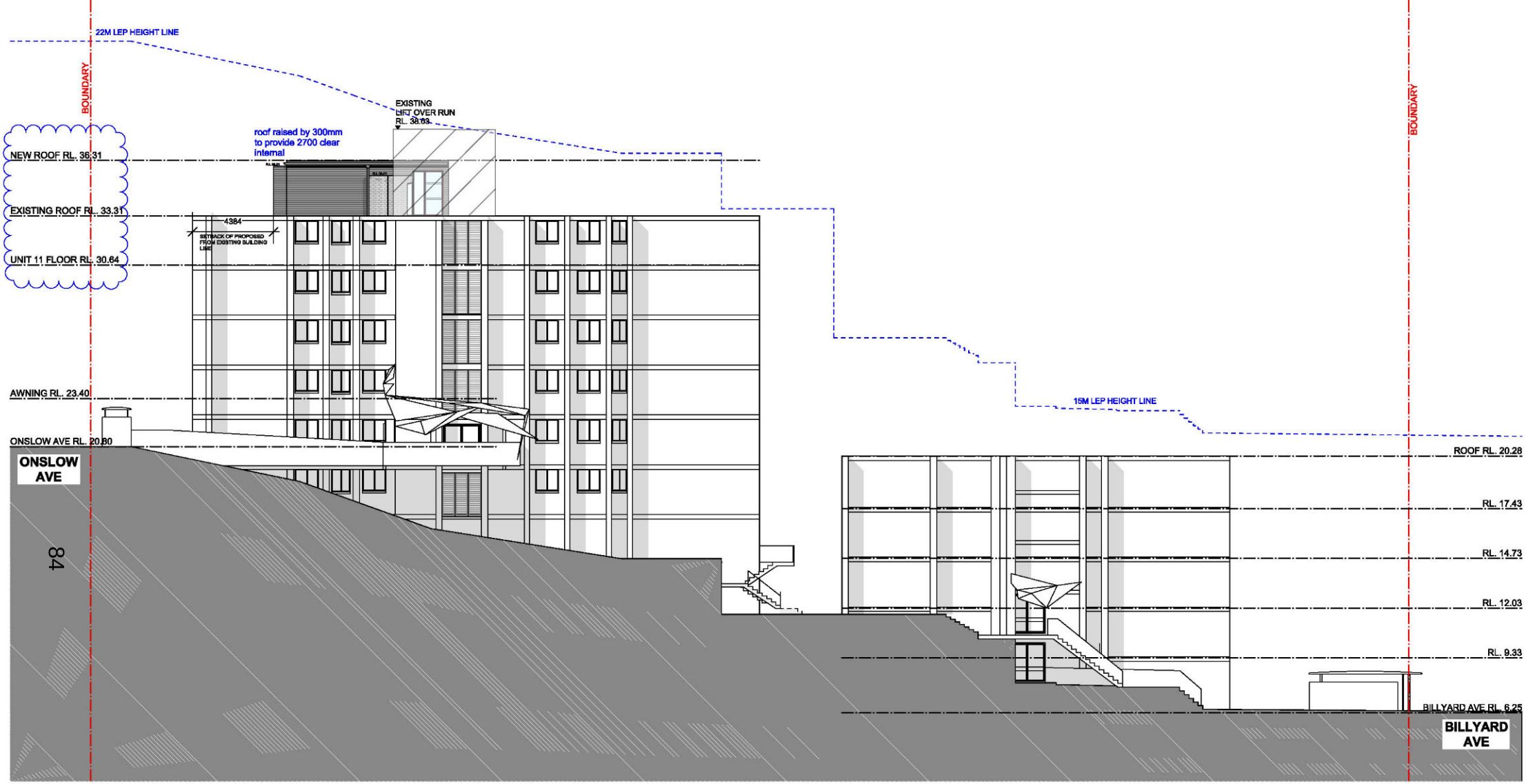
0 6 8 10 12 M

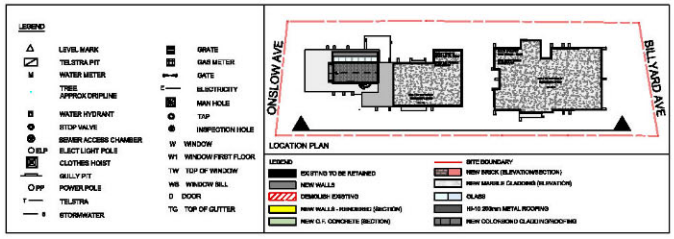
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONS EAST AND WEST
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 201

