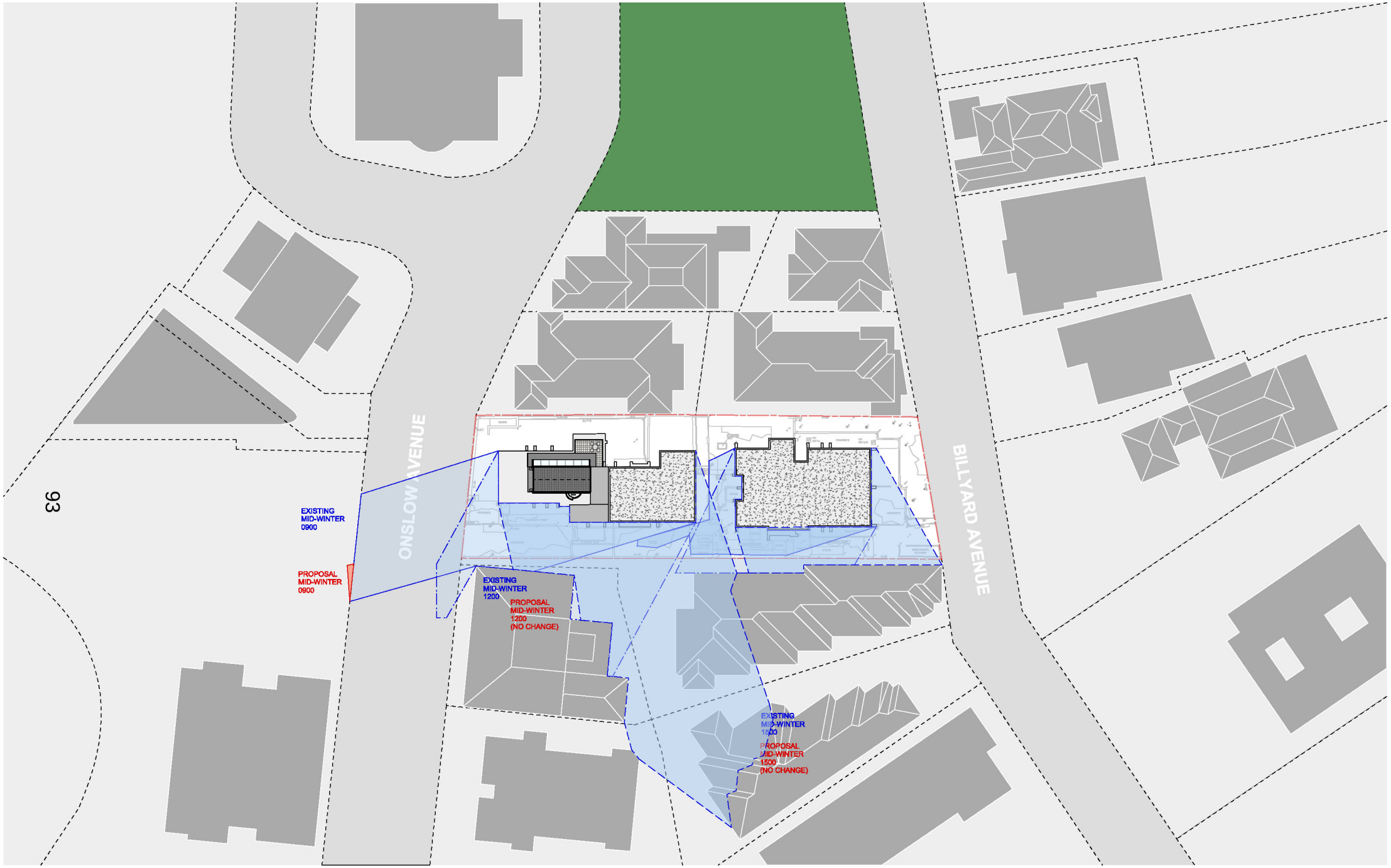
Attachment C

Shadow Study



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983

156A CHURCH STREET
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PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

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TN MN

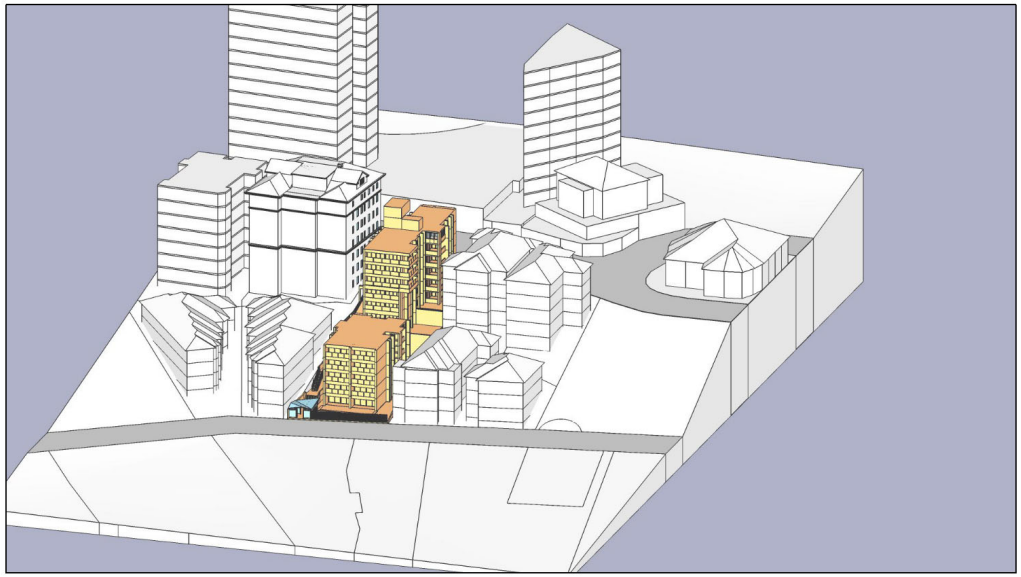
0 10 15 20 25 30 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

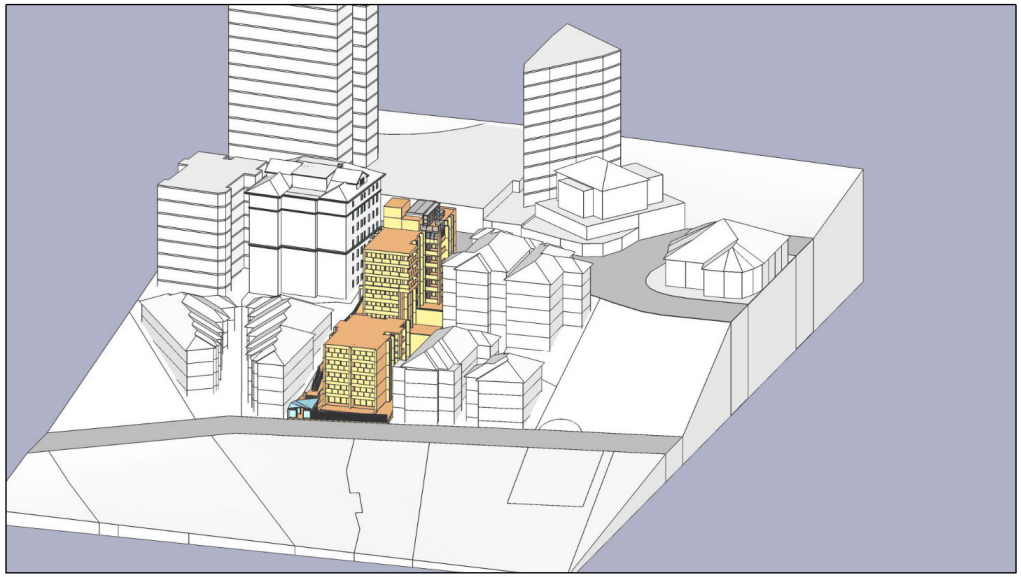
TITLE	MID-WINTER SHADOW
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:500 @A3, 1:250@A1
DRAWN BY	[CL/HC]

DA 801

ISSUE E



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 09:00 AM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 09:00 AM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
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email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
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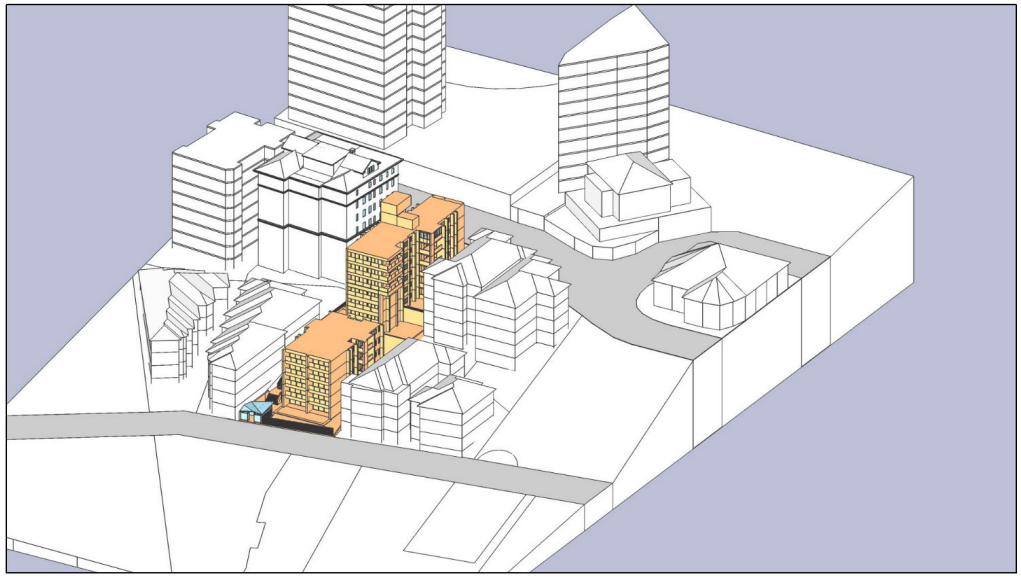
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

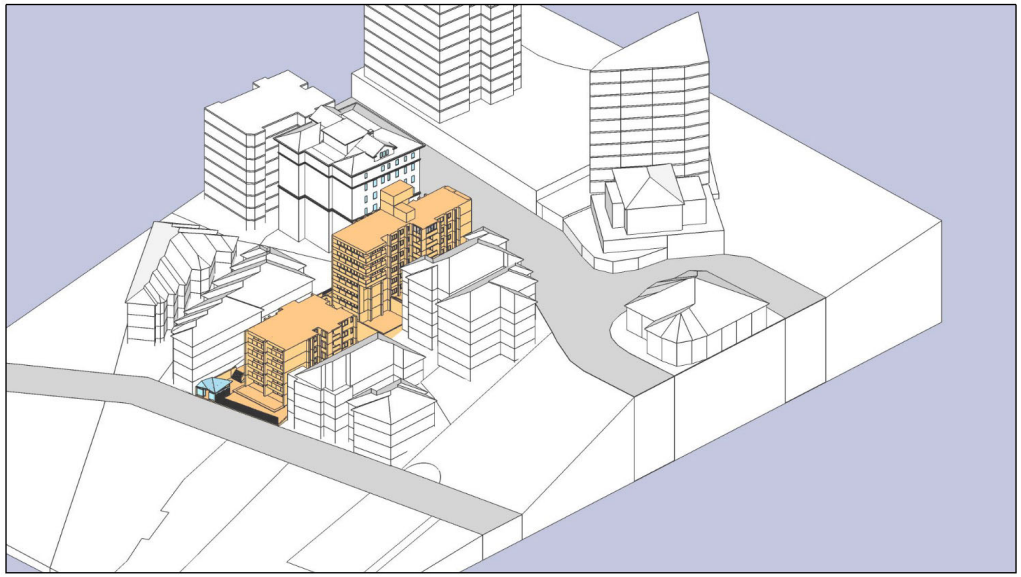
TITLE	VIEW FROM THE SUN - MID-WINTER | 09:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 802

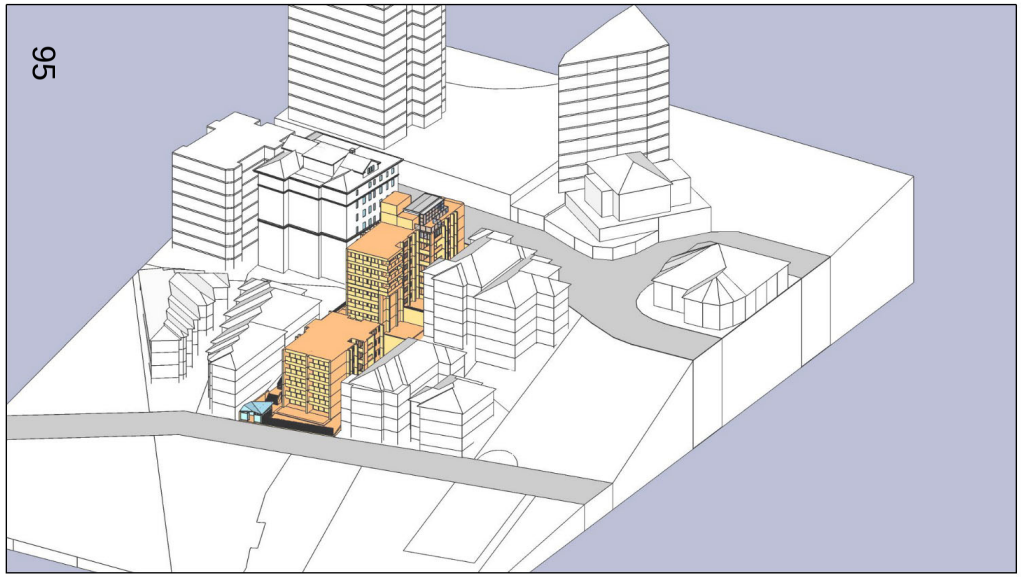
ISSUE E



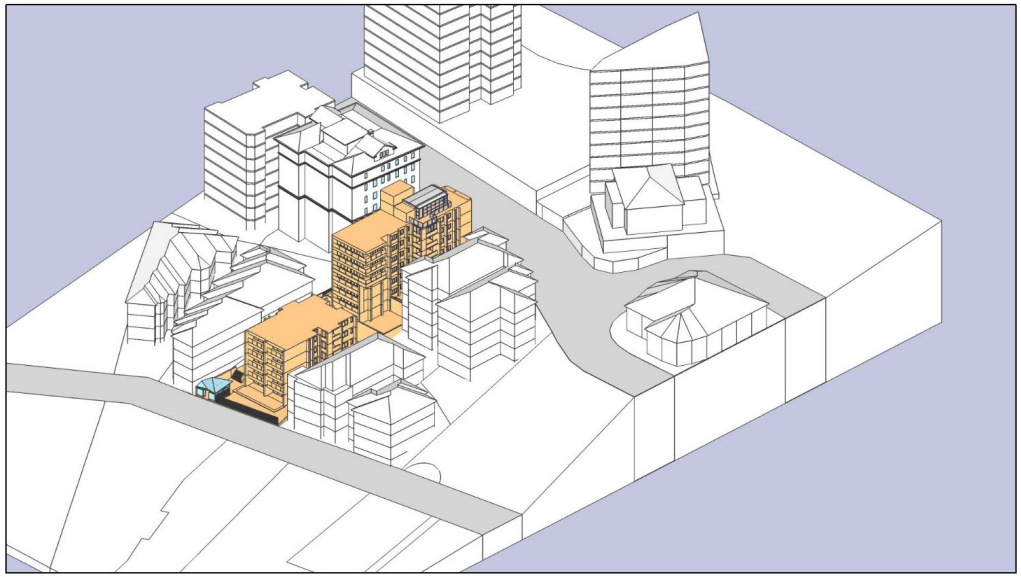
VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 10:00 AM



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 11:00 AM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 10:00 AM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 11:00 AM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

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Norminated Architect: Peter J Lonergan
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email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
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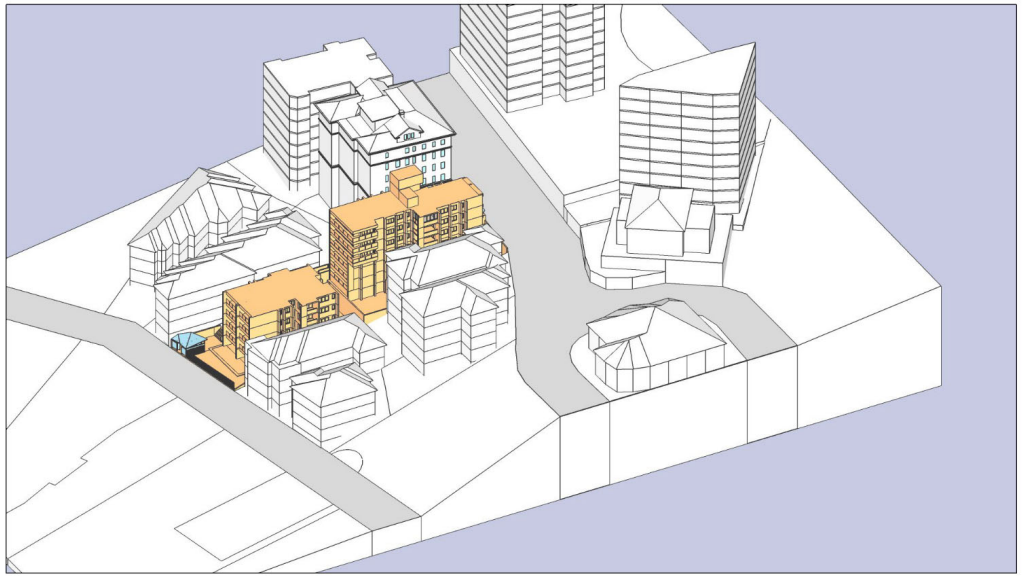
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

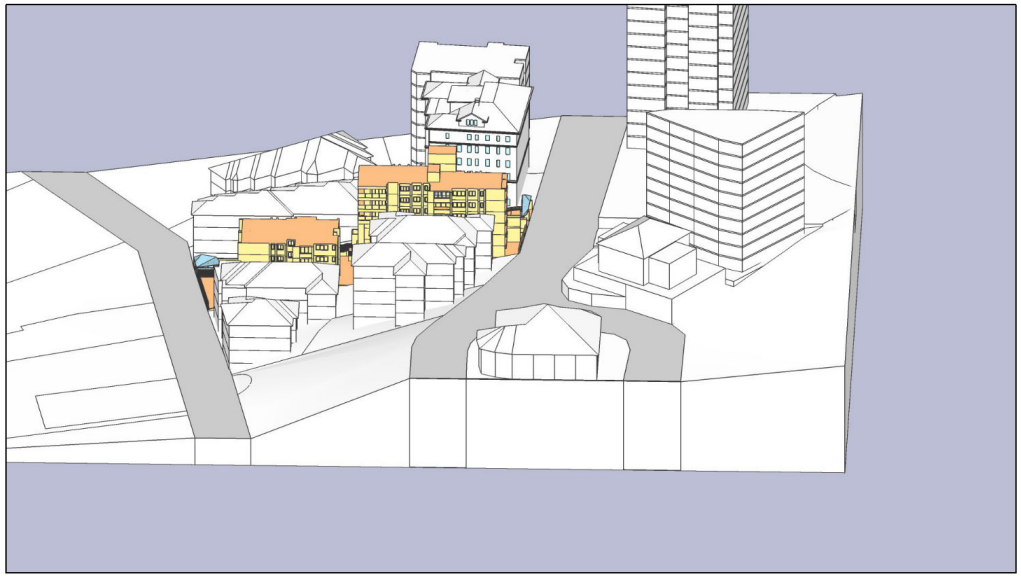
TITLE	VIEW FROM THE SUN - MID-WINTER | 10:00 & 11:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 803

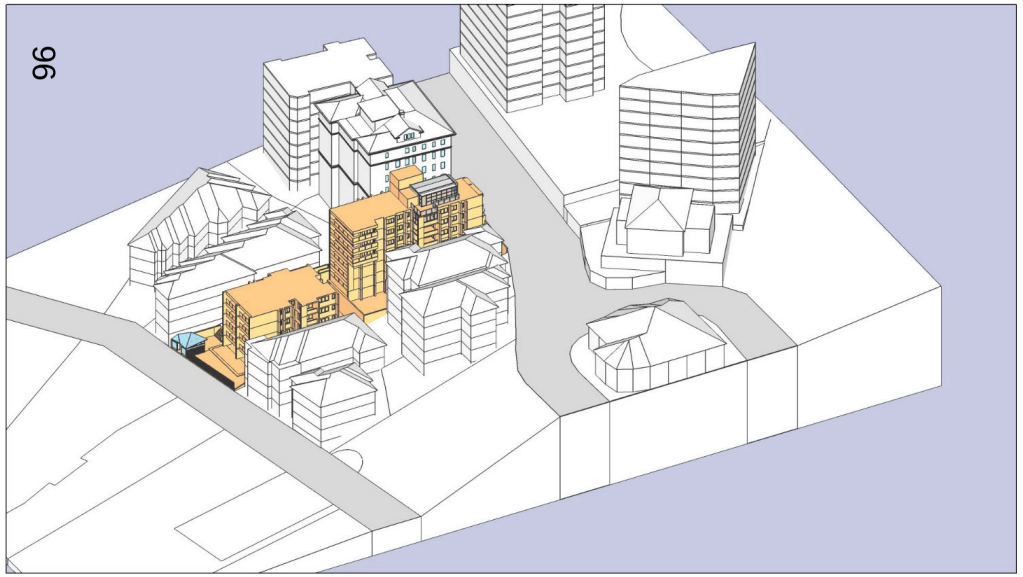
ISSUE E



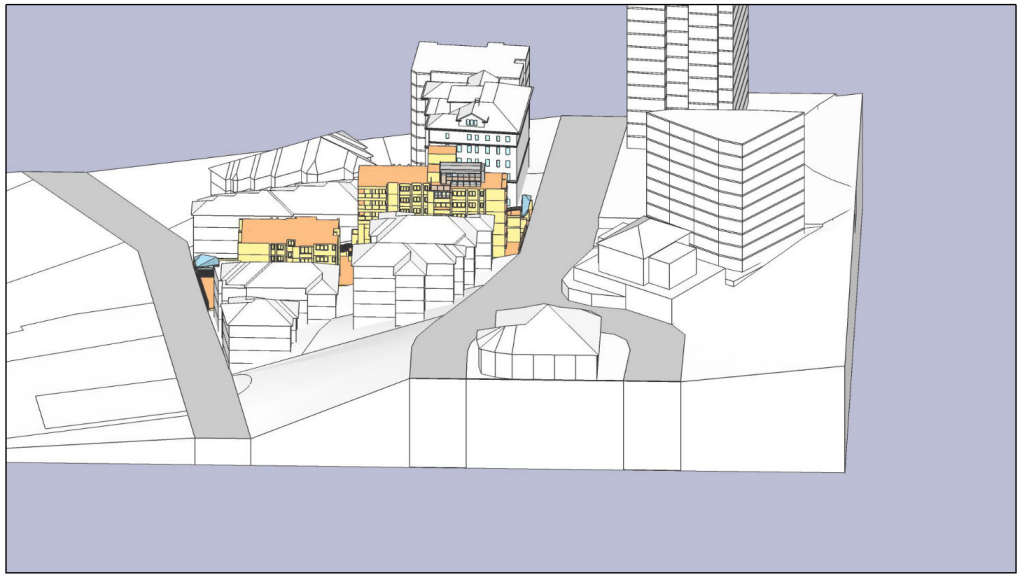
VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 12:00 NOON



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 01:00 PM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 12:00 NOON



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 01:00 PM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

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BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
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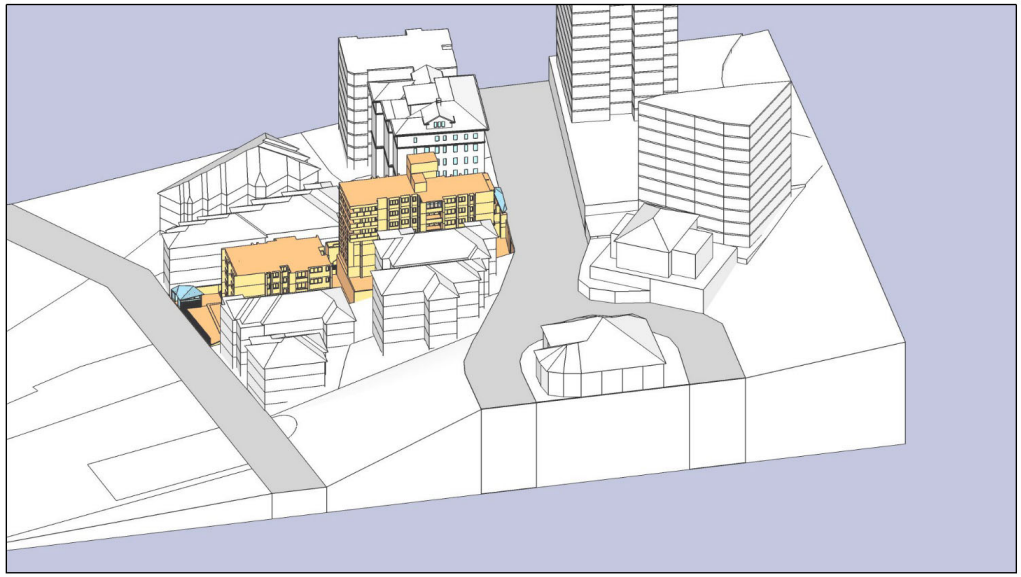
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

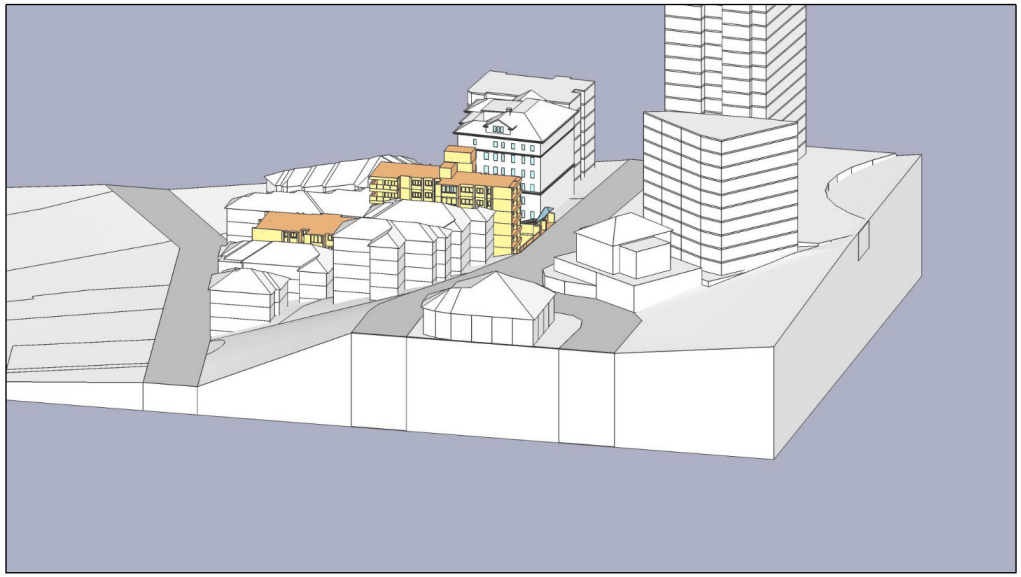
TITLE	VIEW FROM THE SUN - MID-WINTER | 12:00 & 13:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 804

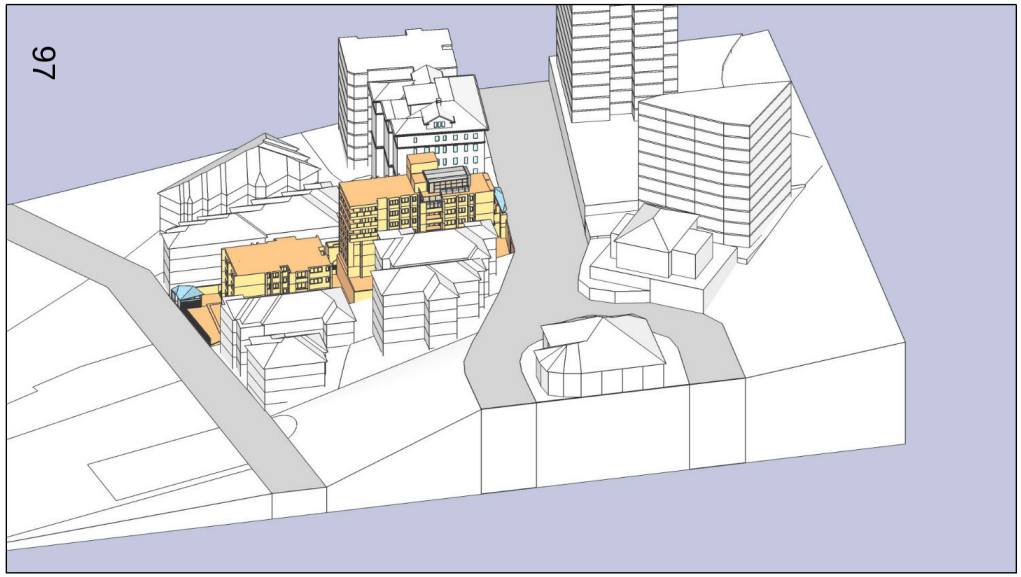
ISSUE E



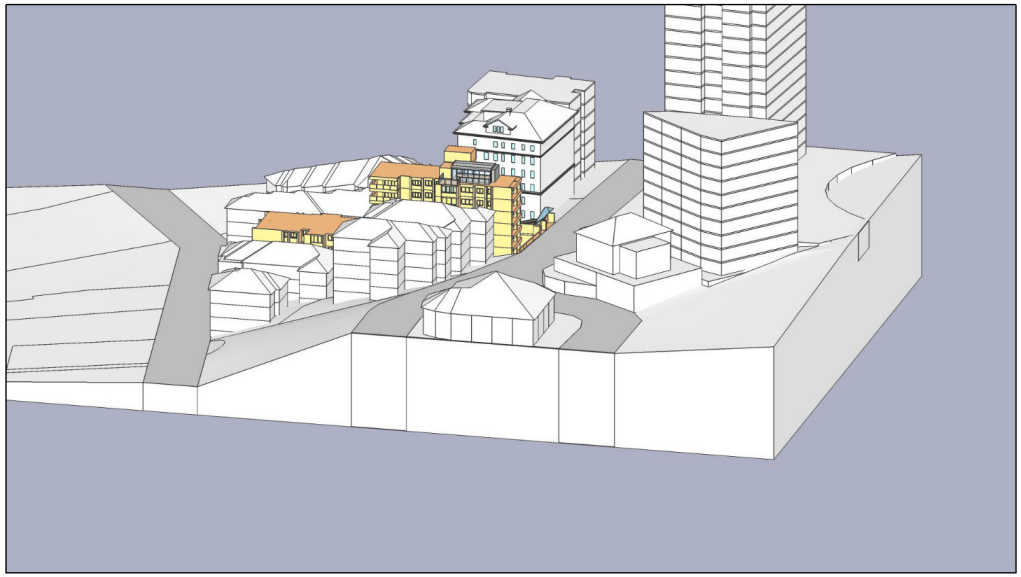
VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 02:00 PM



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 03:00 PM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 02:00 PM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 03:00 PM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
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156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

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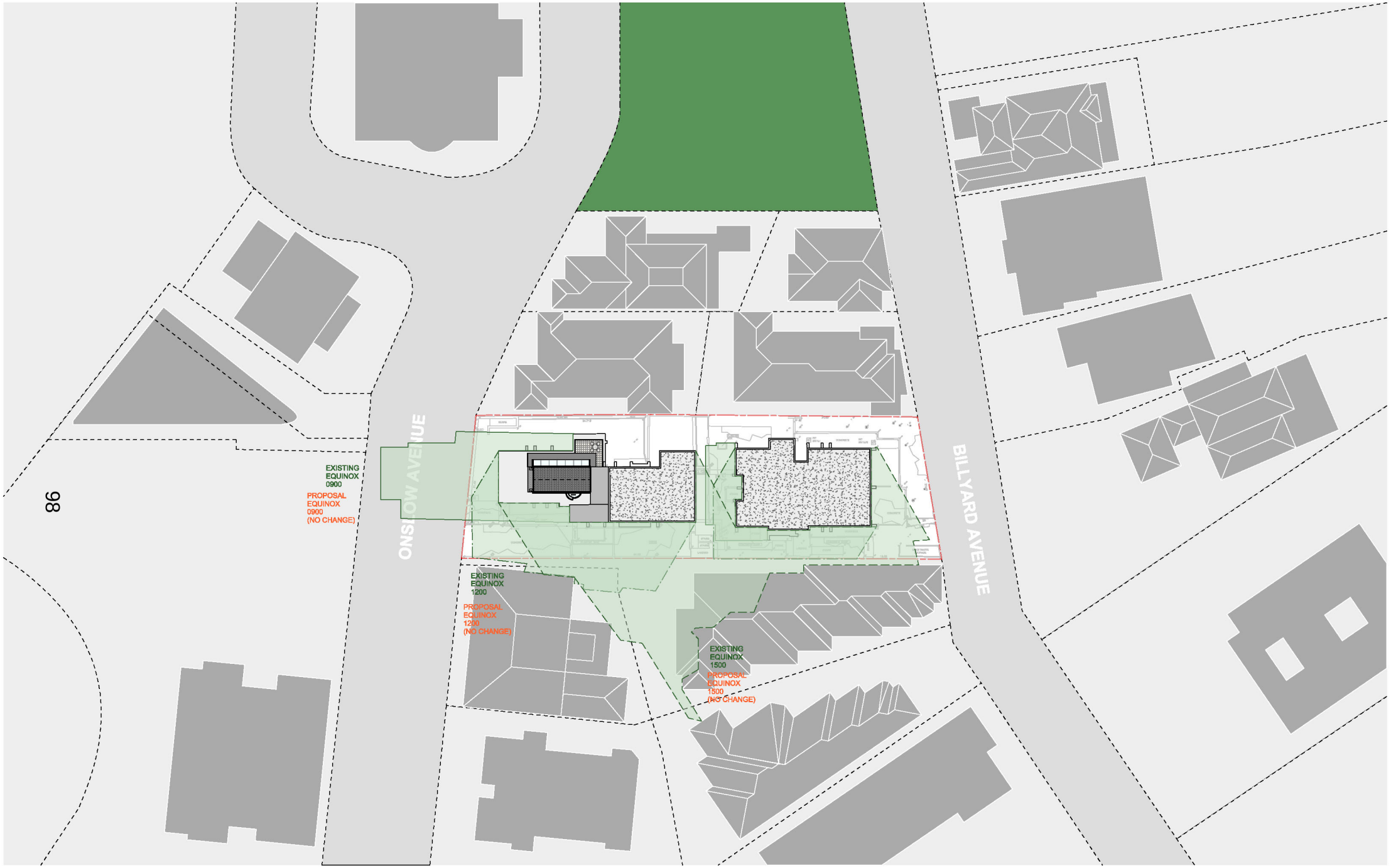
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	VIEW FROM THE SUN - MID-WINTER | 14:00 & 15:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 805

ISSUE E



ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
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NE-03	external louvre/blind (adjustable)

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TN MN

0 10 15 20 25 30 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	EQUINOX SHADOWS
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:500 @A3, 1:250@A1
DRAWN BY	[CL/HC]

DA 901

ISSUE E

VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 09:00 AM

VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 09:00 AM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

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Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
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NEWTOWN NSW 2042
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email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
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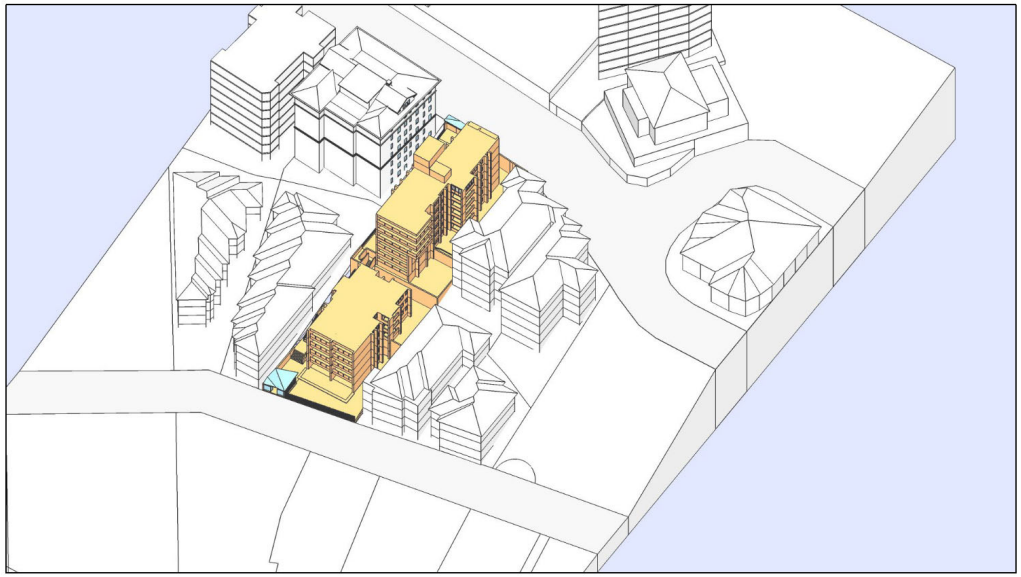
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	VIEW FROM THE SUN - EQUINOX | 09:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 902

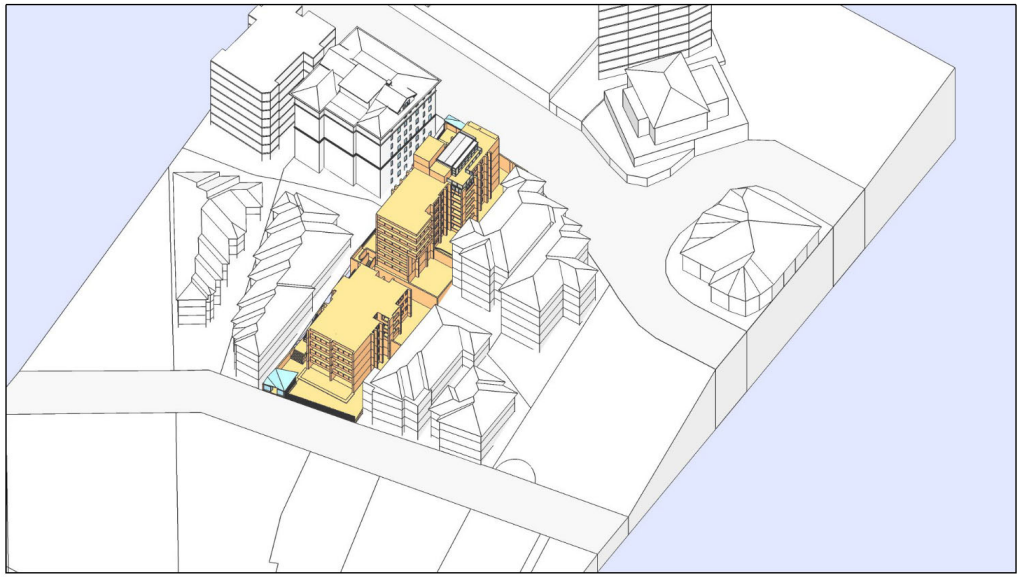
ISSUE E

VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 10:00 AM



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 11:00 AM

VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 10:00 AM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 11:00 AM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
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156A CHURCH STREET
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email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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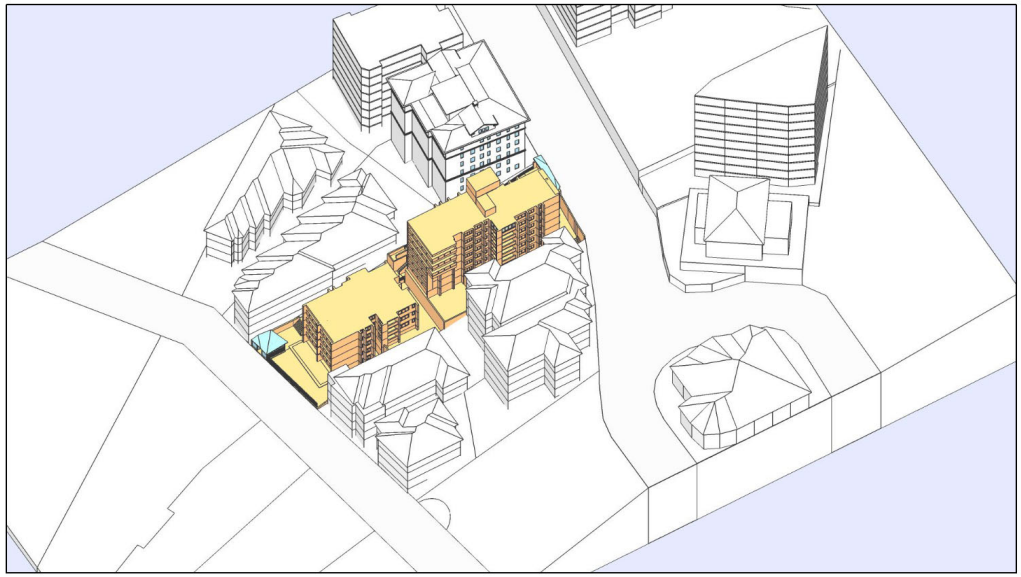
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