ISSUE E





ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

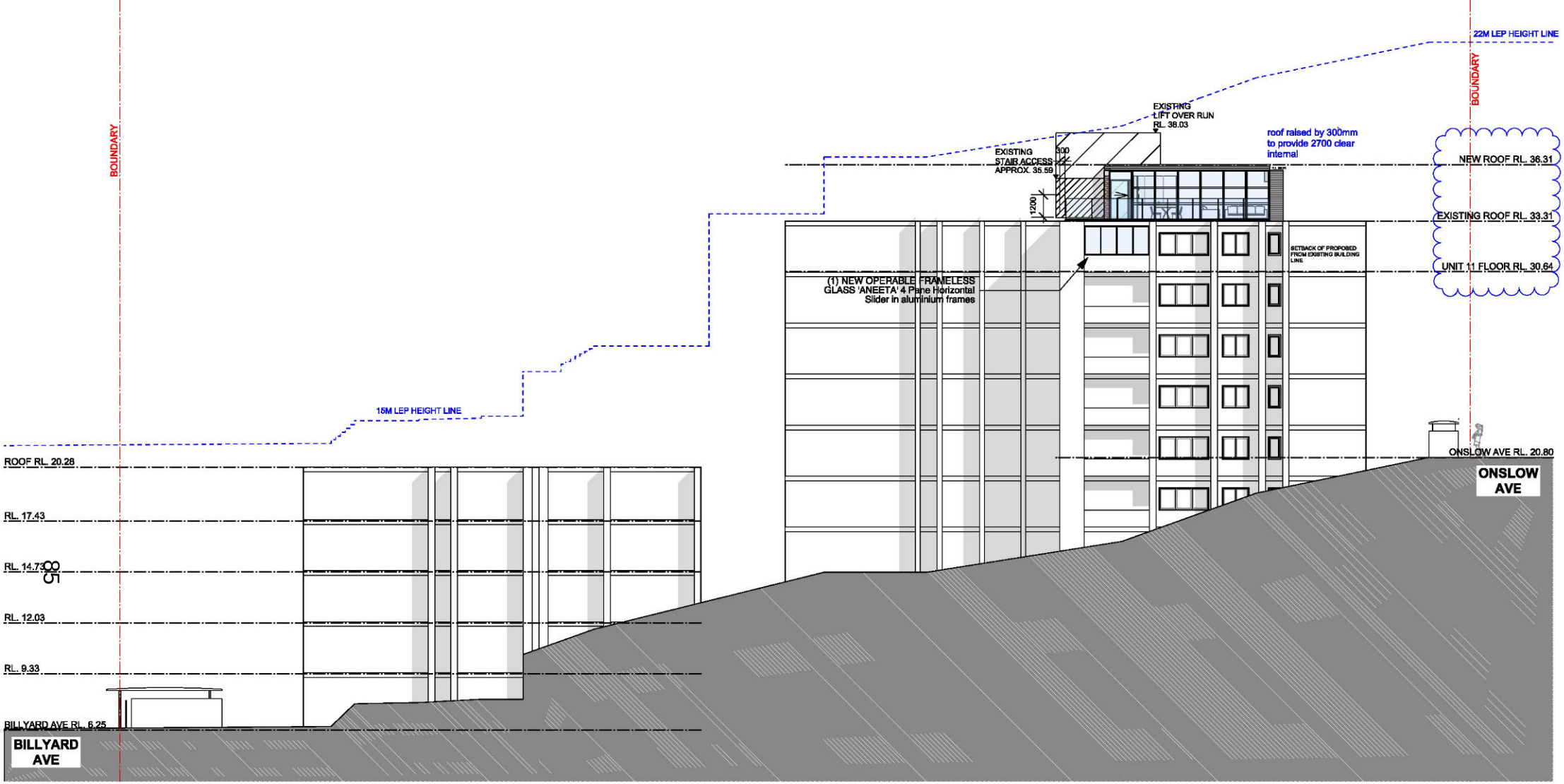
0 6 8 10 12 M

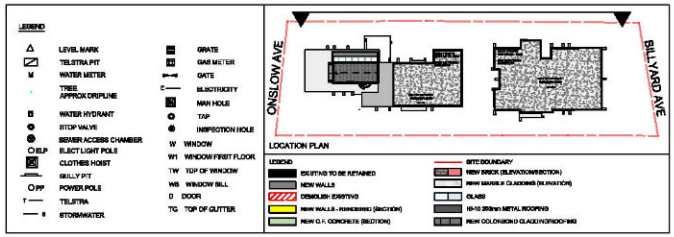
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATION SOUTH
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 202

ISSUE **E**





ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

0 6 8 10 12 M

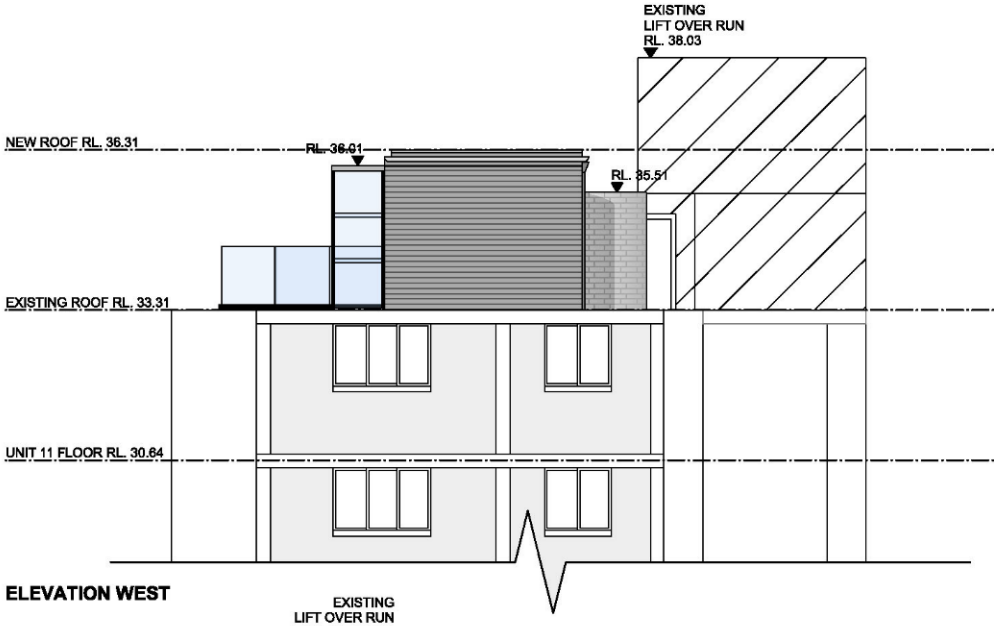
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATION NORTH
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