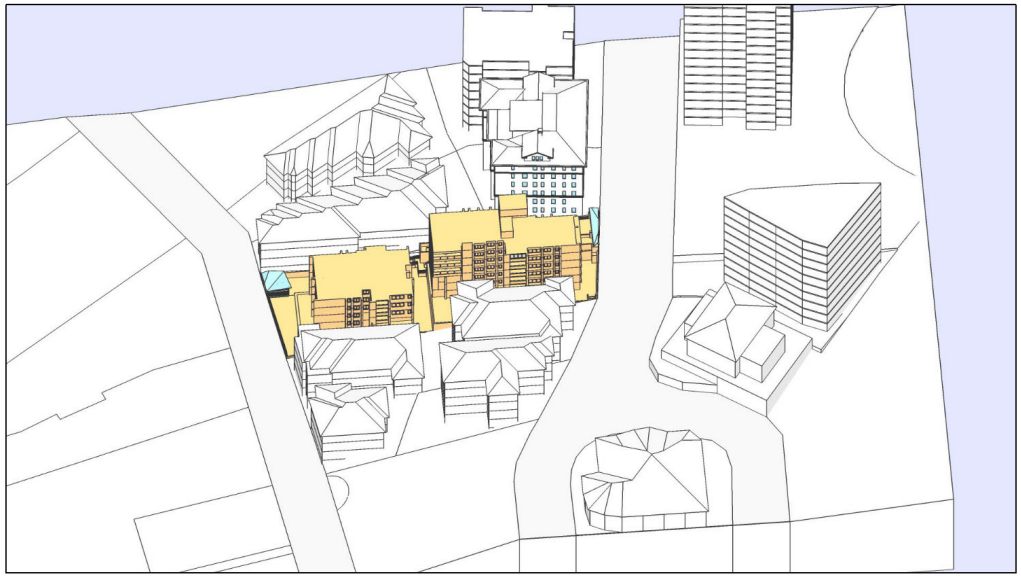
TITLE	VIEW FROM THE SUN - EQUINOX | 10:00 & 11:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 903

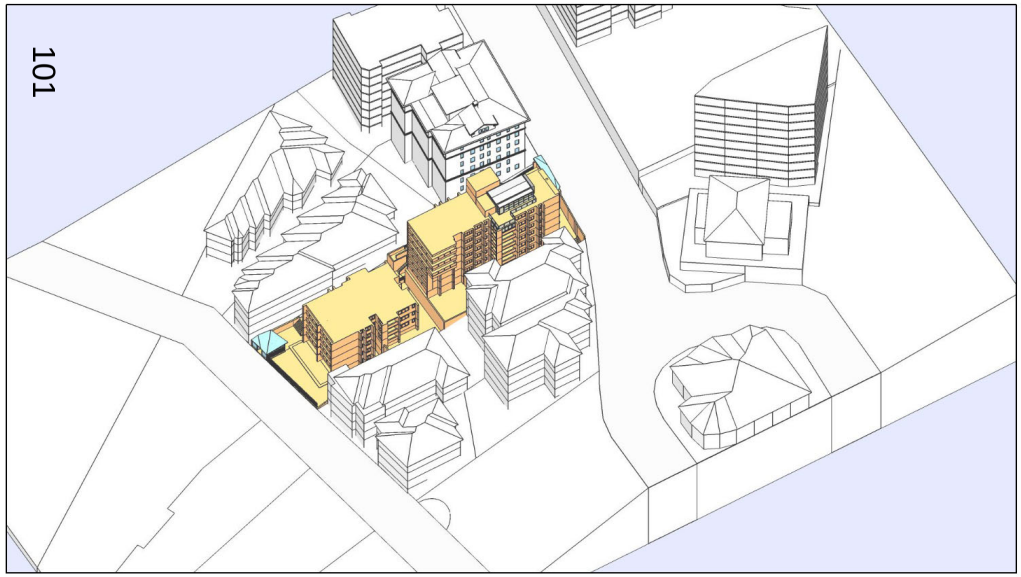
ISSUE E



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 12:00 NOON



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 01:00 PM



101

VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 12:00 NOON

VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 01:00 PM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

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BASIX / NATHERS CERTIFICATION

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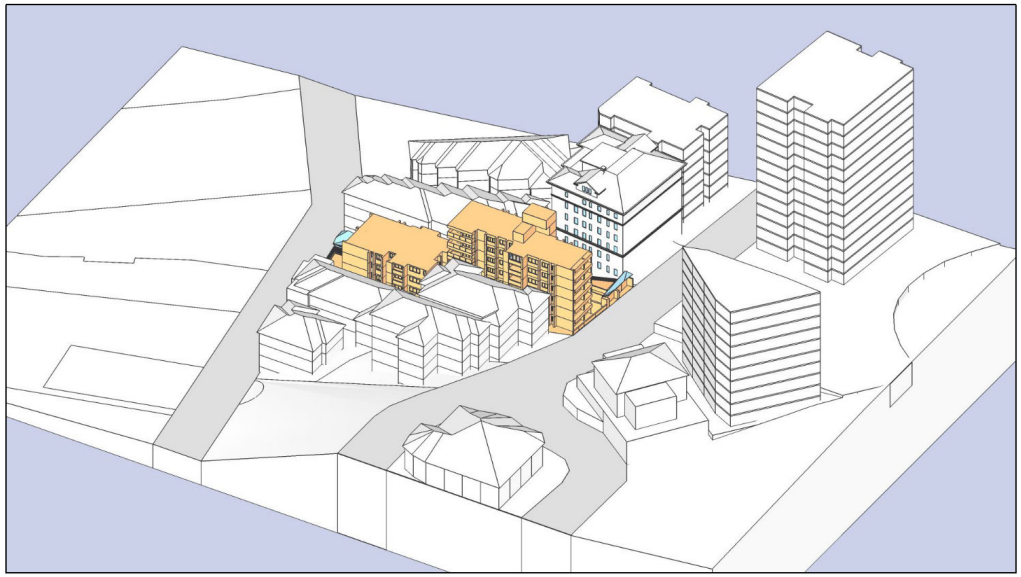
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	VIEW FROM THE SUN - EQUINOX | 12:00 & 13:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

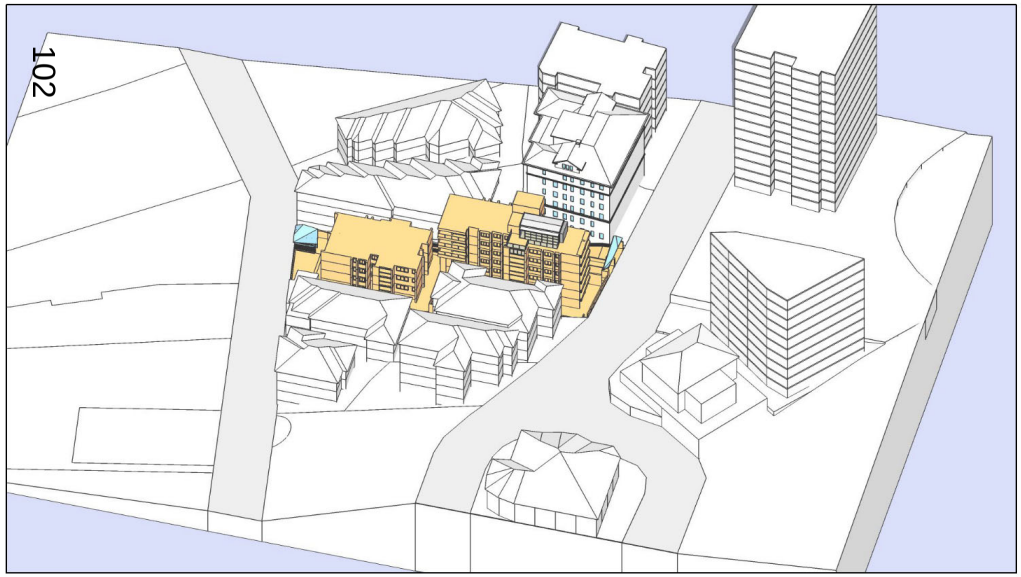
DA 904

ISSUE E

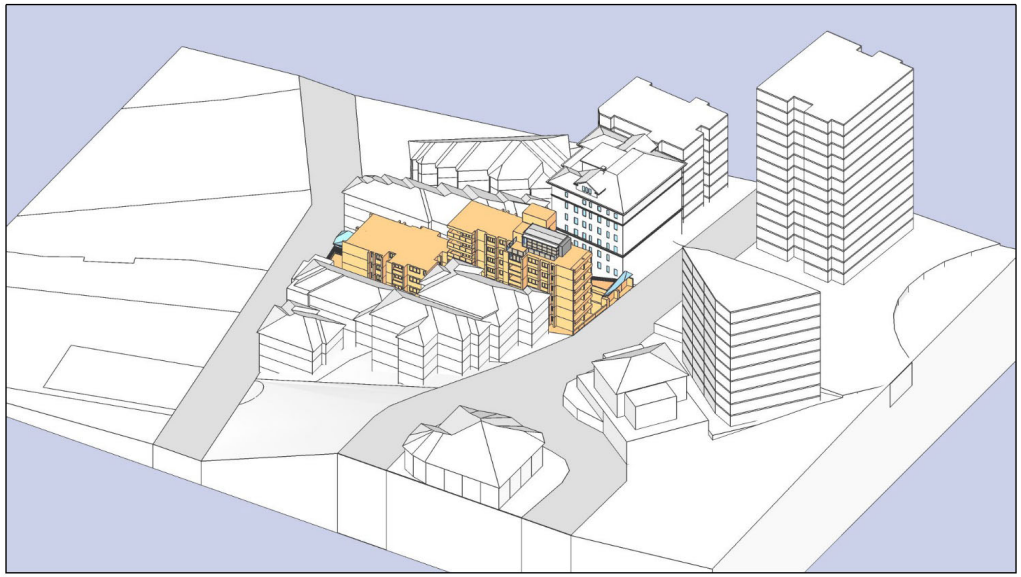
VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 02:00 PM



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 03:00 PM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 02:00 PM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 03:00 PM

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
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email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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NE-03	external louvre/blind (adjustable)

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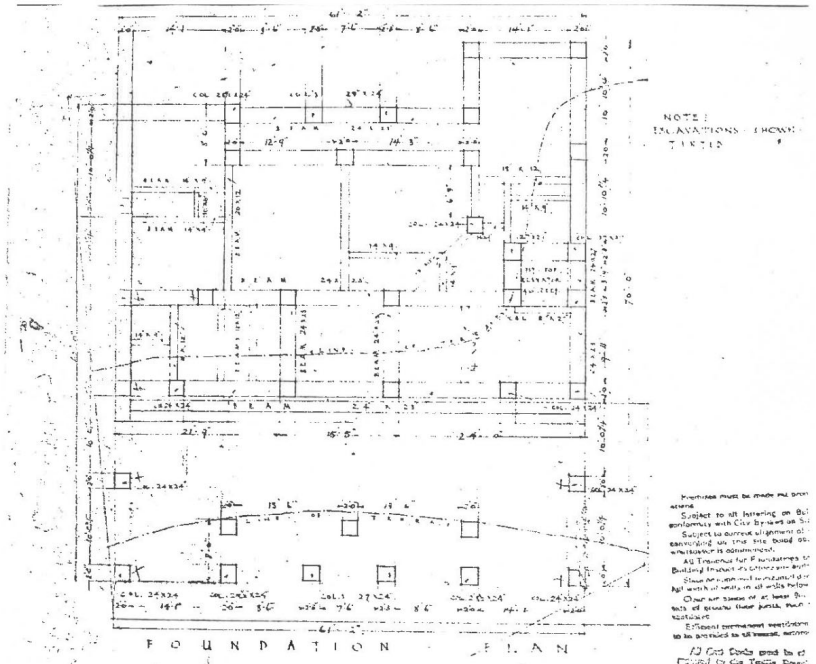
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

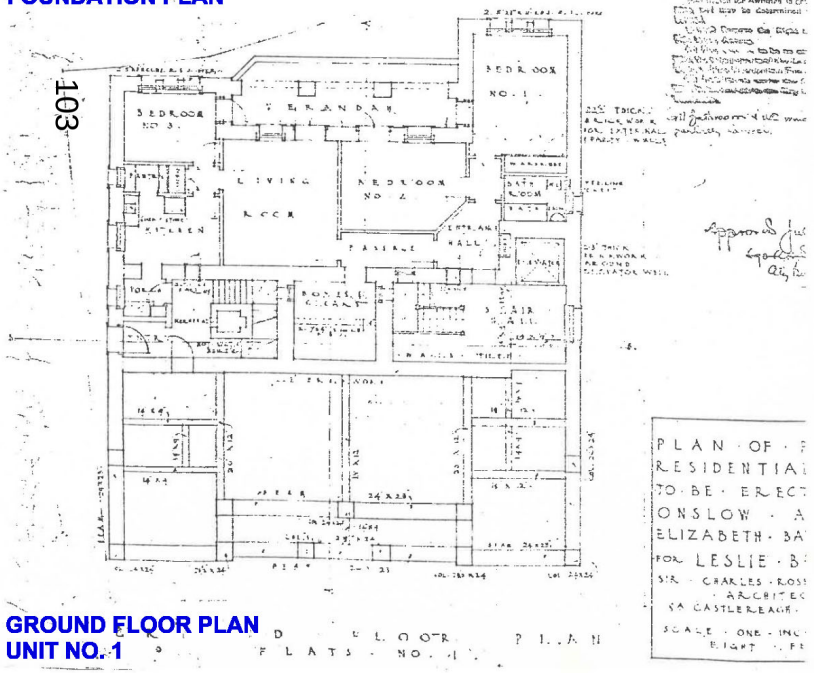
TITLE	VIEW FROM THE SUN - EQUINOX | 14:00 & 15:00
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE
DRAWN BY	[CL/HC]

DA 905

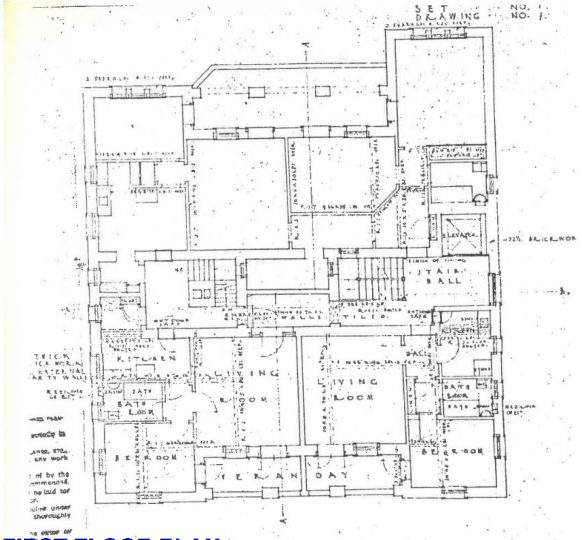
ISSUE E



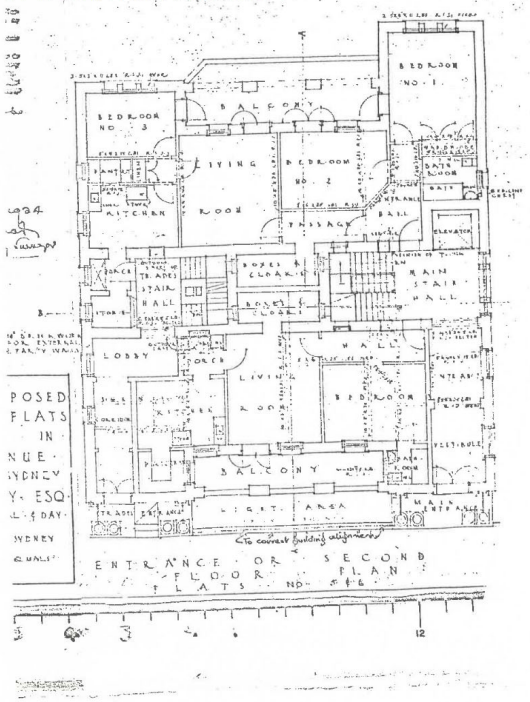
FOUNDATION PLAN



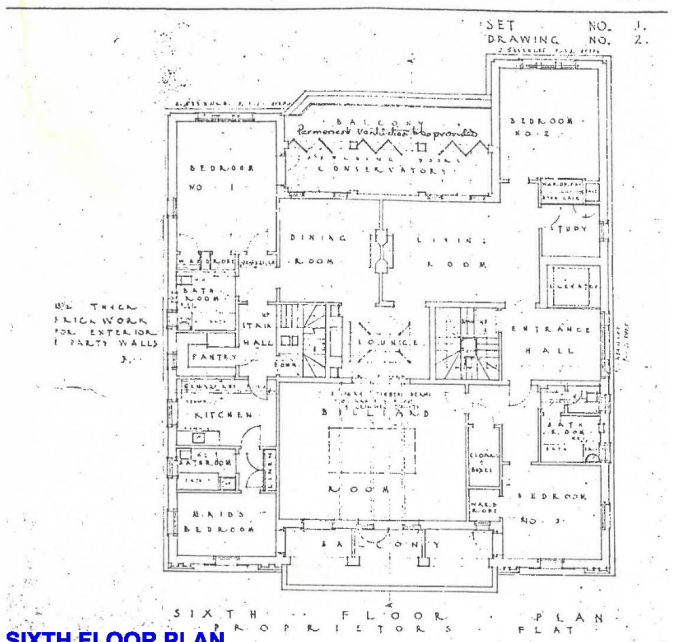
GROUND FLOOR PLAN
UNIT NO. 1



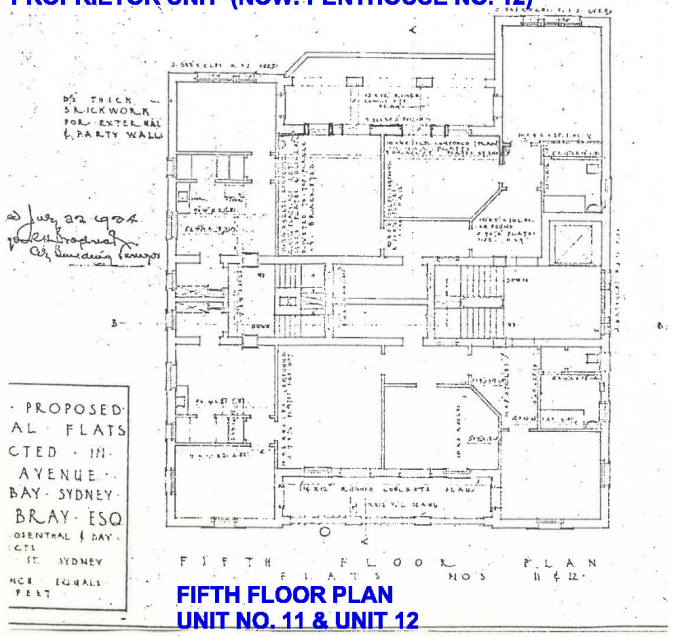
FIRST FLOOR PLAN
UNIT NO. 2, NO. 3 AND NO. 4



SECOND FLOOR PLAN
UNIT NO. 2, NO. 3 AND NO. 4



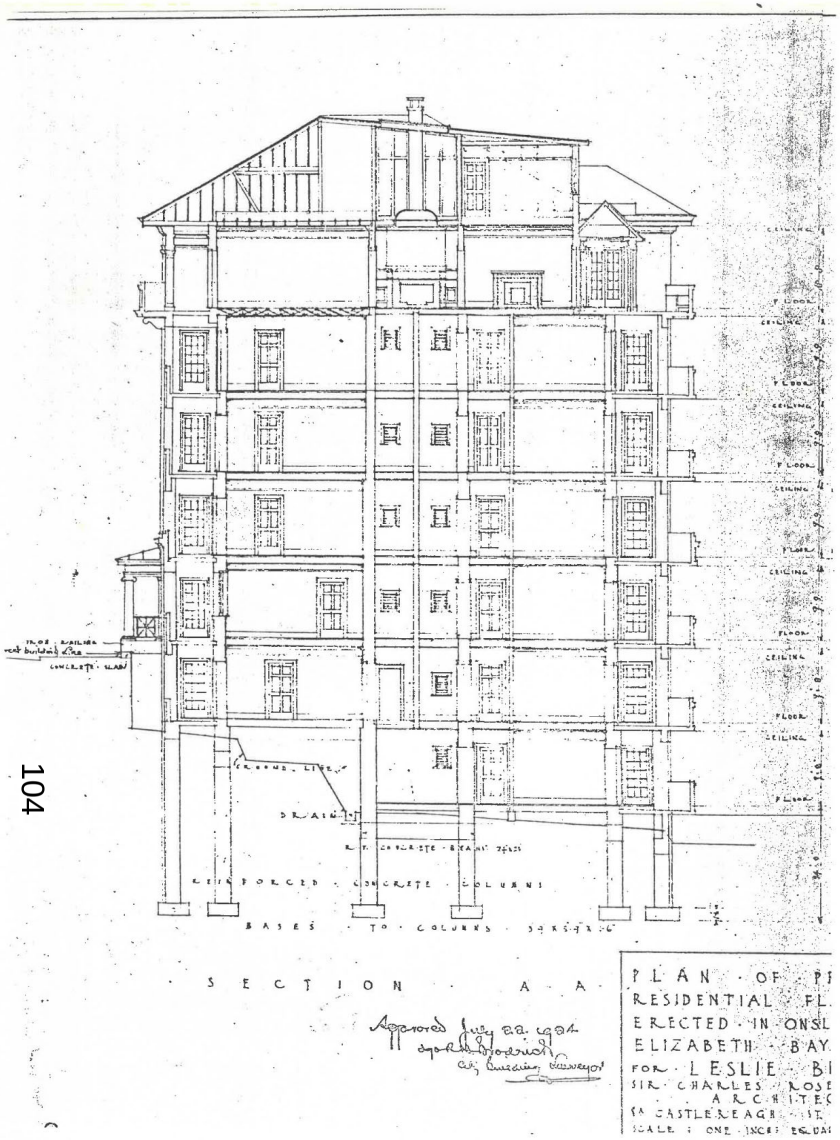
SIXTH FLOOR PLAN
'PROPRIETOR UNIT' (NOW: PENTHOUSE NO. 12)