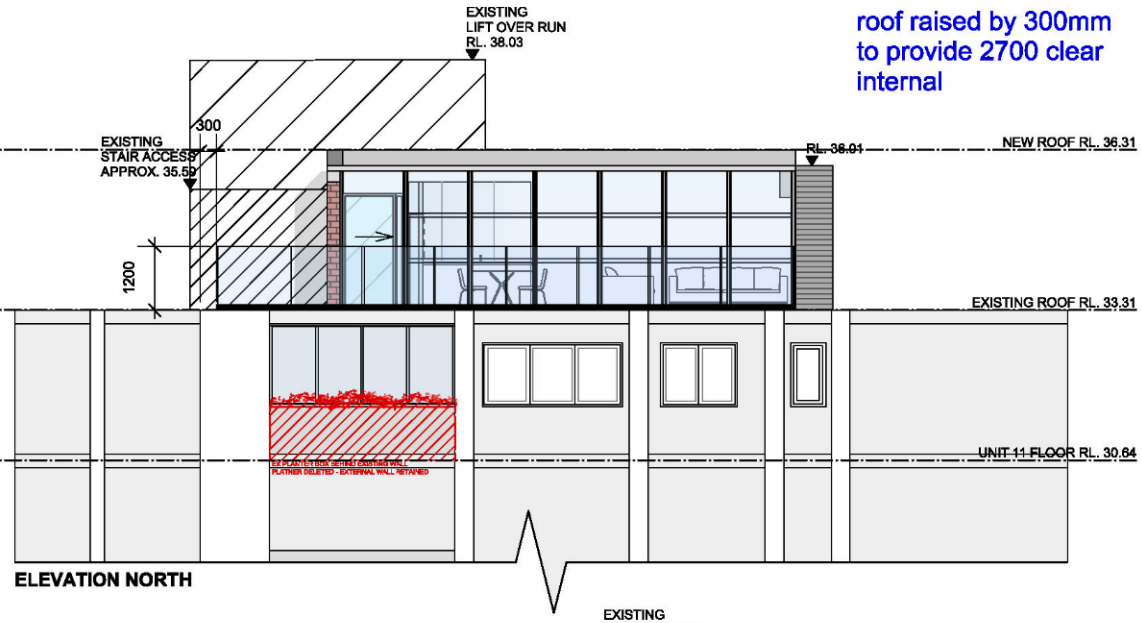
DA 203

ISSUE **E**

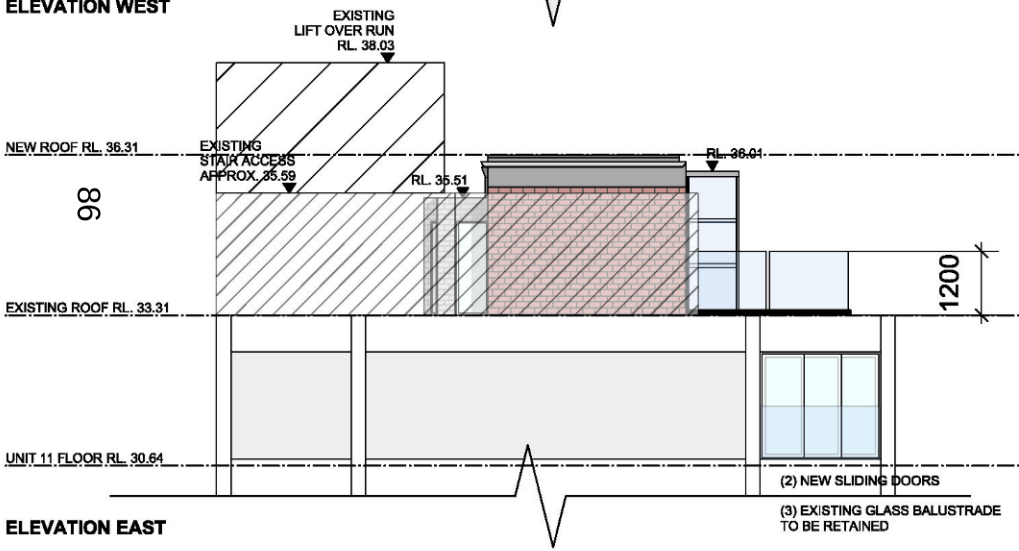
roof raised by 300mm to provide 2700 clear internal



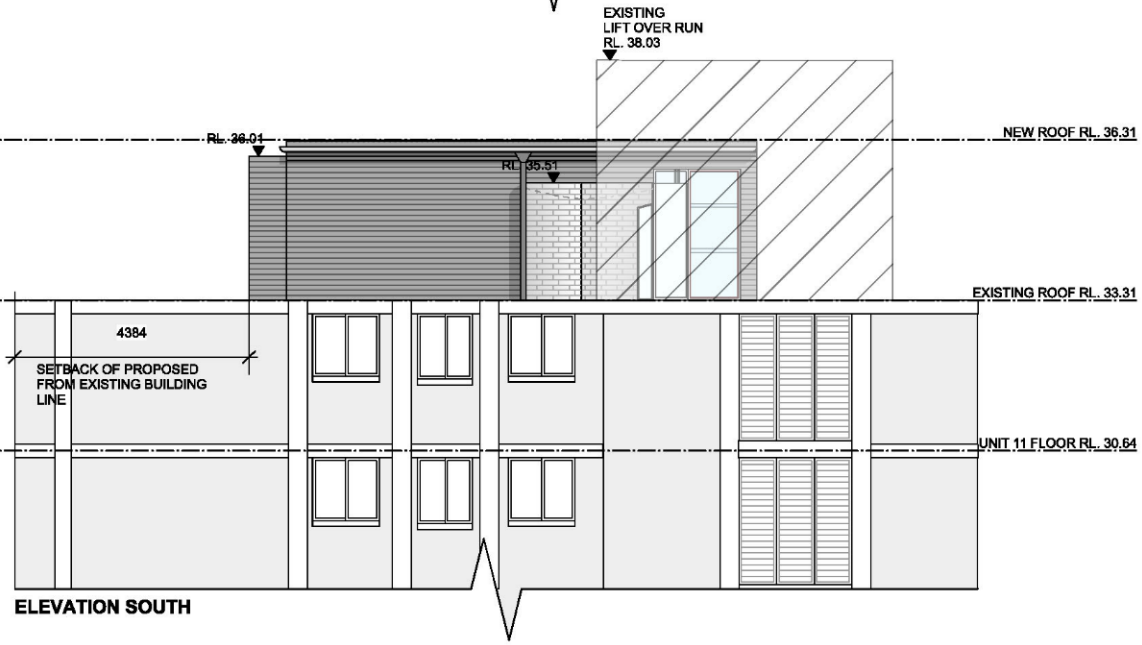
ELEVATION WEST



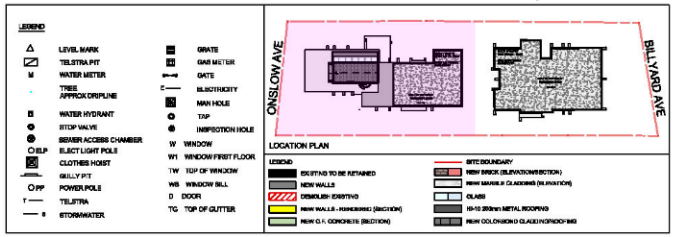
ELEVATION NORTH



ELEVATION EAST



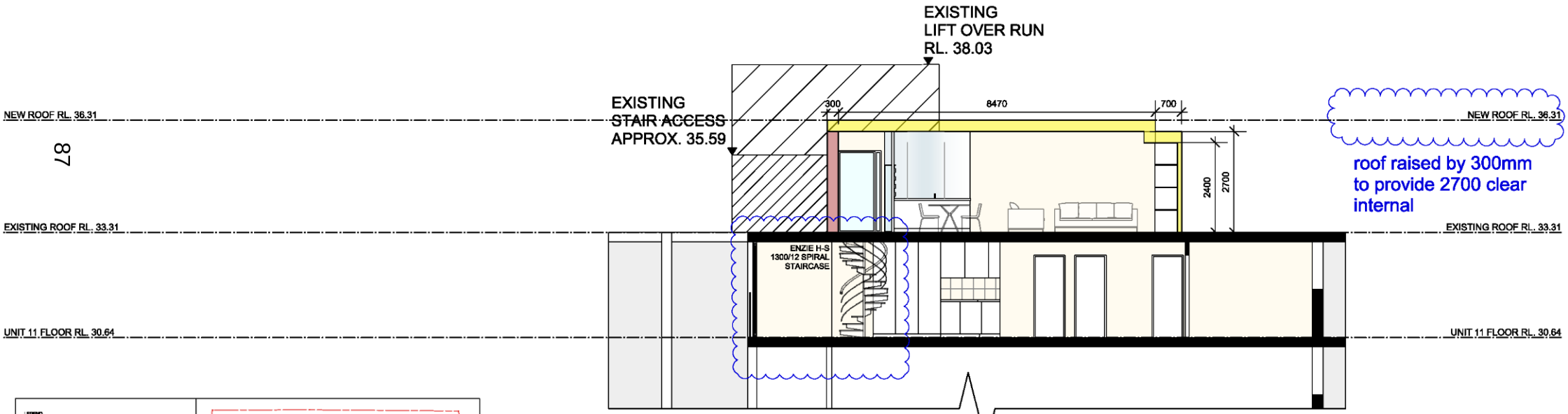
ELEVATION SOUTH



ARCHITECT	BASIX / NATHERS CERTIFICATION	NOTES	DATE	REVISION		
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Nominated Architect: Peter J Lonergan NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknelllonergan.com.au	SW-01 external louvre/blind (adjustable) NW-02 external louvre/blind (adjustable) NE-03 external louvre/blind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants drawings and reports. - All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing. TN MN 0 3 4 5 6 M	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	TITLE	DETAIL ELEVATIONS
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
			06/05/2020	DA-D AMENDMENTS BASED ON MODEL	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	STAGE	DEVELOPMENT APPLICATION
					CLIENT	MR. PATRICK LANE
					SCALE	1:100 @A3, 1:50@A1
					DRAWN BY	[CL/HC]

DA 204

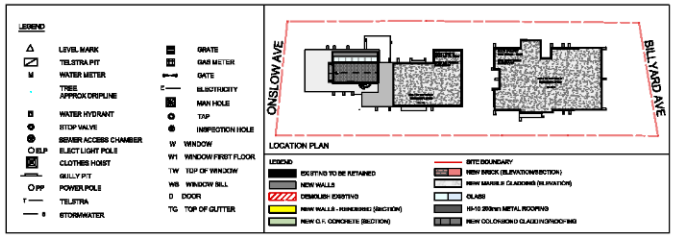
ISSUE E



SECTION A-A

EXTENT OF NEW WORKS WHICH AFFECTS AREA OF EXISTING UNIT 11, 10 ONSLOW ALL OTHER ADDITIONS ARE LOCATED ON EX. ROOF LEVEL

ENCOMPASSING:
ENCLOSURE OF EXISTING BALCONY W/ SLIDING GLASS DOORS BEHIND EXISTING GLASS BALUSTRADE.