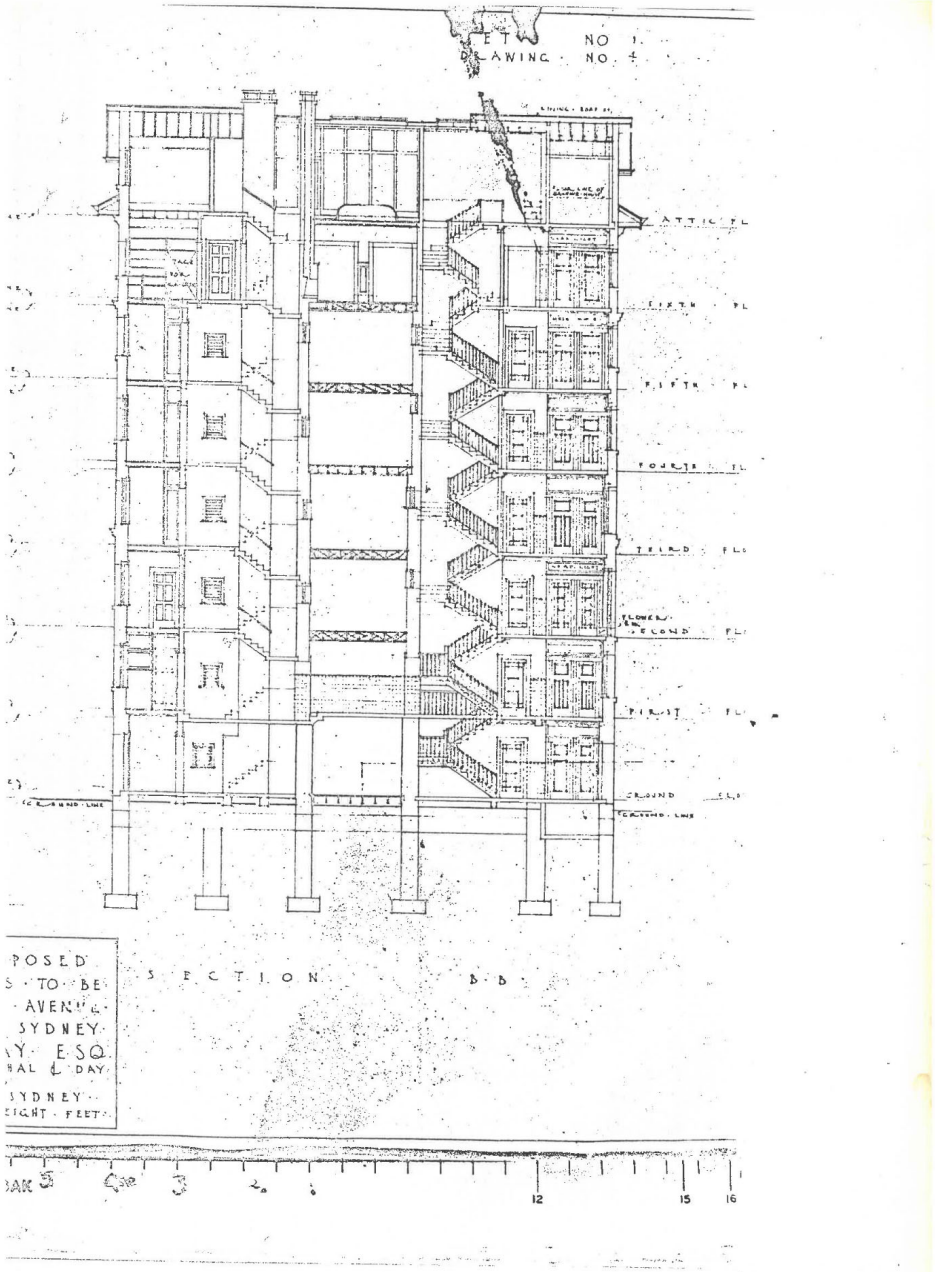


FIFTH FLOOR PLAN
UNIT NO. 11 & UNIT 12

ARCHITECT	BASIX / NATHERS CERTIFICATION	NOTES	DATE	REVISION		
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Norminated Architect: Peter J Lonergan NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknelllonergan.com.au	SW-01 external louvre/blind (adjustable) NW-02 external louvre/blind (adjustable) NE-03 external louvre/blind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants drawings and reports. - All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	TITLE	ARCHIVAL REFERENCE DRAWINGS (NO. 12 ONSLOW)
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
			06/05/2020	DA-D AMENDMENTS BASED ON MODEL	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	STAGE	DEVELOPMENT APPLICATION
					CLIENT	MR. PATRICK LANE
					SCALE	NOT TO SCALE
					DRAWN BY	[CL/HC]

DA
ES001
ISSUE
E

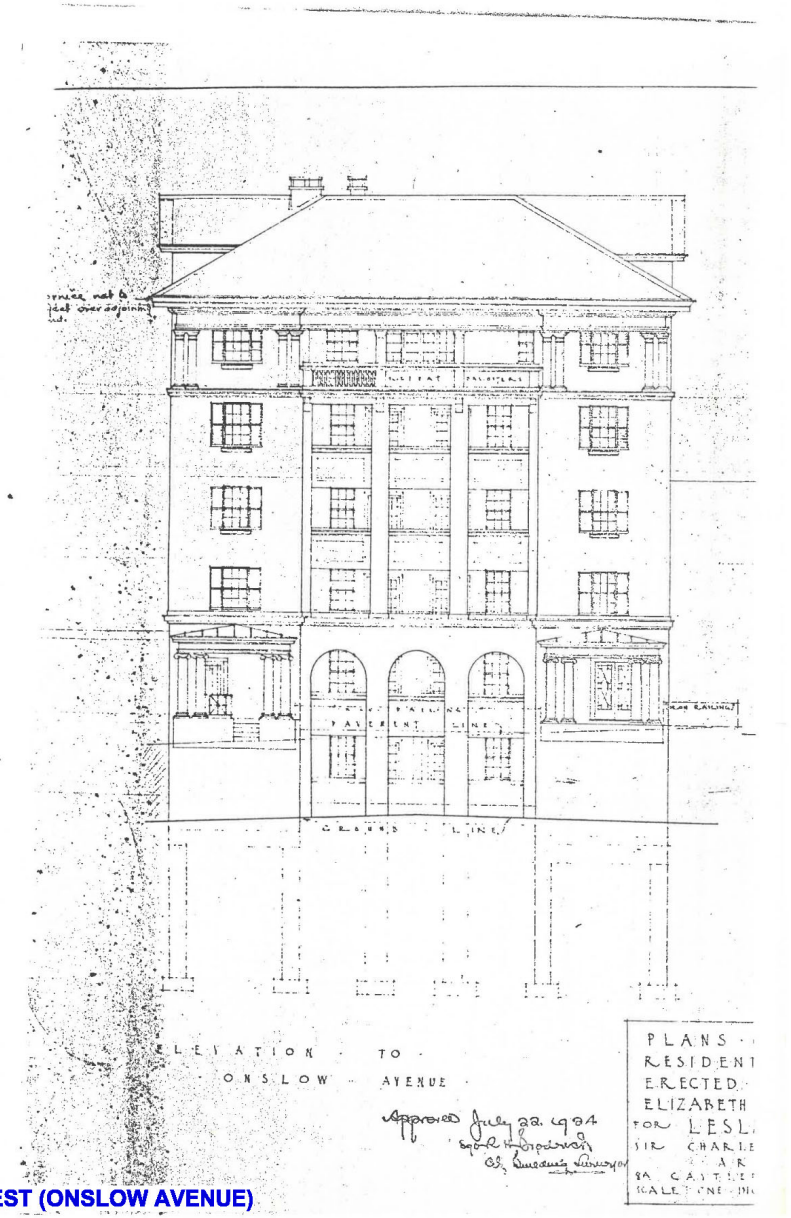




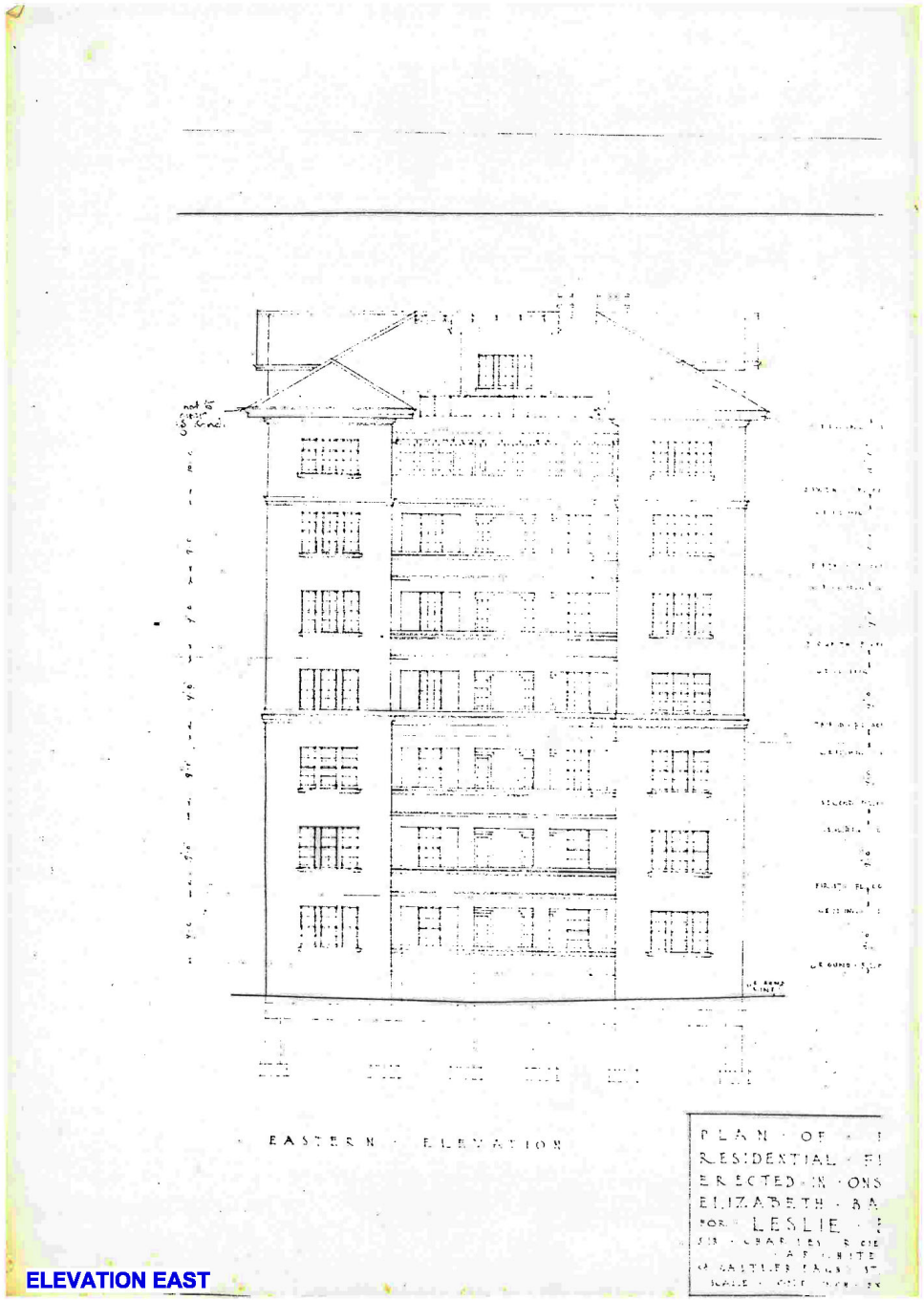
SECTION A-A

SECTION B-B

ARCHITECT	BASIX / NATHERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	ARCHIVAL REFERENCE DRAWINGS (NO. 12 ONSLOW)	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Norminated Architect: Peter J Lonergan NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknelllonergan.com.au	SW-01 external louvre/blind (adjustable) NW-02 external louvre/blind (adjustable) NE-03 external louvre/blind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants drawings and reports. - All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	ES002
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	
			06/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	ISSUE
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	E
					SCALE	NOT TO SCALE	DRAWN BY [CL/HC]



ELEVATION WEST (ONSLOW AVENUE)



ELEVATION EAST

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
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DATE	REVISION
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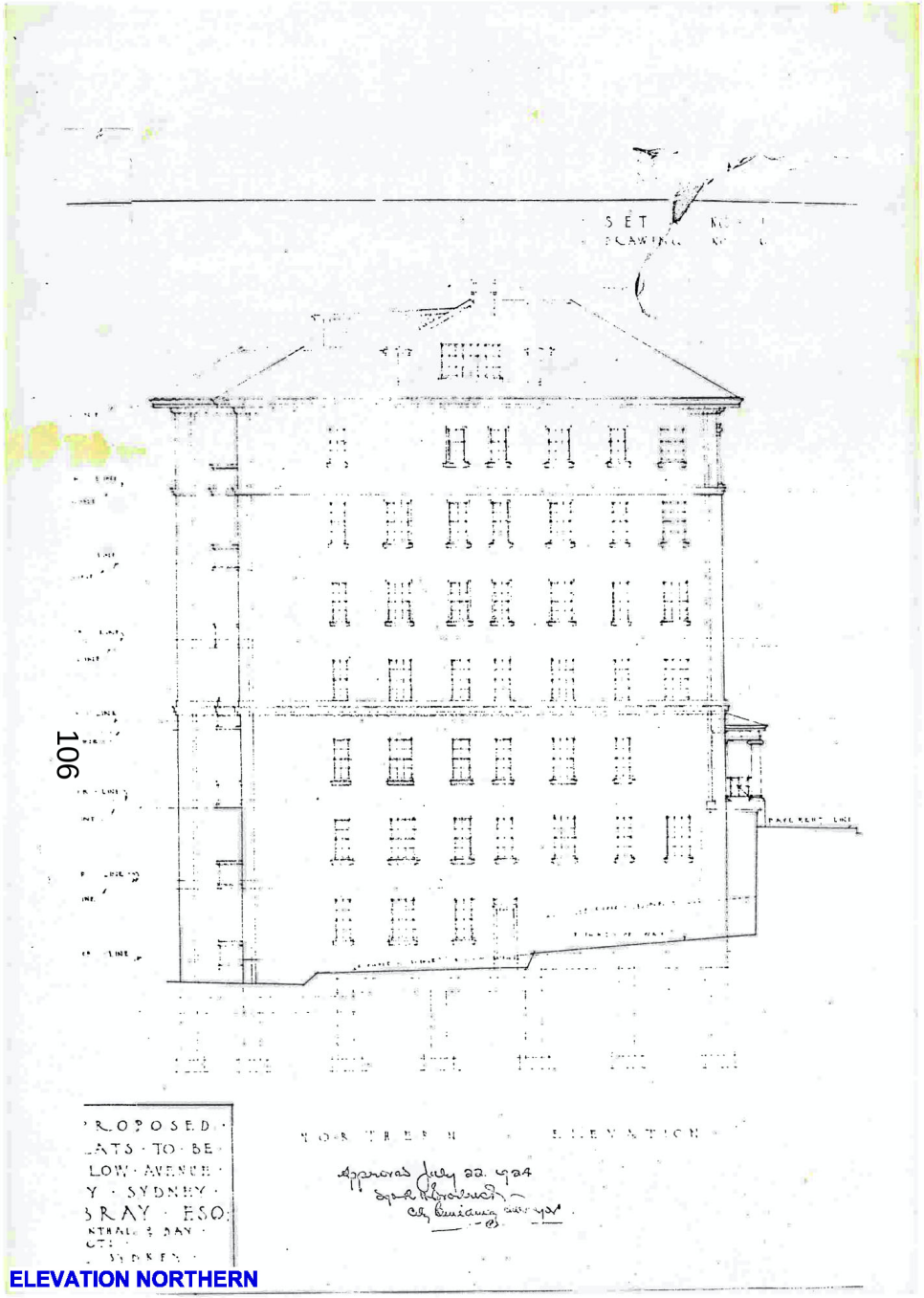
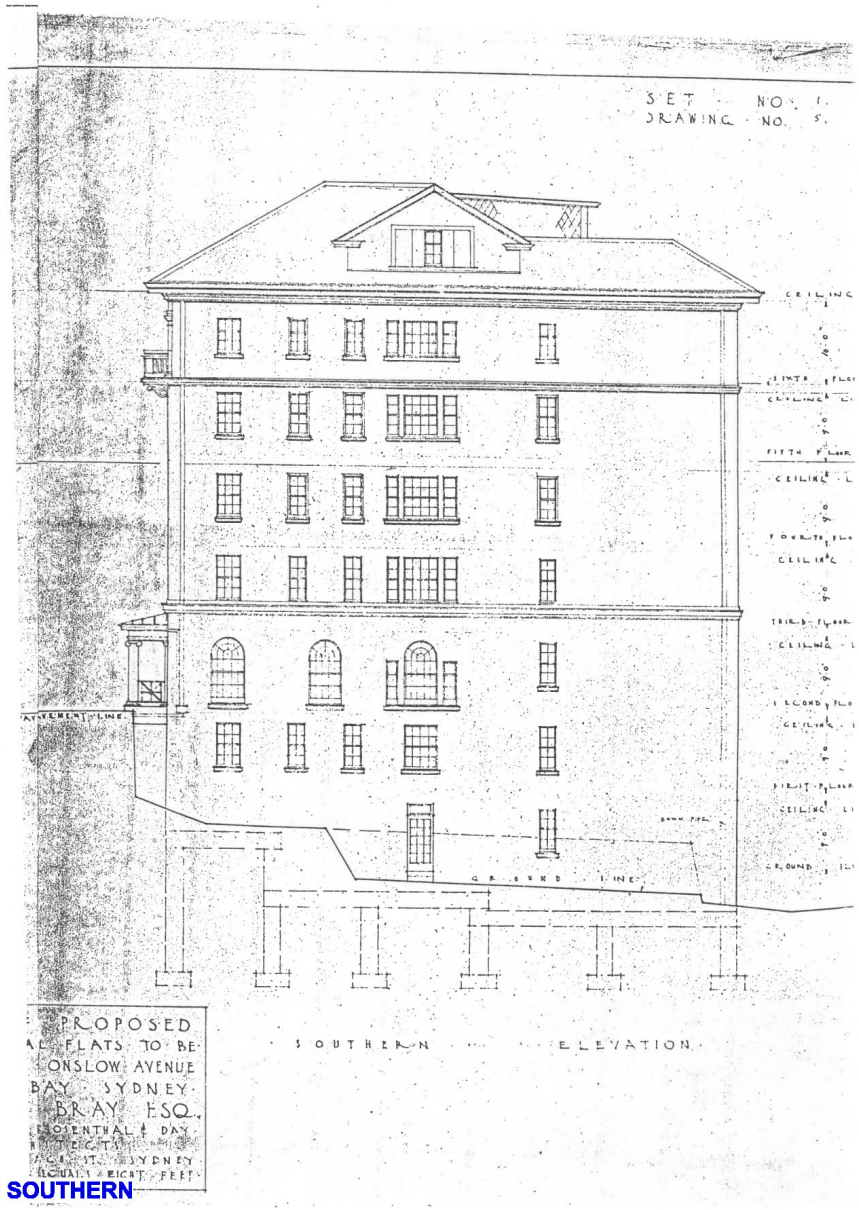
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ARCHIVAL REFERENCE DRAWINGS (NO. 12 ONSLOW)
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	NOT TO SCALE
DRAWN BY	[CL/HC]

DA
ES003
ISSUE
E



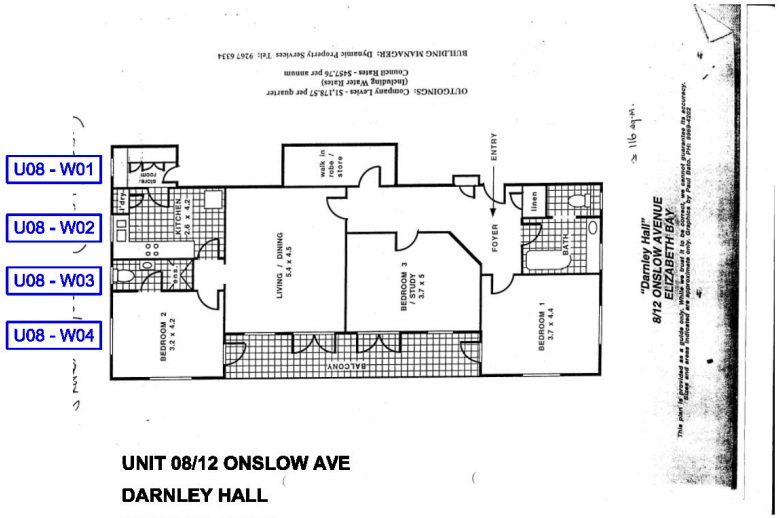
ELEVATION NORTHERN



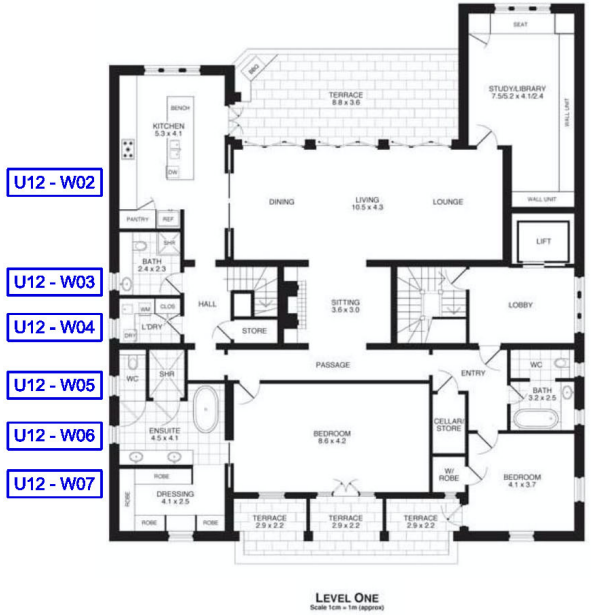
ELEVATION SOUTHERN

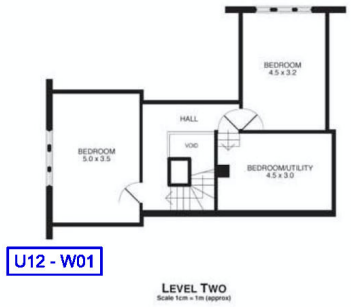
106

ARCHITECT	BASIX / NATHERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	ARCHIVAL REFERENCE DRAWINGS (NO. 12 ONSLOW)	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Norminated Architect: Peter J Lonergan NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknelllonergan.com.au	SW-01 external louvre/blind (adjustable) NW-02 external louvre/blind (adjustable) NE-03 external louvre/blind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants drawings and reports. - All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	ES004
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	
			06/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	ISSUE
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	E
					SCALE	NOT TO SCALE	DRAWN BY [CL/HC]



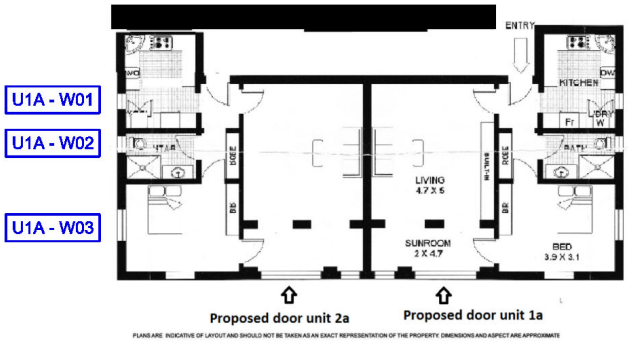
UNIT 08/12 ONSLOW AVE
DARNLEY HALL
SUPPLIED FROM:
REAL ESTATE MARKETING PLAN



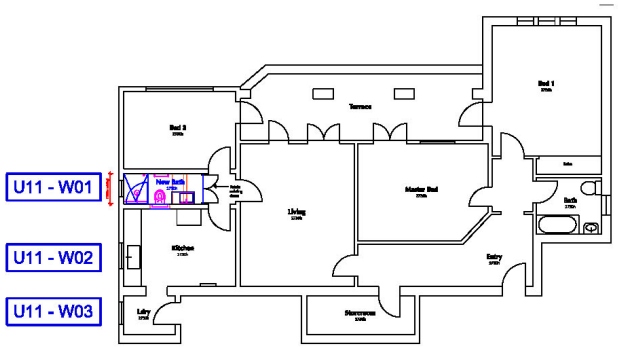


UNIT 12/12 ONSLOW AVE
DARNLEY HALL
SUPPLIED FROM:
REAL ESTATE MARKETING PLAN

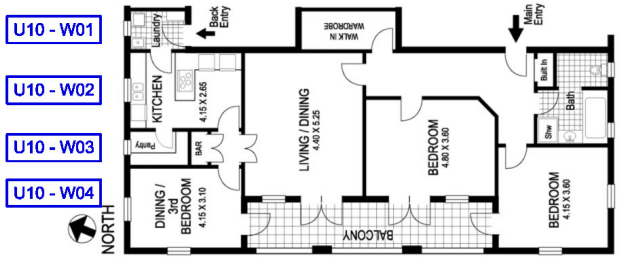
UNIT 1A/12 & UNIT 2A/12 ONSLOW AVE
DARNLEY HALL
SUPPLIED FROM:
REAL ESTATE MARKETING PLAN



Street and front of building



UNIT 11/12 ONSLOW AVE
DARNLEY HALL
SUPPLIED FROM:
CITY OF SYDNEY COUNCIL
ARCHIVES



UNIT 10/12 ONSLOW AVENUE
DARNLEY HALL
SUPPLIED FROM:
REAL ESTATE MARKETING PLAN

ARCHITECT
CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

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TN MN

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	NORTHERN ELEVATION - WINDOW IDENTIFICATION
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	
DRAWN BY	[CL/HC]

DA
ES005
ISSUE
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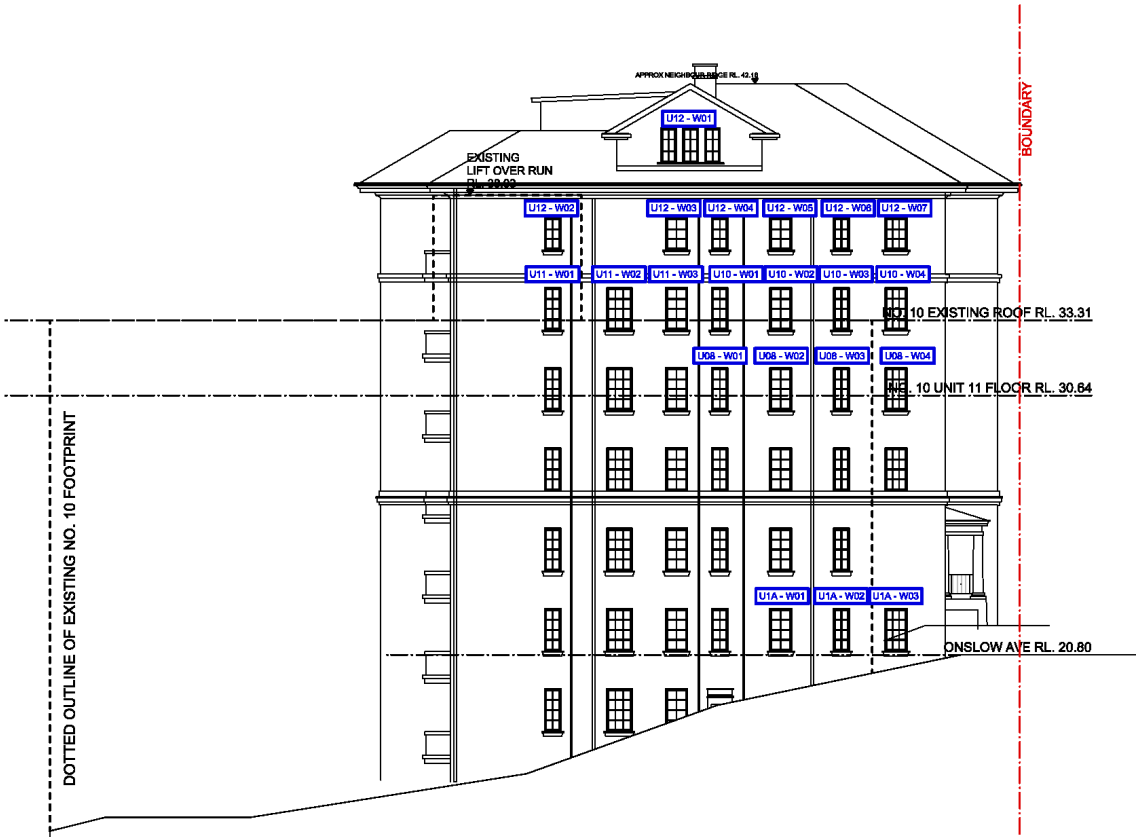
SITE PHOTO OF THE NEIGHBOUR'S NORTH ELEVATION (NO. 12 ONSLOW AVE) W/ CORRESPONDING WINDOWS IDENTIFIED



VERIFIED WINDOWS FROM AVAILABLE SITE INFORMATION AND MARKETING PLANS ARE NUMBERED PER ABOVE

OTHER WINDOWS ARE EXTRAPOLATED FROM SITE VISIT AND MEASUREMENTS AS WELL AS ARCHIVAL INFORMATION ON THE ORIGINAL CONSTRUCTION OF THE SUBJECT BUILDING.

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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0 6 8 10 12 M

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06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	NORTHERN ELEVATION - WINDOW IDENTIFICATION
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
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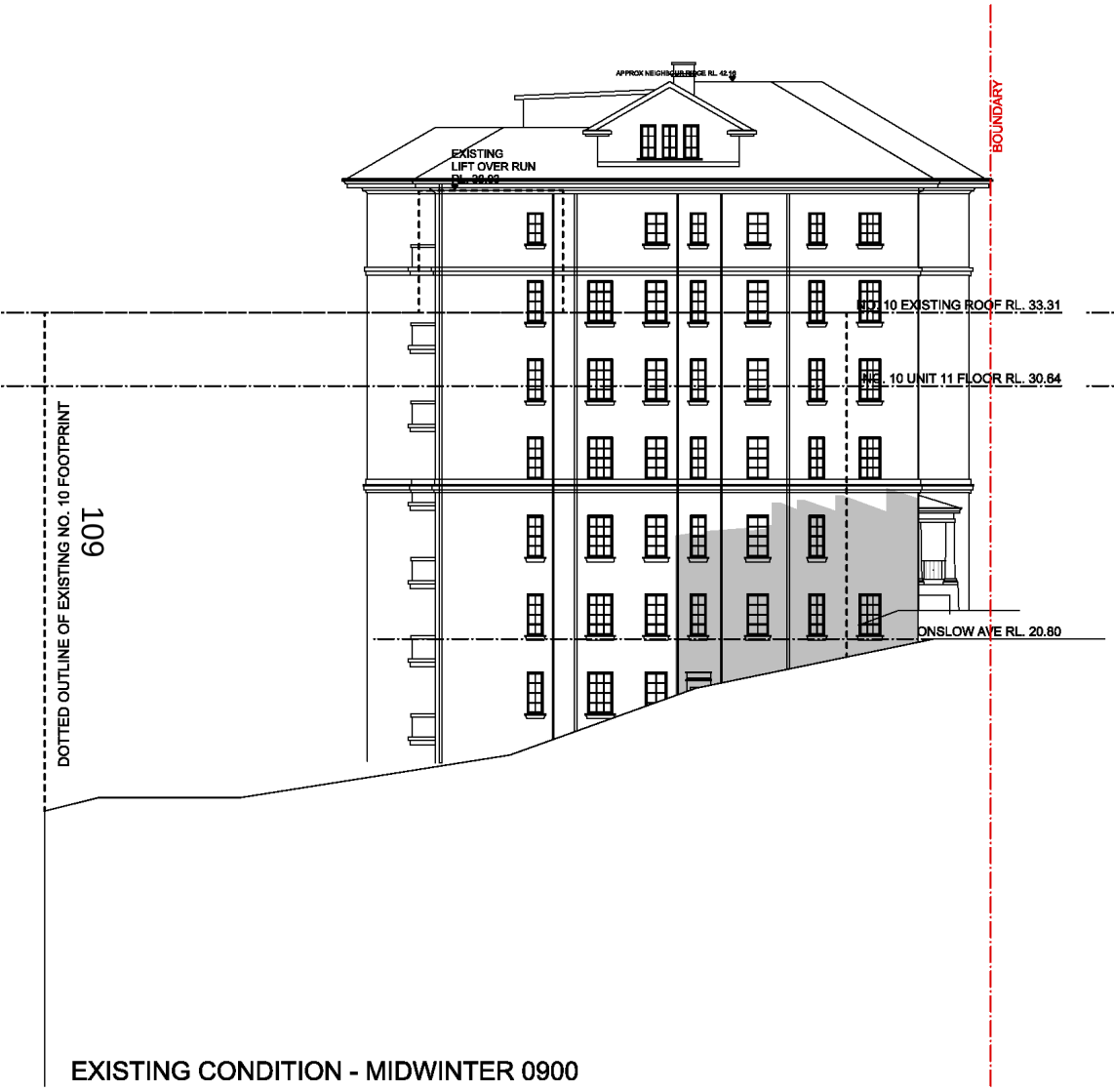
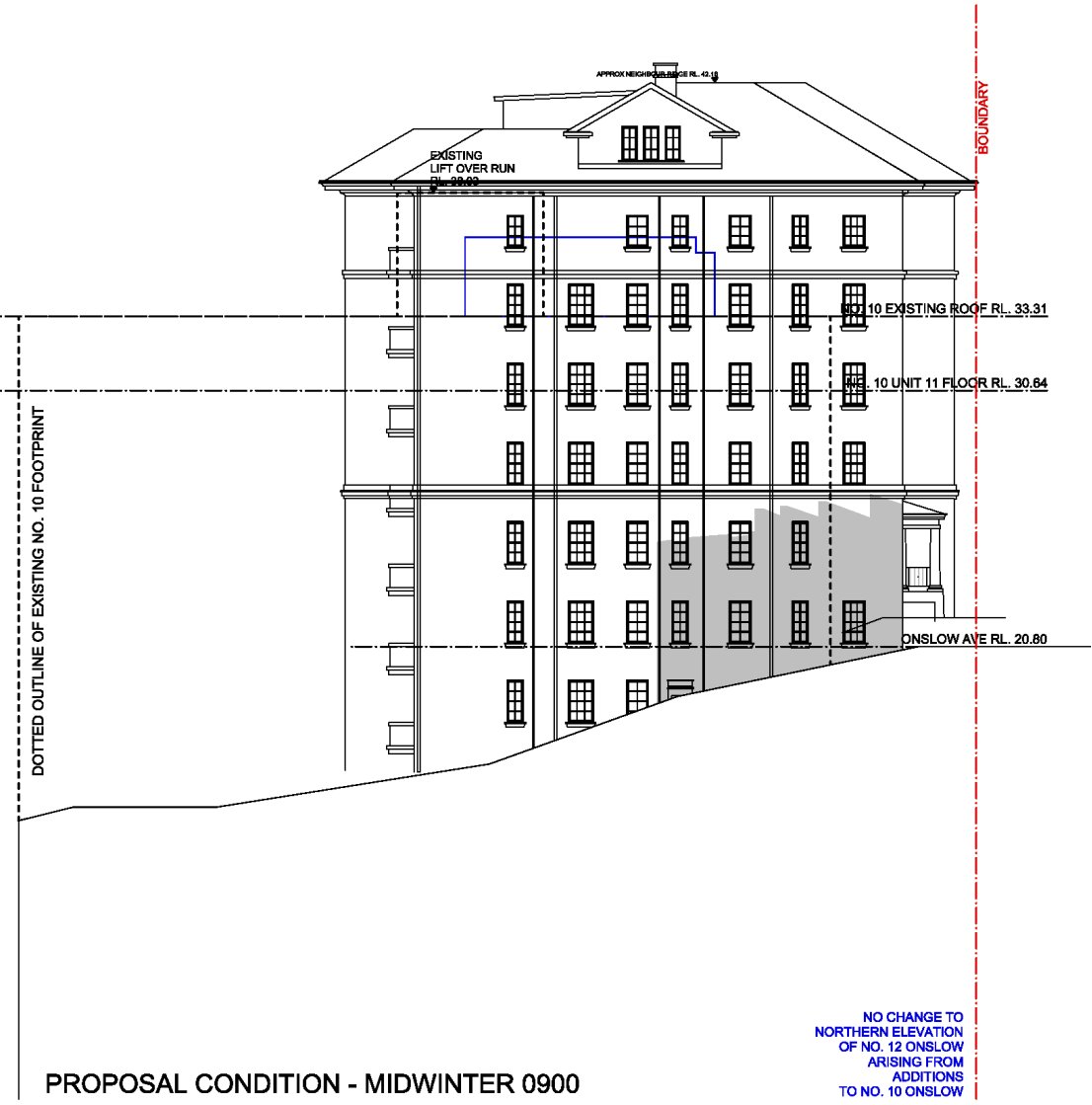
E



EXISTING CONDITION - MIDWINTER 0900



PROPOSAL CONDITION - MIDWINTER 0900

NO CHANGE TO
NORTHERN ELEVATION
OF NO. 12 ONSLOW
ARISING FROM
ADDITIONS
TO NO. 10 ONSLOW

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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0 6 8 10 12 M

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06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 0900
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
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ISSUE
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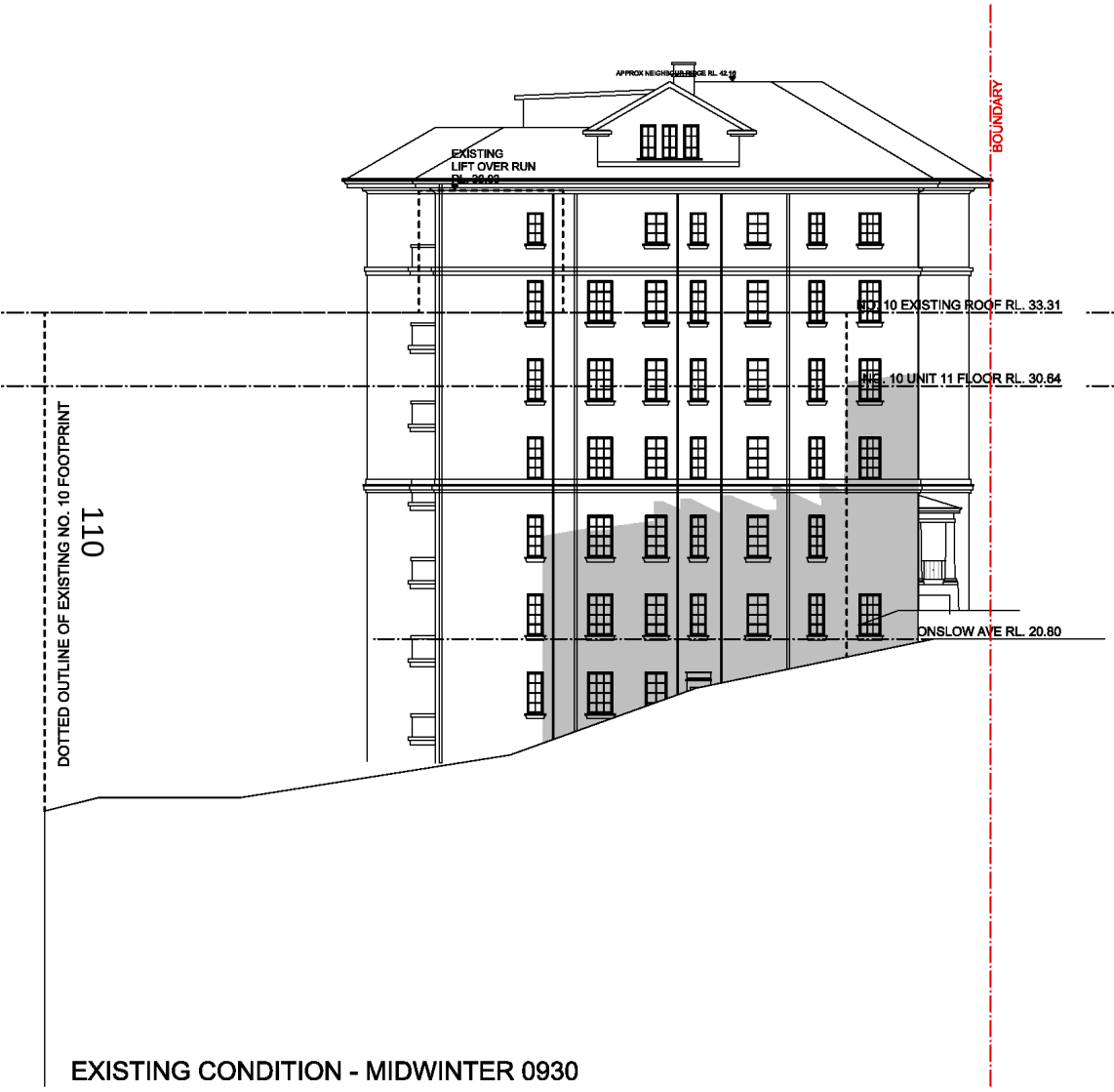
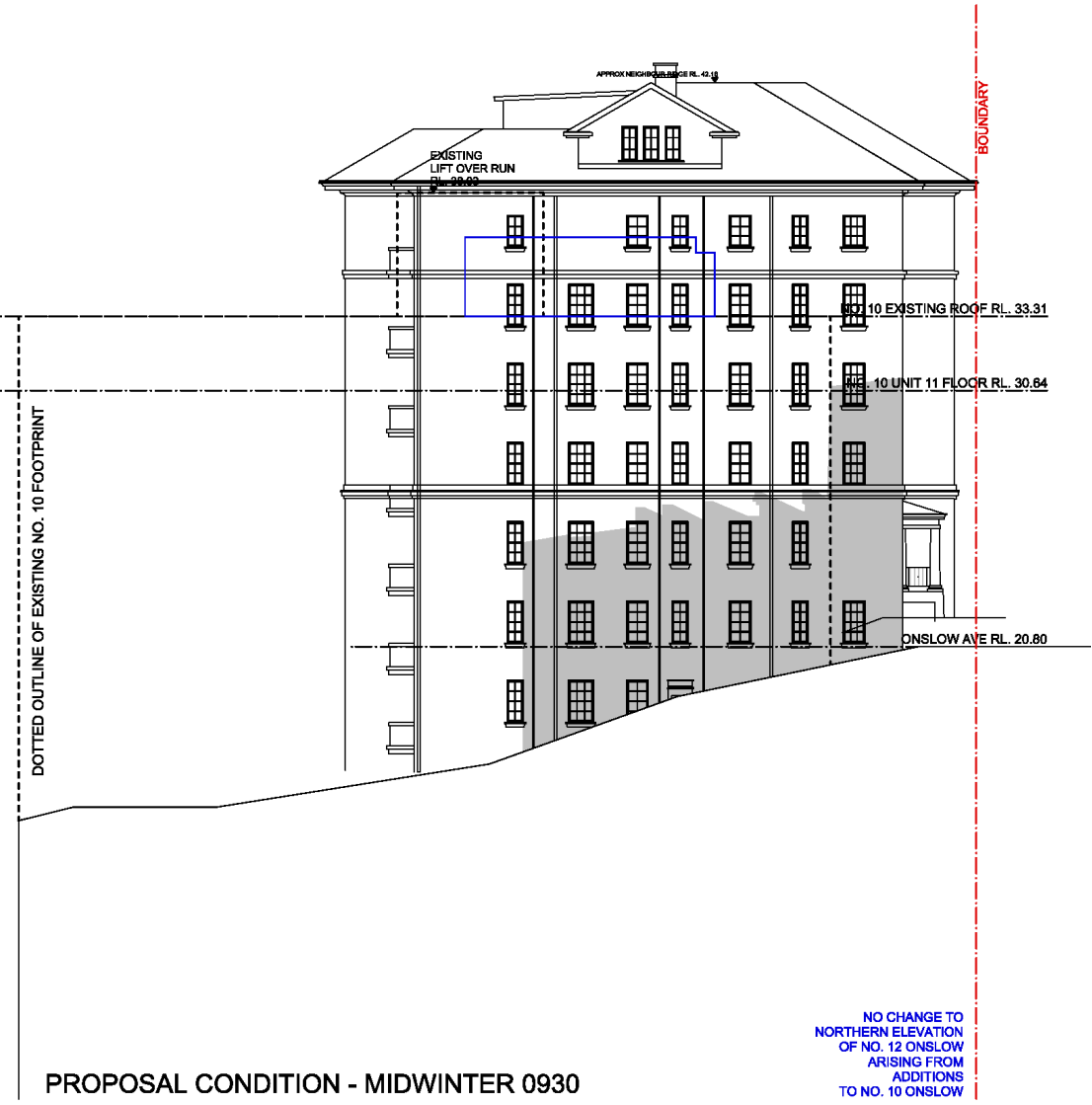