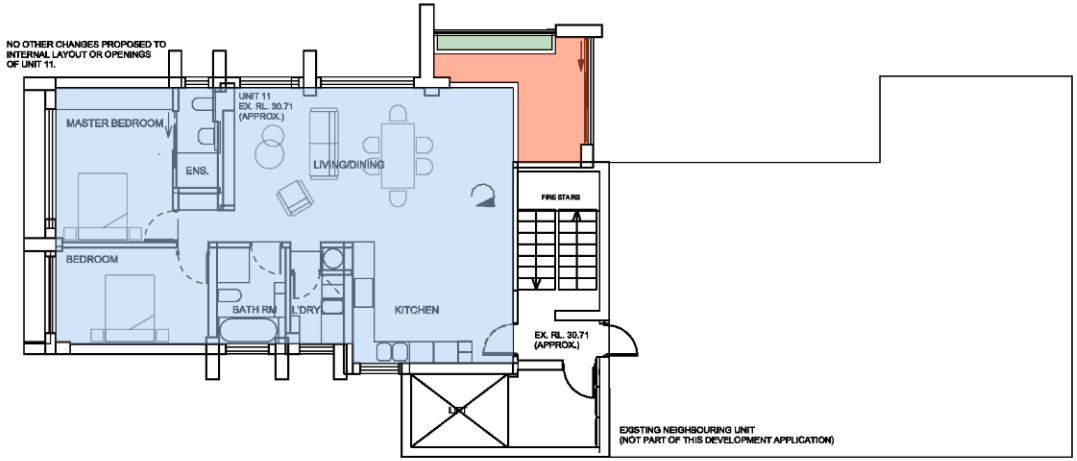


87

ARCHITECT	BASIX / NATHERS CERTIFICATION	NOTES	DATE	REVISION		
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Nominated Architect: Peter J Lonergan NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknelllonergan.com.au	SW-01 external louvre/blind (adjustable) NW-02 external louvre/blind (adjustable) NE-03 external louvre/blind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants drawings and reports. - All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing. TN MN 0 3 4 5 6 M	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	TITLE	SECTION A-A
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
			06/05/2020	DA-D AMENDMENTS BASED ON MODEL	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	STAGE	DEVELOPMENT APPLICATION
					CLIENT	MR. PATRICK LANE
					SCALE	1:100 @A3, 1:50@A1
					DRAWN BY	[CL/HC]