EXISTING CONDITION - MIDWINTER 0930



PROPOSAL CONDITION - MIDWINTER 0930

NO CHANGE TO
NORTHERN ELEVATION
OF NO. 12 ONSLOW
ARISING FROM
ADDITIONS
TO NO. 10 ONSLOW

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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DATE	REVISION
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13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 0930
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
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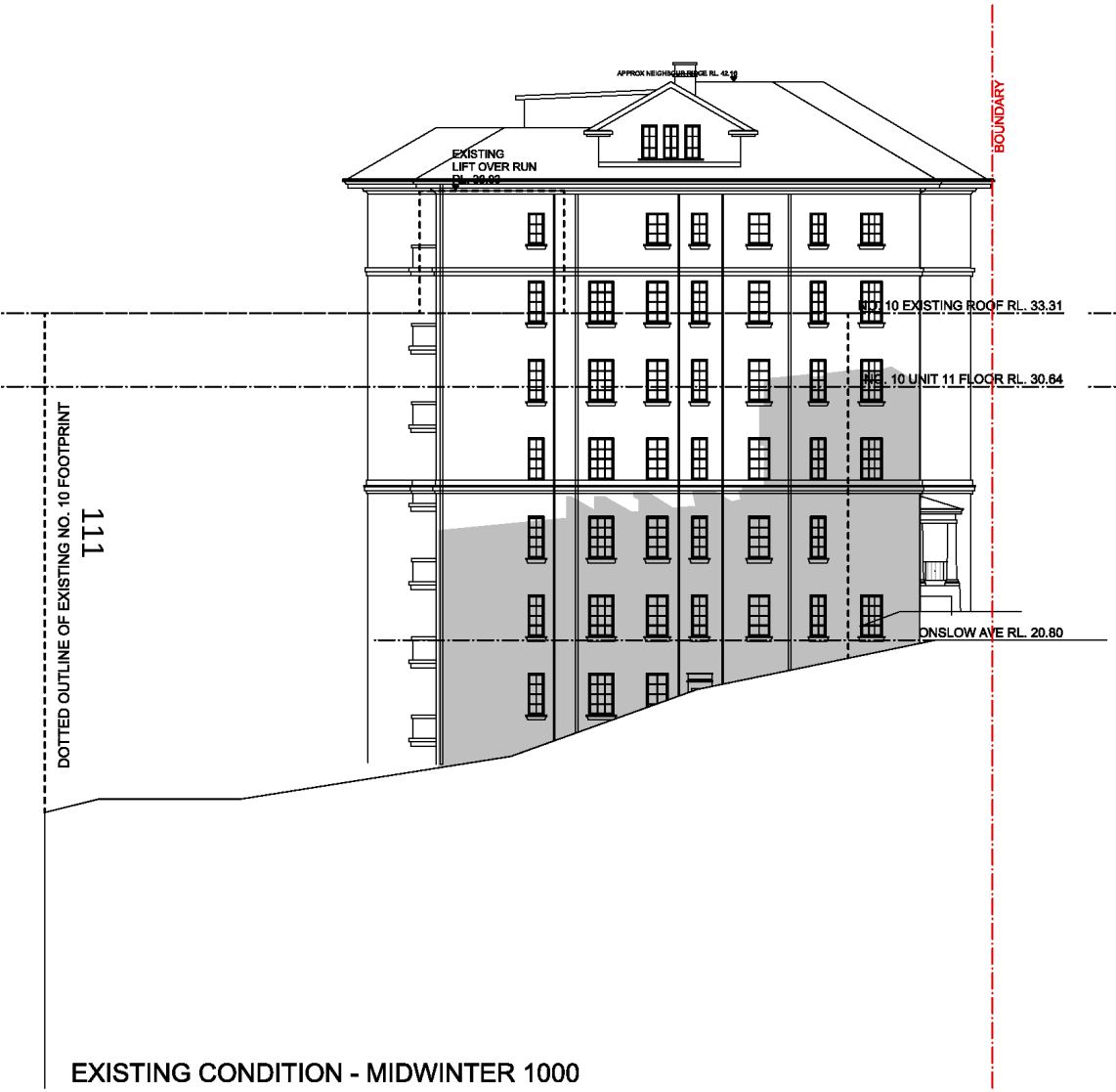
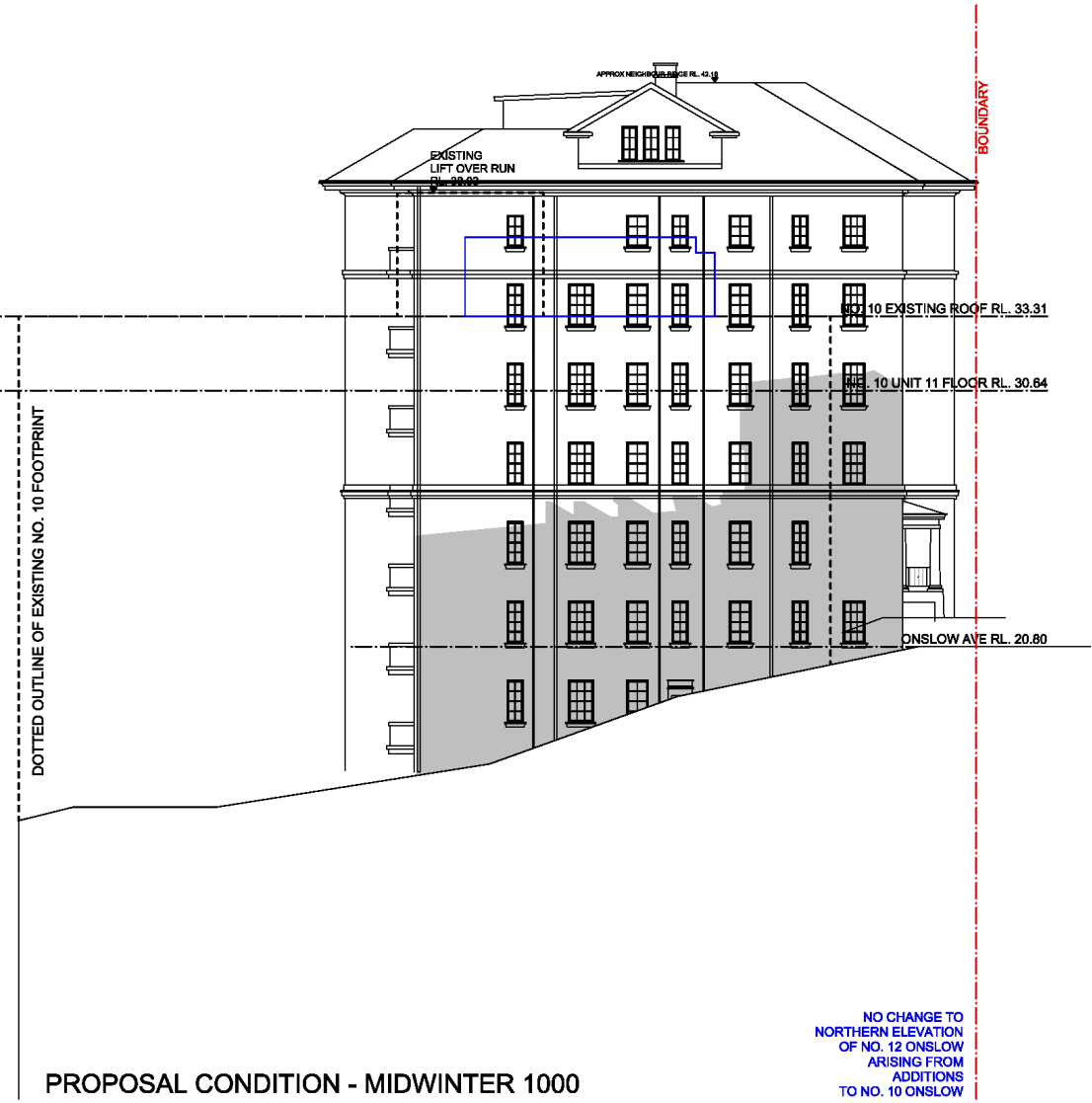
ISSUE
E



EXISTING CONDITION - MIDWINTER 1000



PROPOSAL CONDITION - MIDWINTER 1000

NO CHANGE TO
NORTHERN ELEVATION
OF NO. 12 ONSLOW
ARISING FROM
ADDITIONS
TO NO. 10 ONSLOW

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

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NOT FOR CONSTRUCTION

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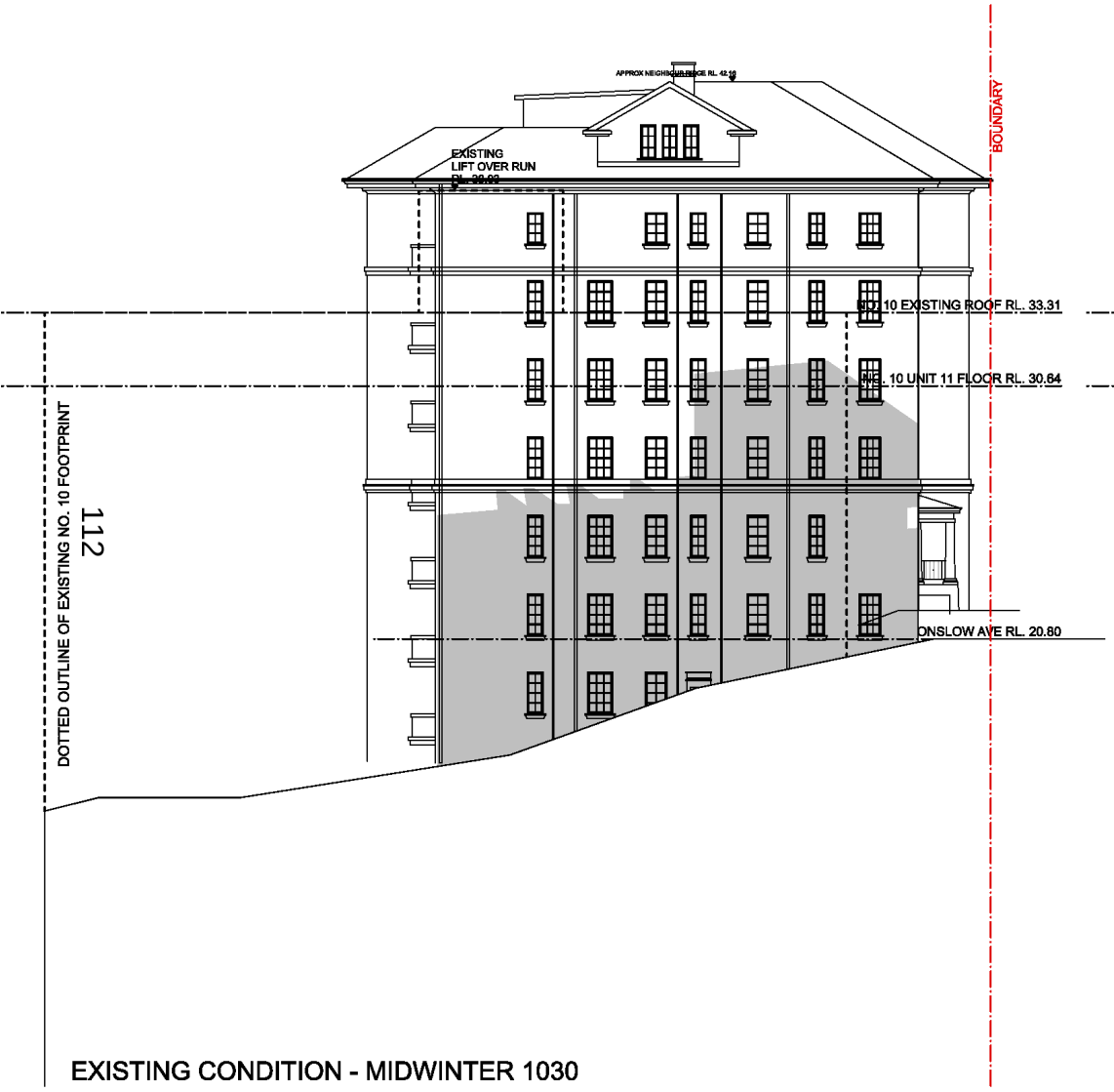
- All survey information and proposed building and finished surface levels shown are based on levels obtained from Surveyors drawing.

0 6 8 10 12 M

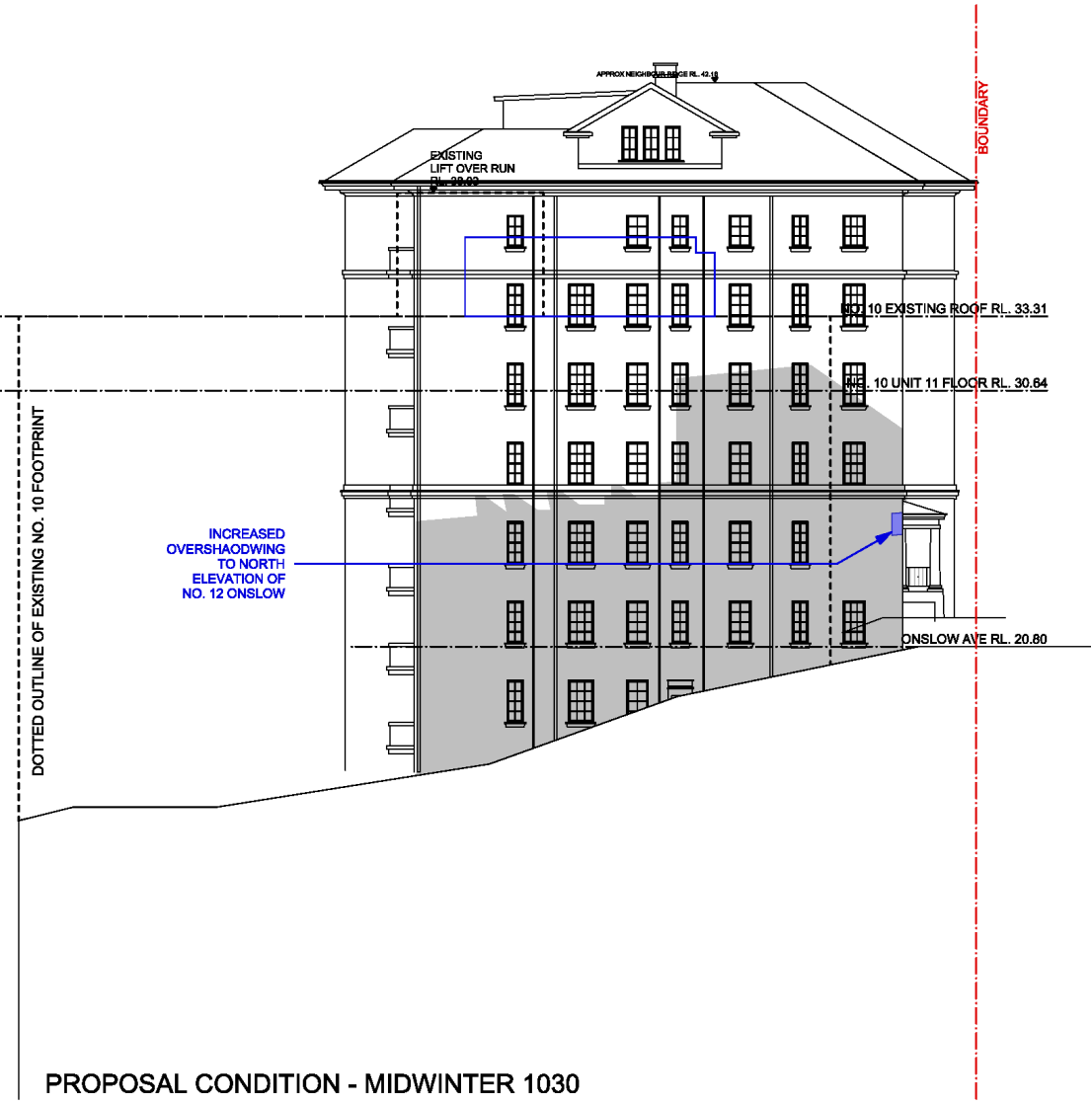
DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1000
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES009
ISSUE
E



EXISTING CONDITION - MIDWINTER 1030



PROPOSAL CONDITION - MIDWINTER 1030

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

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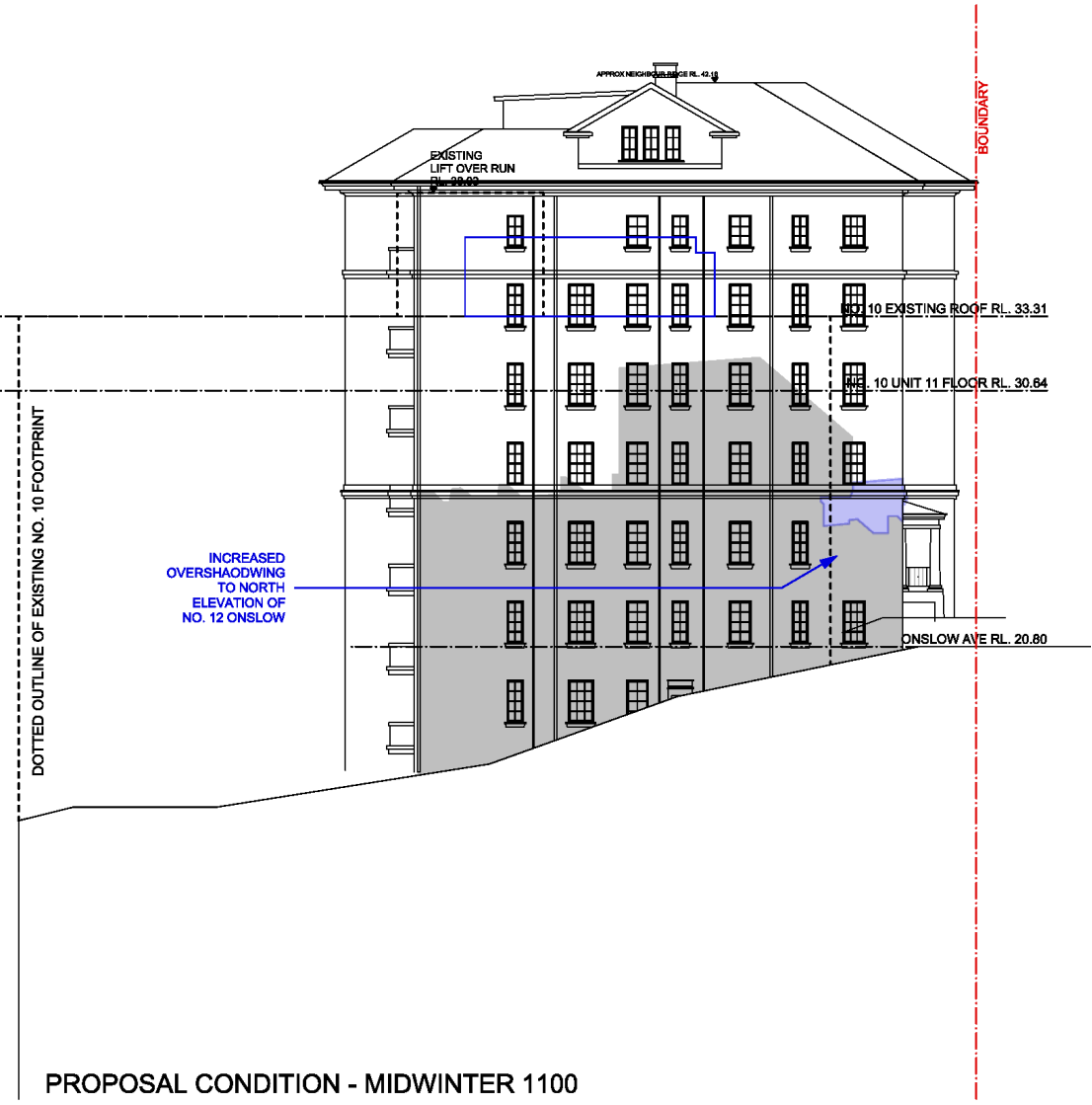
0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1030
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES010
ISSUE
E

EXISTING CONDITION - MIDWINTER 1100



PROPOSAL CONDITION - MIDWINTER 1100

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
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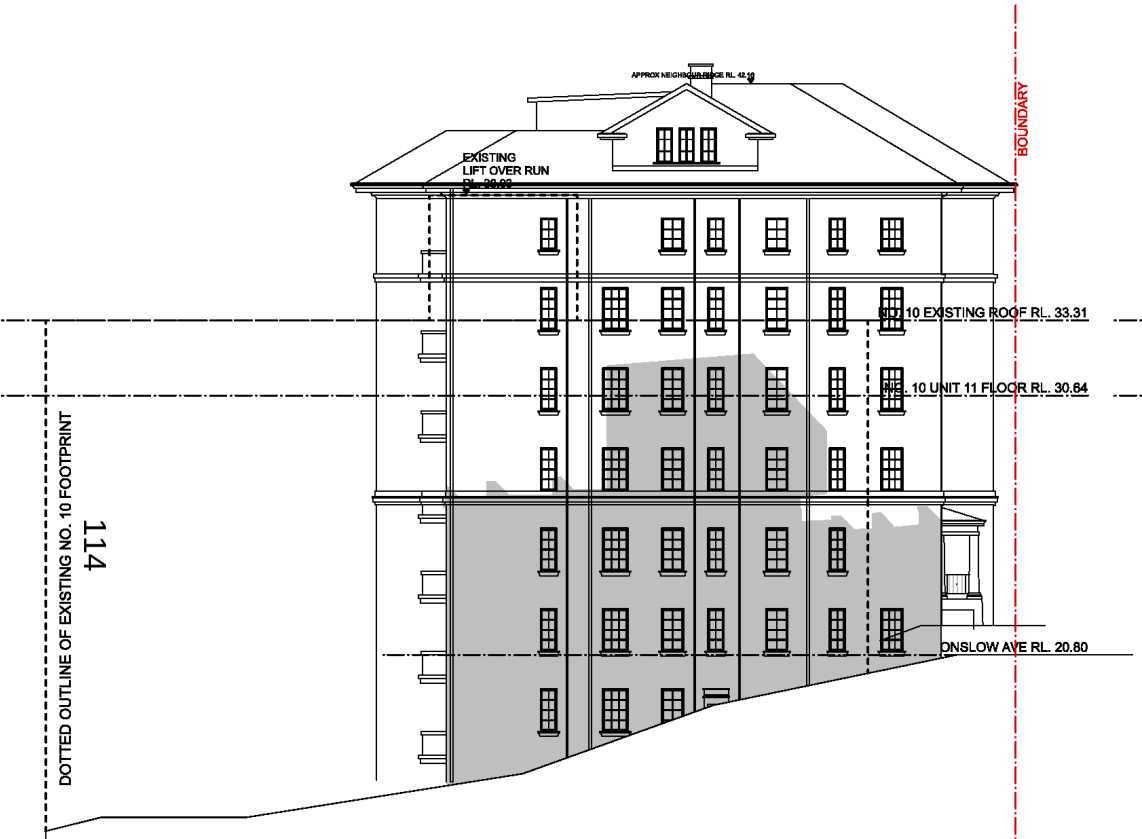
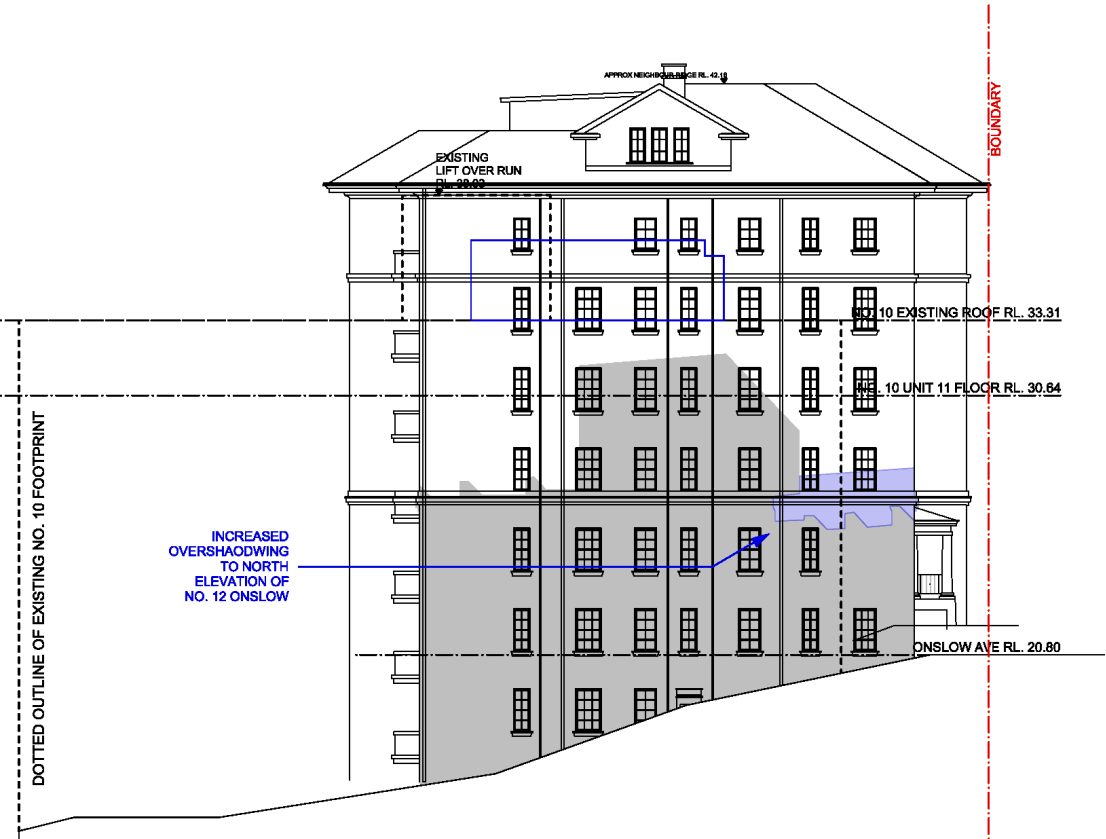
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1100
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES011
ISSUE
E



EXISTING CONDITION - MIDWINTER 1130



PROPOSAL CONDITION - MIDWINTER 1130

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
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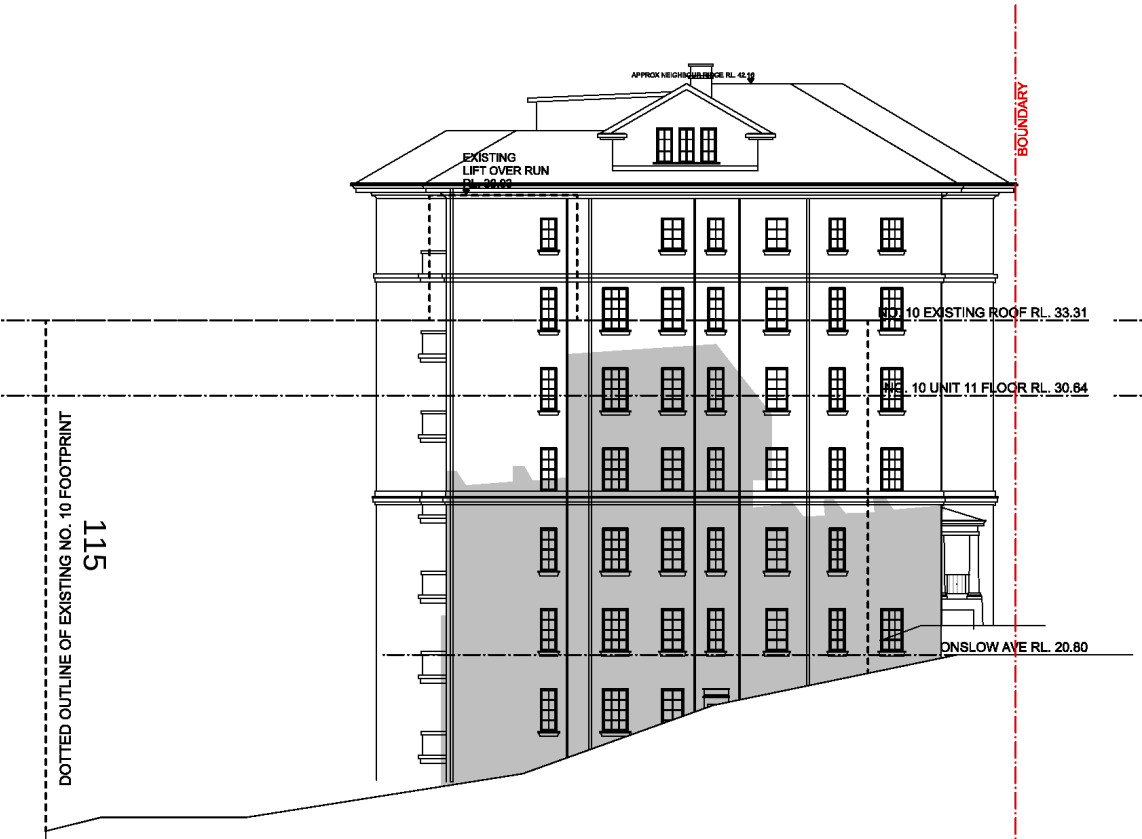
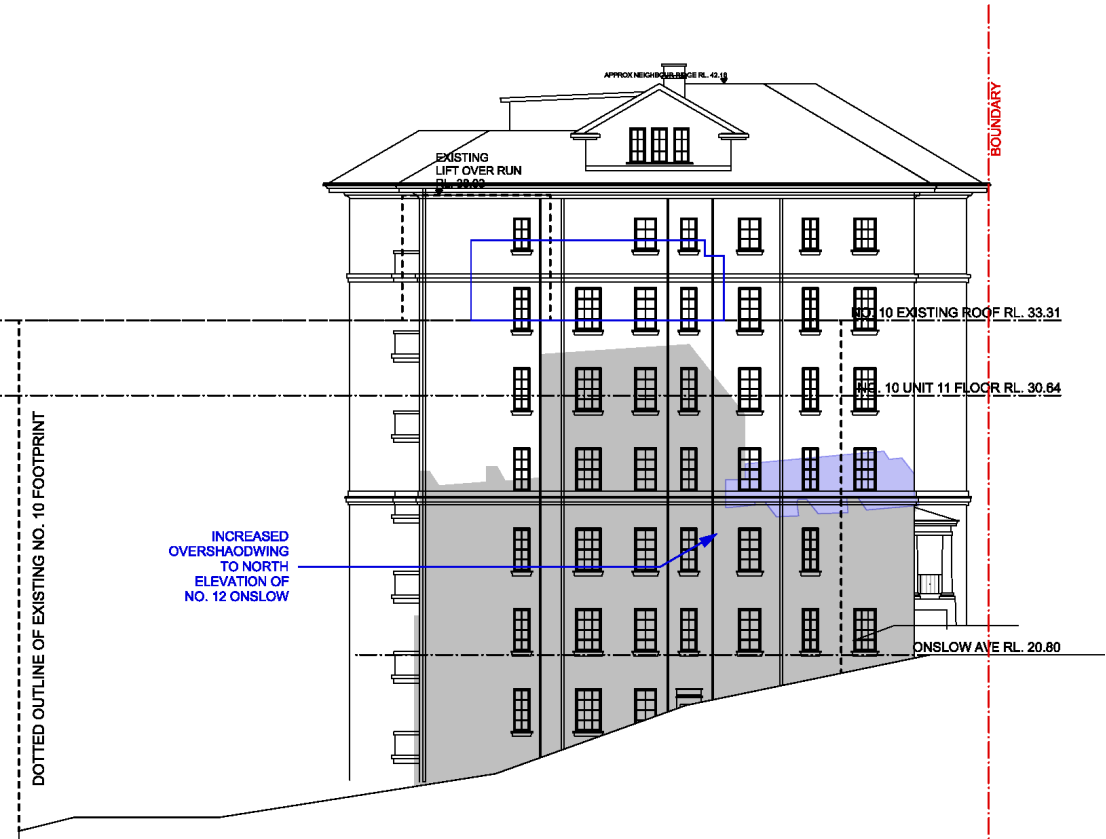
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1130
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES012
ISSUE
E



EXISTING CONDITION - MIDWINTER 1200



PROPOSAL CONDITION - MIDWINTER 1200

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
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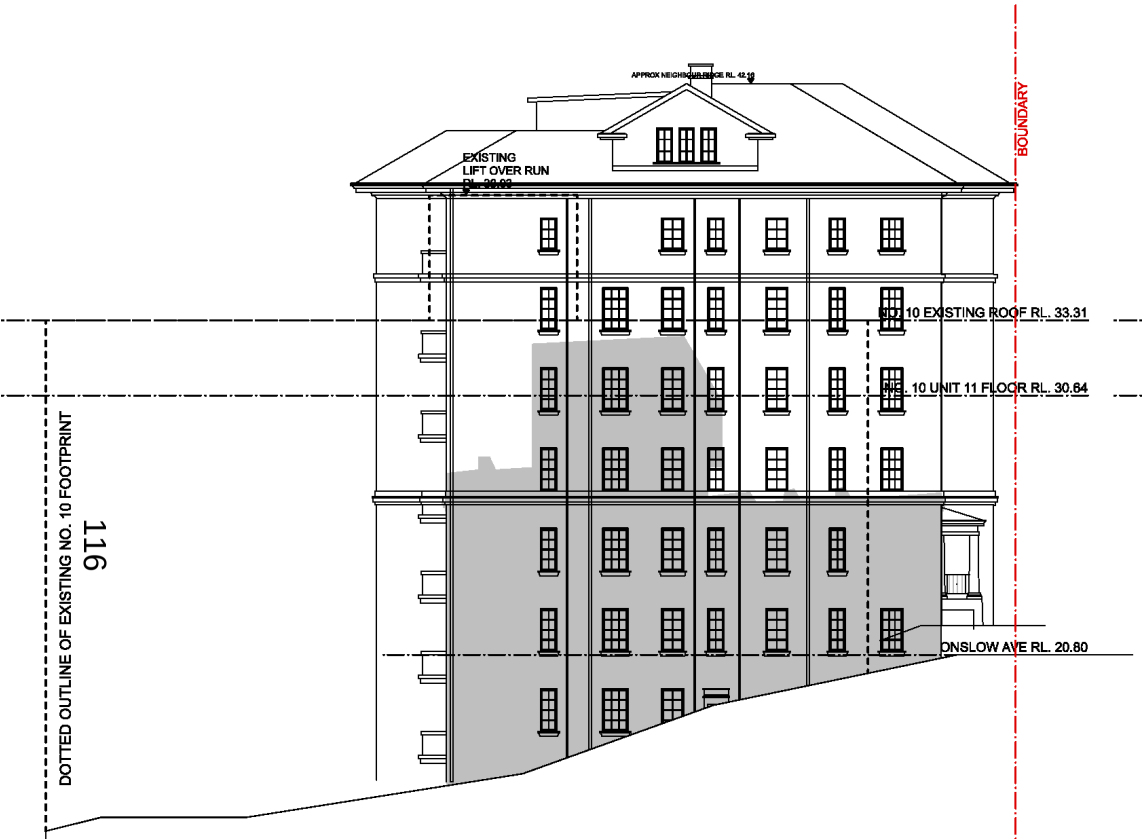
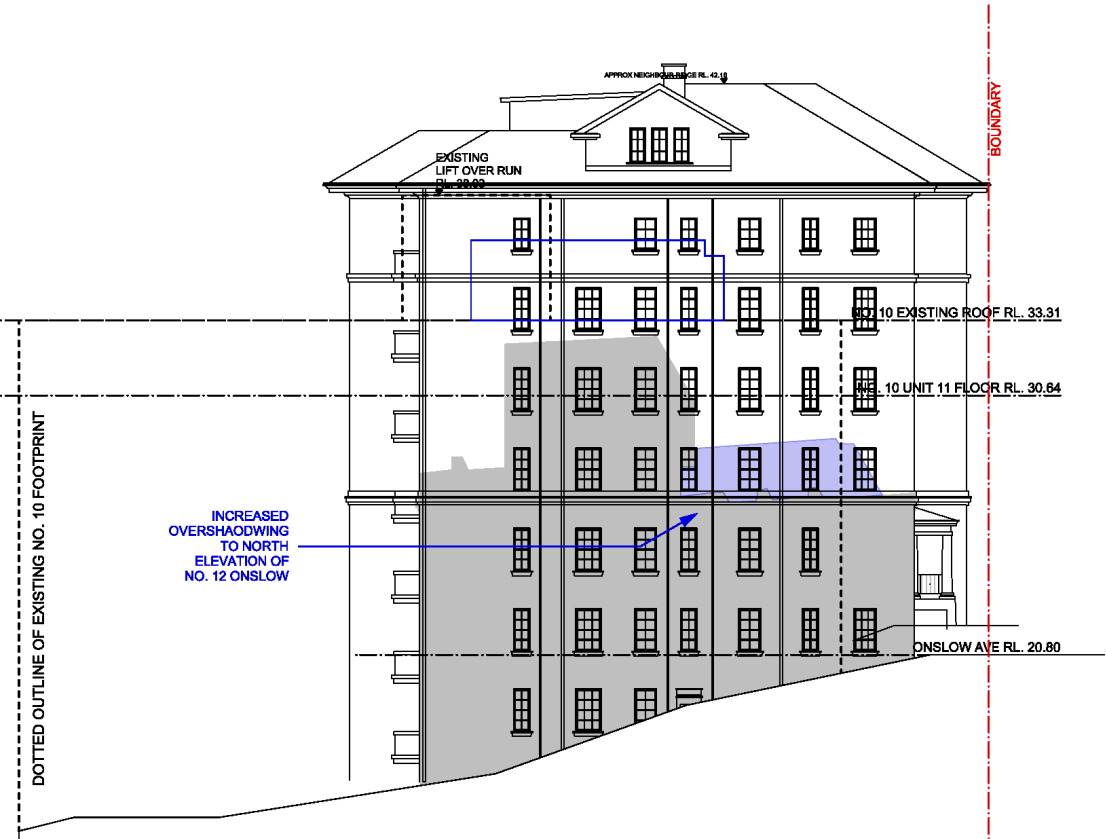
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1200
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES013
ISSUE
E