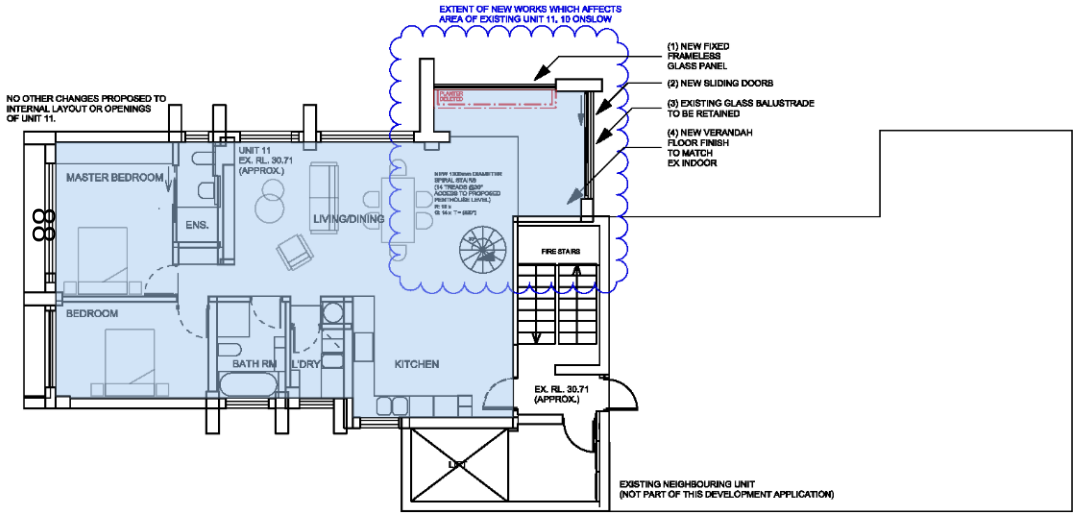
DA 301

ISSUE E



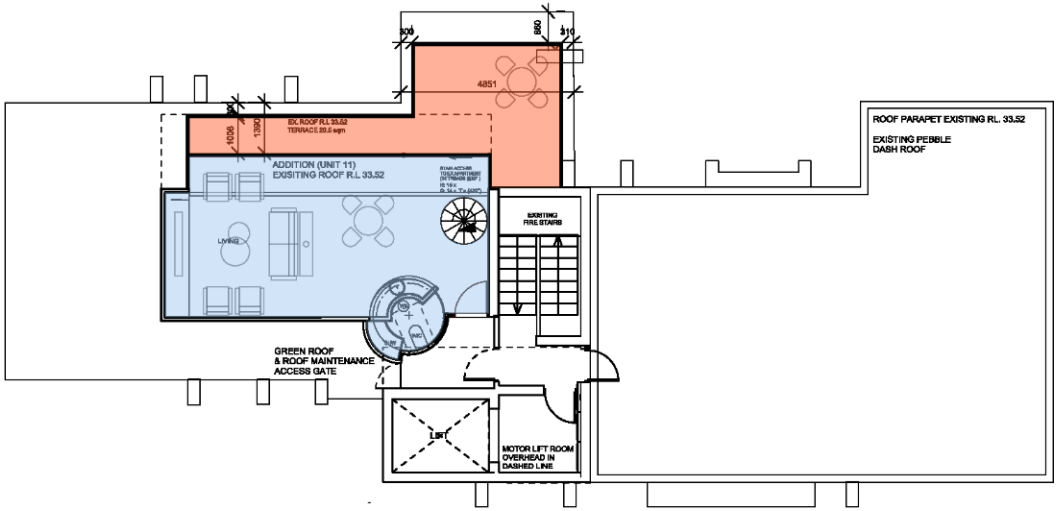
EXISTING AREA CALCULATION

GROSS FLOOR AREA (GFA):	94.5 sqm
TERRACE (BALCONY):	8.1 sqm
GREEN / PLANTER:	1.3 sqm



PROPOSAL AREA CALCULATION

GROSS FLOOR AREA (GFA):	146.8 sqm
TERRACE (BALCONY):	20.5 sqm
GREEN / PLANTER:	0 sqm



EXISTING SITE GFA (APPROXIMATION BY SURVEY/STRATA PLAN): 2942.9 sqm

EXISTING SITE AREA (BY SURVEY): 1464.0 sqm

EXISTING FSR: 2.01:1

PROPOSED ADDITIONAL GFA: 52.3 sqm

PROPOSED FSR: 2.05:1

PERMISSIBLE FSR: 4.5:1

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

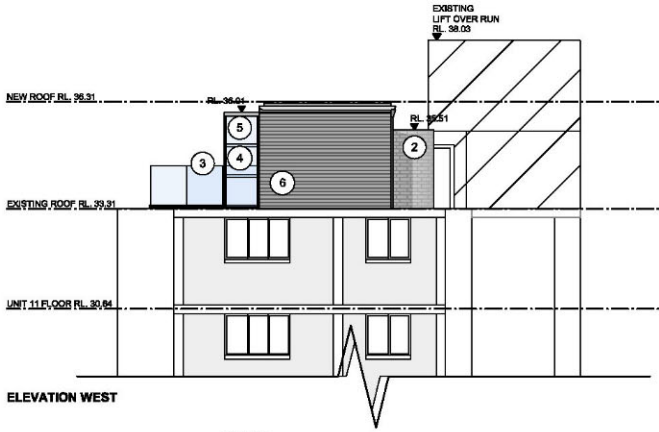
0 3 6 9 M

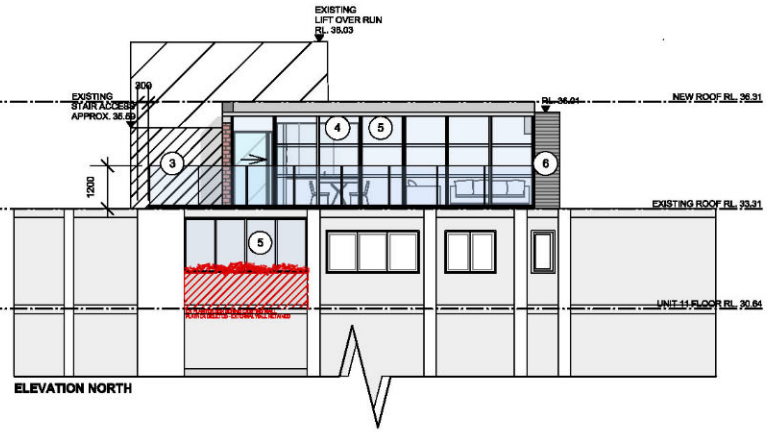
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

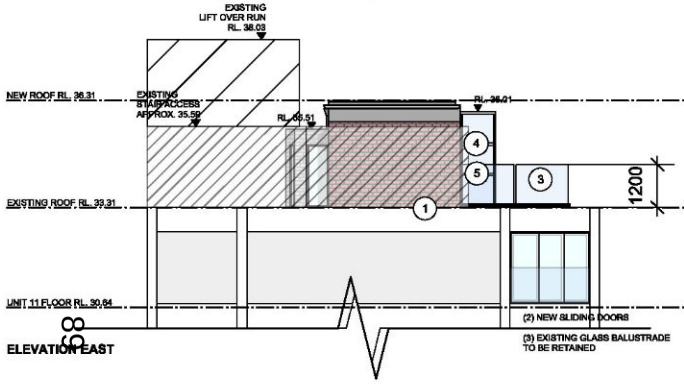
TITLE	AREAS CALCULATION SCHEDULE
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:150@A3 ; 1:75 @A4
DRAWN BY	[CL/HC]

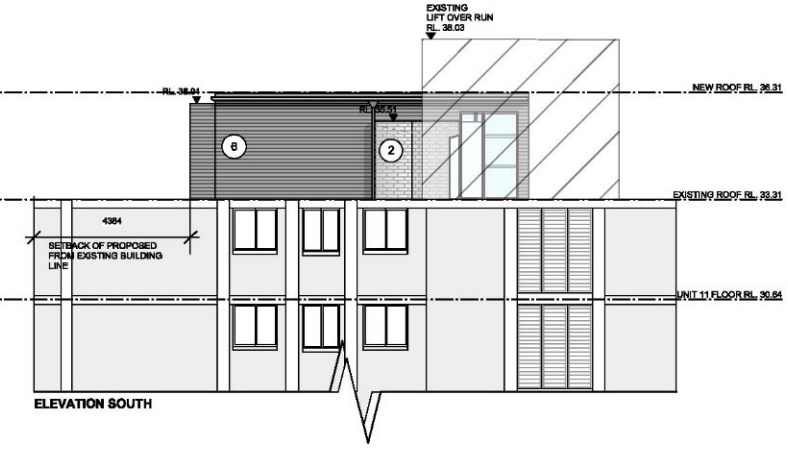
DA 401

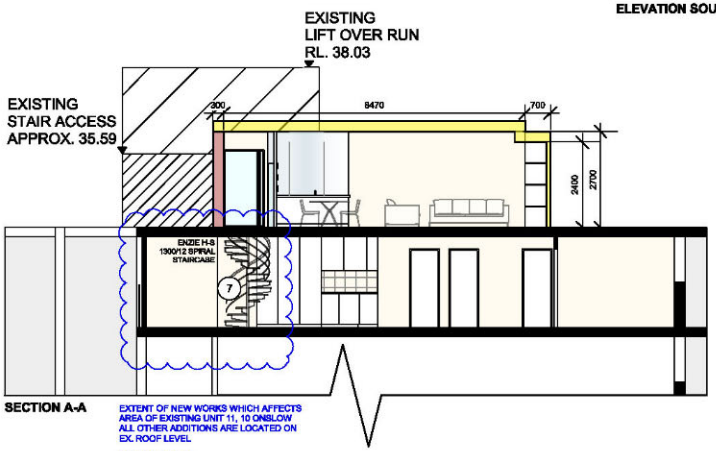
ISSUE **E**











EXTENT OF NEW WORKS WHICH AFFECTS AREA OF EXISTING UNIT 11, 10 ONSLOW ALL OTHER ADDITIONS ARE LOCATED ON EX. ROOF LEVEL

ENCOMPASSING:
ENCLOSURE OF EXISTING BALCONY W/ SLIDING GLASS DOORS BEHIND EXISTING GLASS BALUSTRADE.

MATERIAL FINISHES

1 EXISTING BRICK WALL
Retain for common wall between fire stairs and penthouse extension.

2 TILED FRAMED FACADE CLADDING
RHEINZINK Tile System - 'pre-PATINA graphite-grey'

3 GLASS BALUSTRADE W/ BRUSHED STAINLESS STEEL TOP RAIL (NATURAL FINISH)

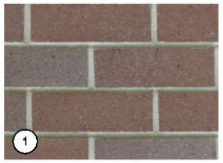
4 ALUMINIUM FRAMED WINDOWS & GLASS DOORS - COLOUR TO MATCH 'WINDSPRAY' GREY CLADDING

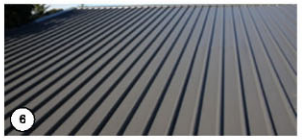
5 FRAMELESS GLASS - ANEETA SASHLESS WINDOW/DOOR

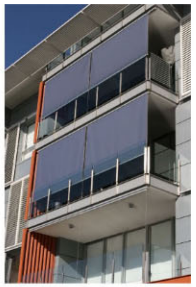
6 COLORBOND METAL CLADDING AND ROOFING
'Windspray'

7 SPIRAL STAIRCASE (INTERNAL)
Enzie Spiral Staircase Classic H Series

8 Helioscreen System (BASIX - External Blinds)







HELIOSCREEN INTEGRATED RETRACTABLE EXTERNAL BLINDS (SCREEN: TRANSLUCENT) TO COMPLY W/ BASIX SOLAR PERFORMANCE REQUIREMENTS

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

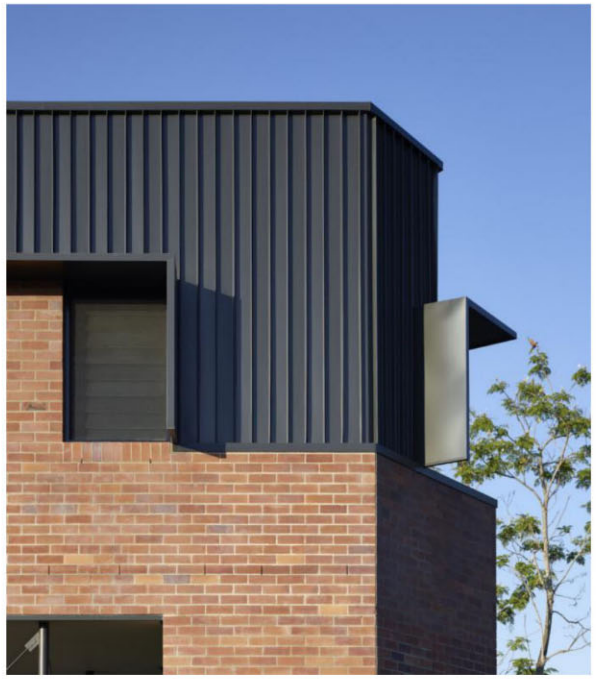
0 3 6 9 M

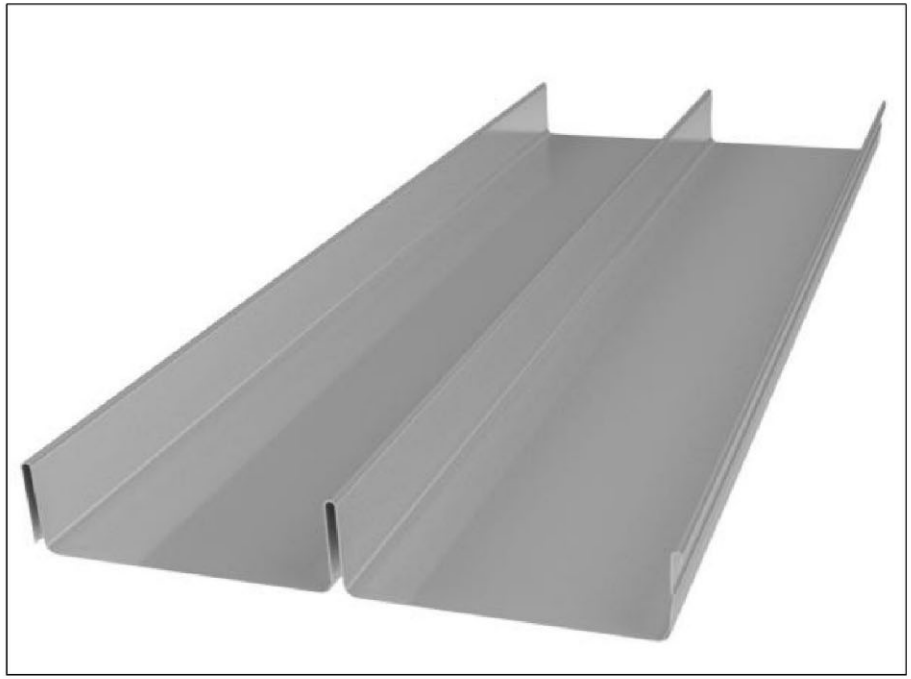
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	MATERIALS & FINISHES SCHEDULE
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:150@A3 ; 1:75 @A4
DRAWN BY	[CL/HC]

DA 603

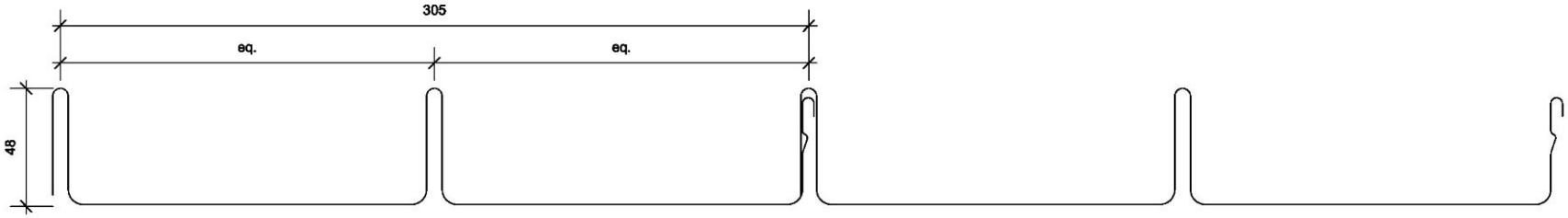
ISSUE **E**





VISUAL EXAMPLES - STANDING SEAM DETAILING
300 MM WIDE PANELS, 150 MM PROFILE
COLORBOND STEEL - WINDSPRAY GREY
THE PROPOSAL SEEKS TO IMPLIMENT THE COLOUR SHOWN IN IMAGE 1
IN A HORIZONTAL LINEAR FASHION AS SHOWN IN IMAGE 2

FOR COLOUR SAMPLE & REFLECTIVE INDEX,
REFER TO PHYSICAL MATERIALS PANEL



PROPOSED STANDING SEAM STEEL PROFILE - SCALE 1:2 @ A3, 1:1 @ A1

0 50 100 150 200 250 mm

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

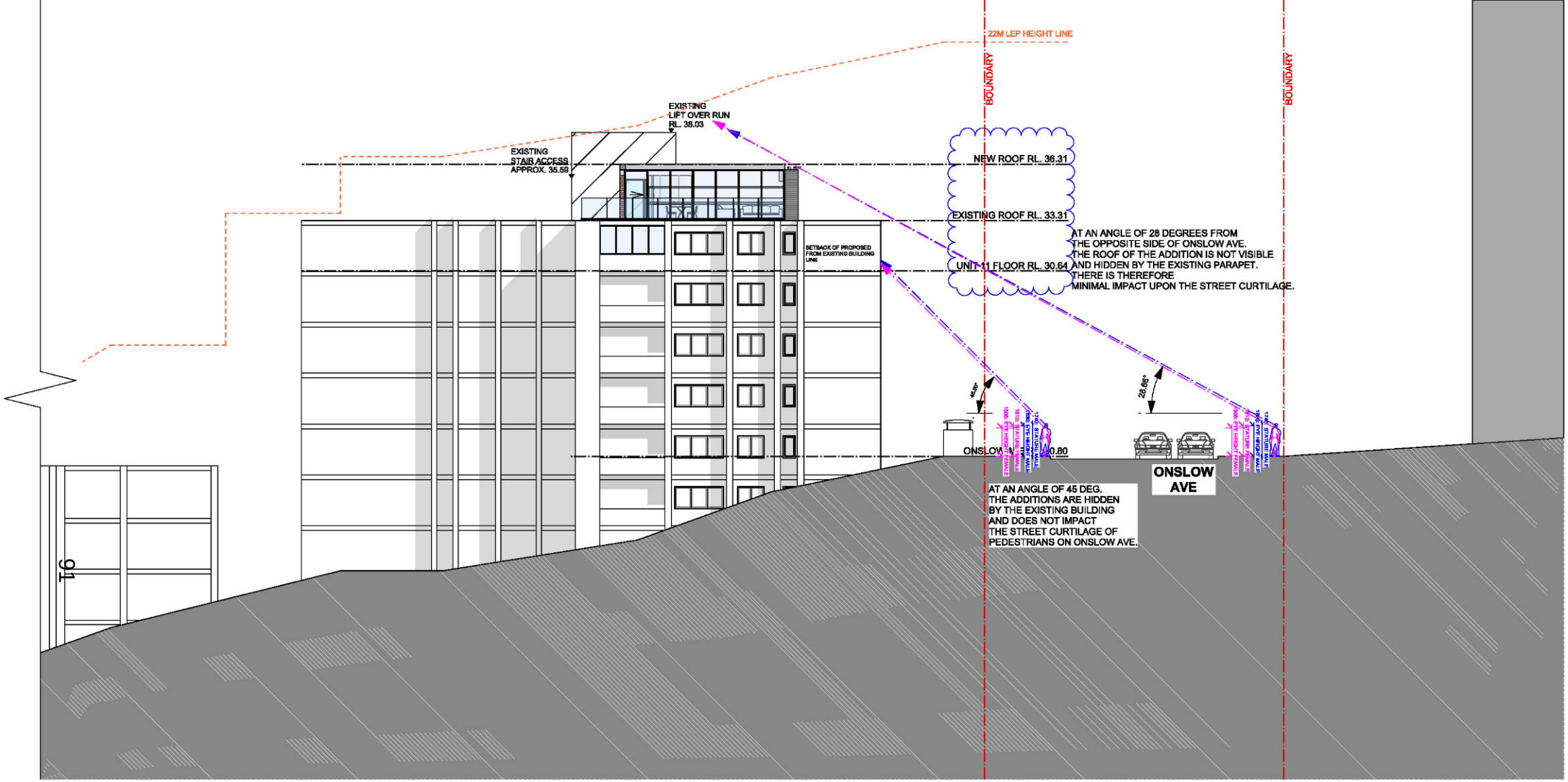
- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

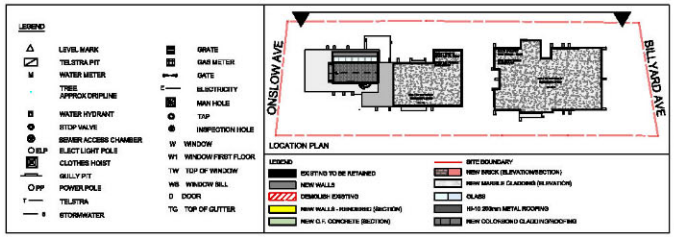
TITLE	MATERIALS & FINISHES - CLADDING DETAIL
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:2 @ A3; 1:1 @A1
DRAWN BY	[CL/HC]

DA 604

ISSUE E



VIEW ANALYSIS DRAWING - NORTHERN ELEVATION (ONSLOW AVE)



THE HEIGHT AND EYE LEVEL ANGLES FOR THIS DIAGRAM ARE IN ACCORDANCE WITH THE QUANTITATIVE DATA FOR THE 50TH PERCENTILE OF THE POPULATION TAKEN FROM *SAA HB59-1994 (RECONFIRMED 2016) STANDARDS FOR ERGONOMICS - THE HUMAN FACTOR: A PRACTICAL APPROACH TO WORK SYSTEMS DESIGN*

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

- Drawings are to be read in conjunction with other consultants drawings and reports.
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

TN MN

0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	VIEW ANALYSIS - STREET CURTILAGE
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA 701

ISSUE **E**