EXISTING CONDITION - MIDWINTER 1230



PROPOSAL CONDITION - MIDWINTER 1230

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
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06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1230
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
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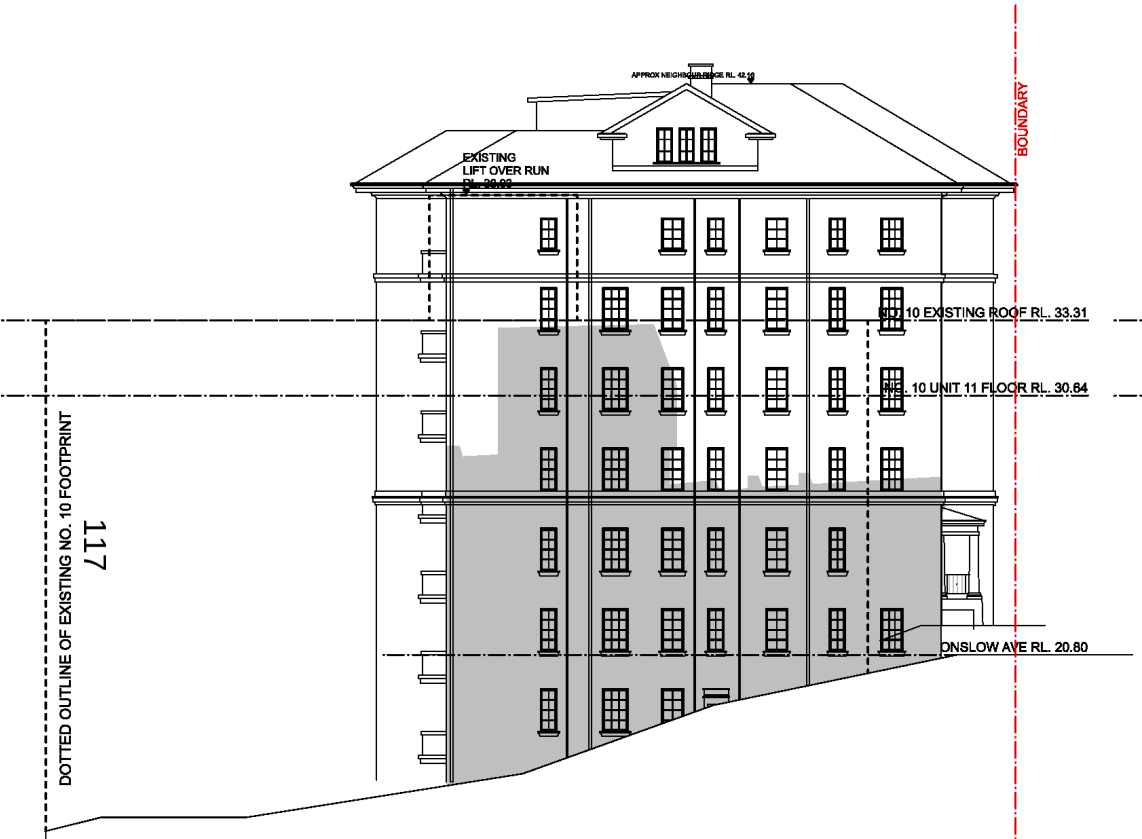
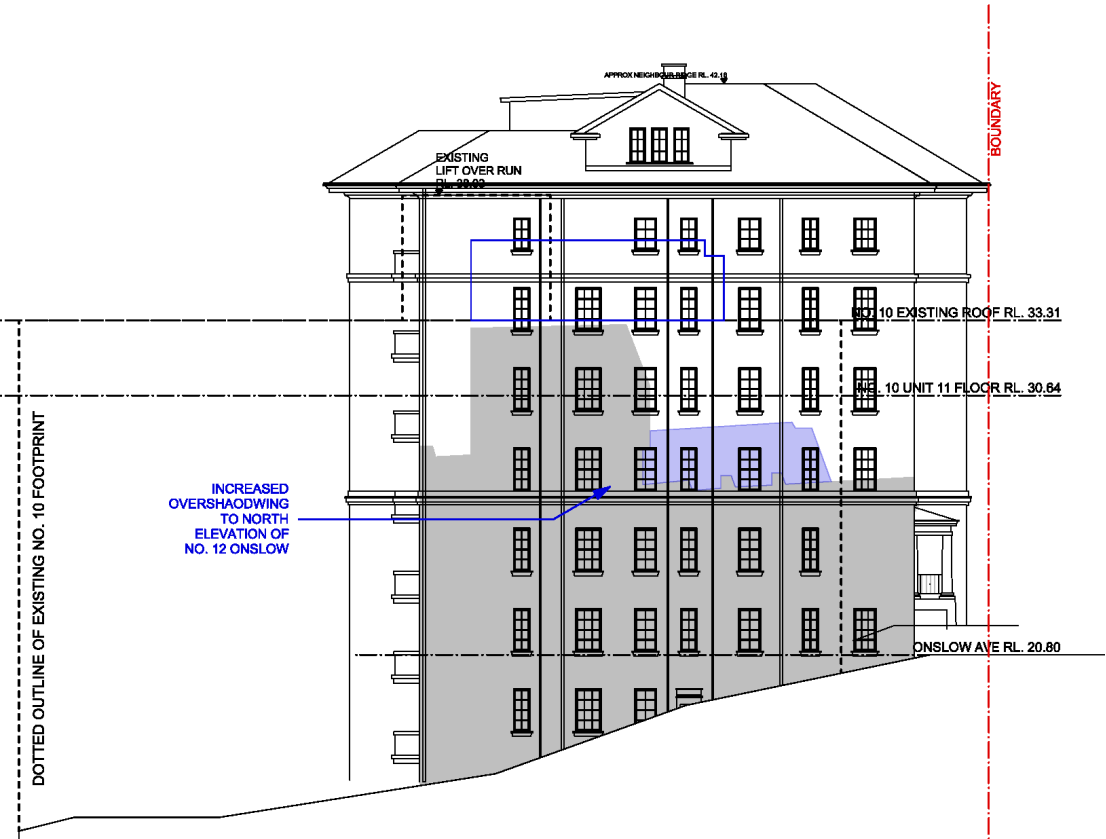
ISSUE
E



EXISTING CONDITION - MIDWINTER 1300



PROPOSAL CONDITION - MIDWINTER 1300

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

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0 6 8 10 12 M

DATE	REVISION
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13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1300
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
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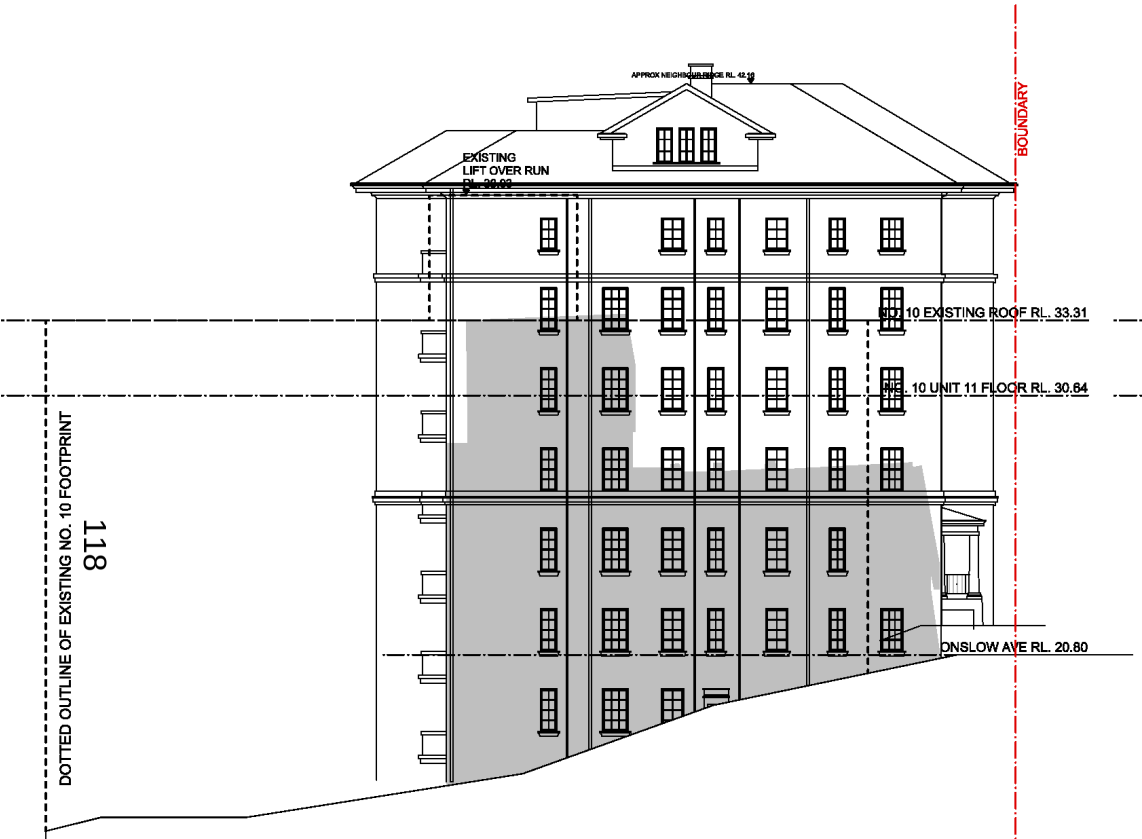
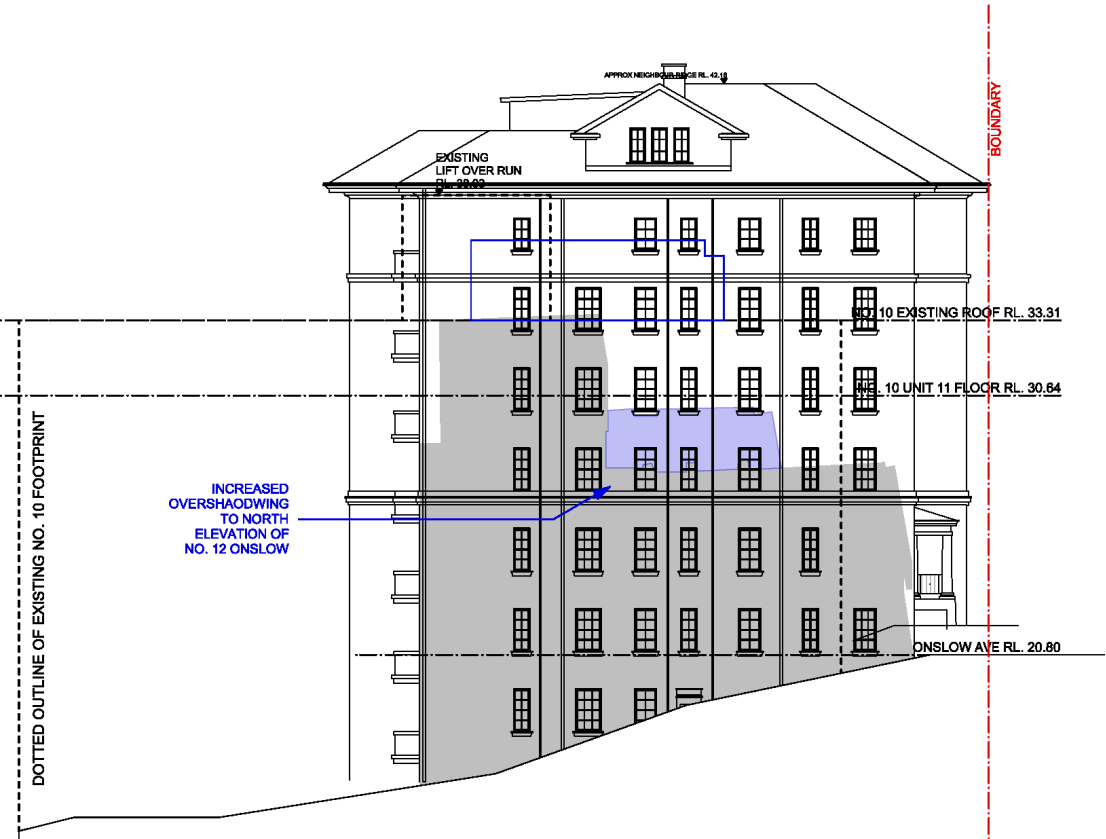


EXISTING CONDITION - MIDWINTER 1330



PROPOSAL CONDITION - MIDWINTER 1330

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
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06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1330
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES016
ISSUE
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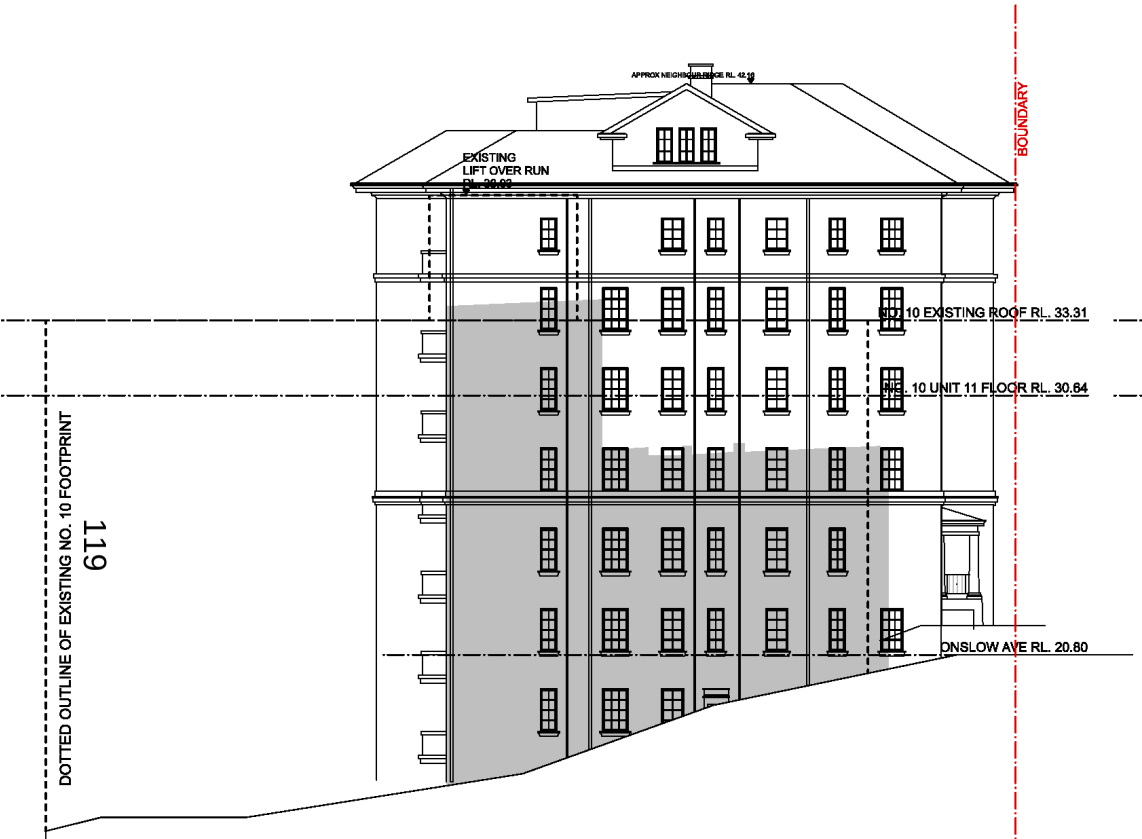
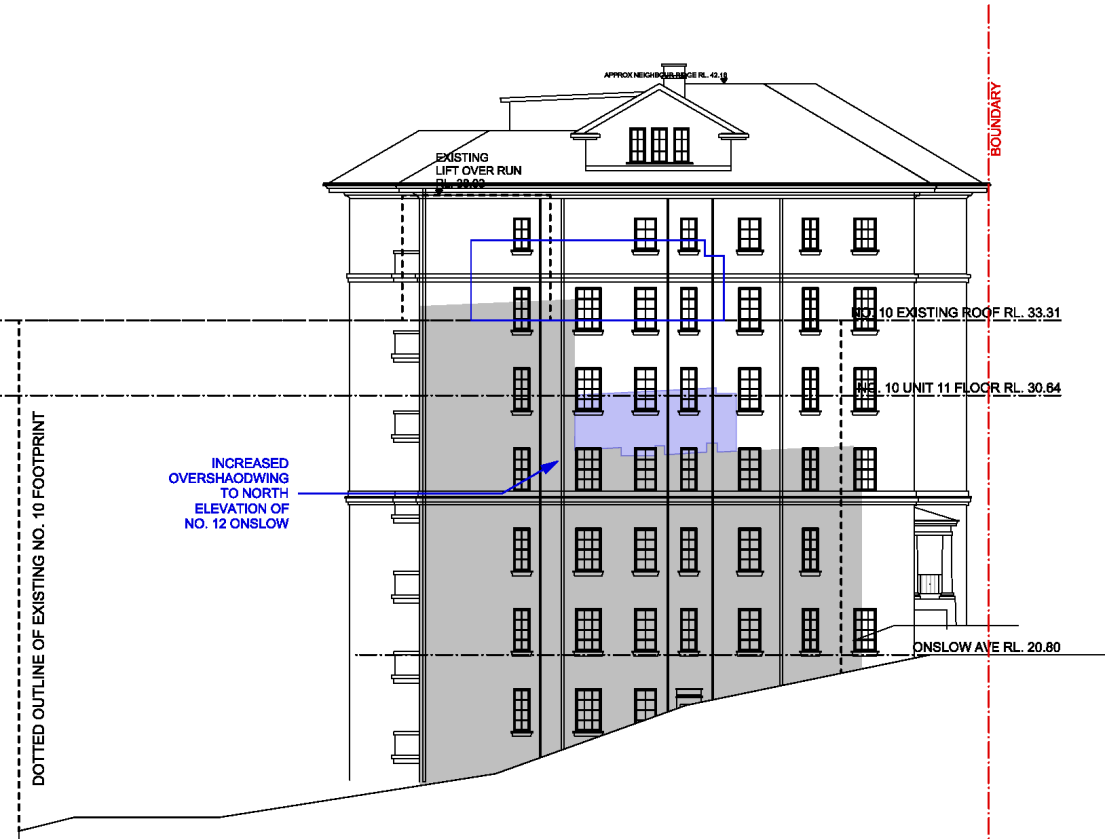


EXISTING CONDITION - MIDWINTER 1400



PROPOSAL CONDITION - MIDWINTER 1400

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Nominated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
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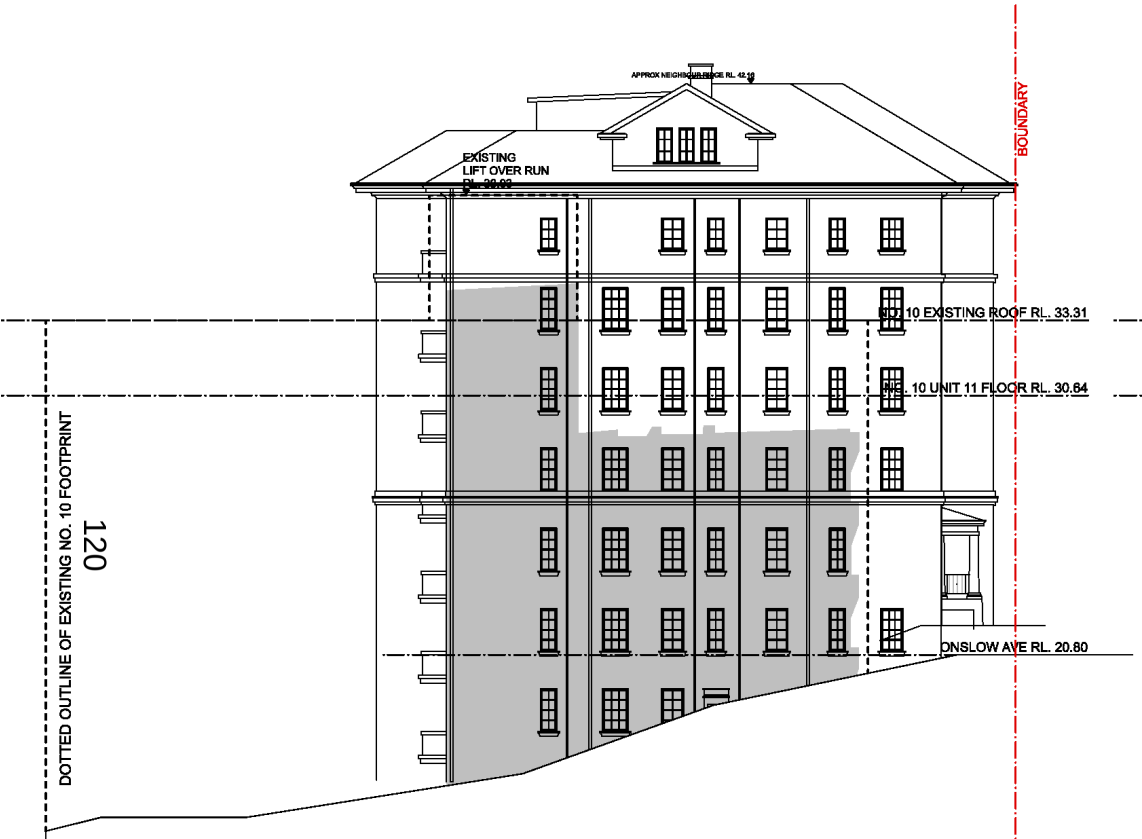
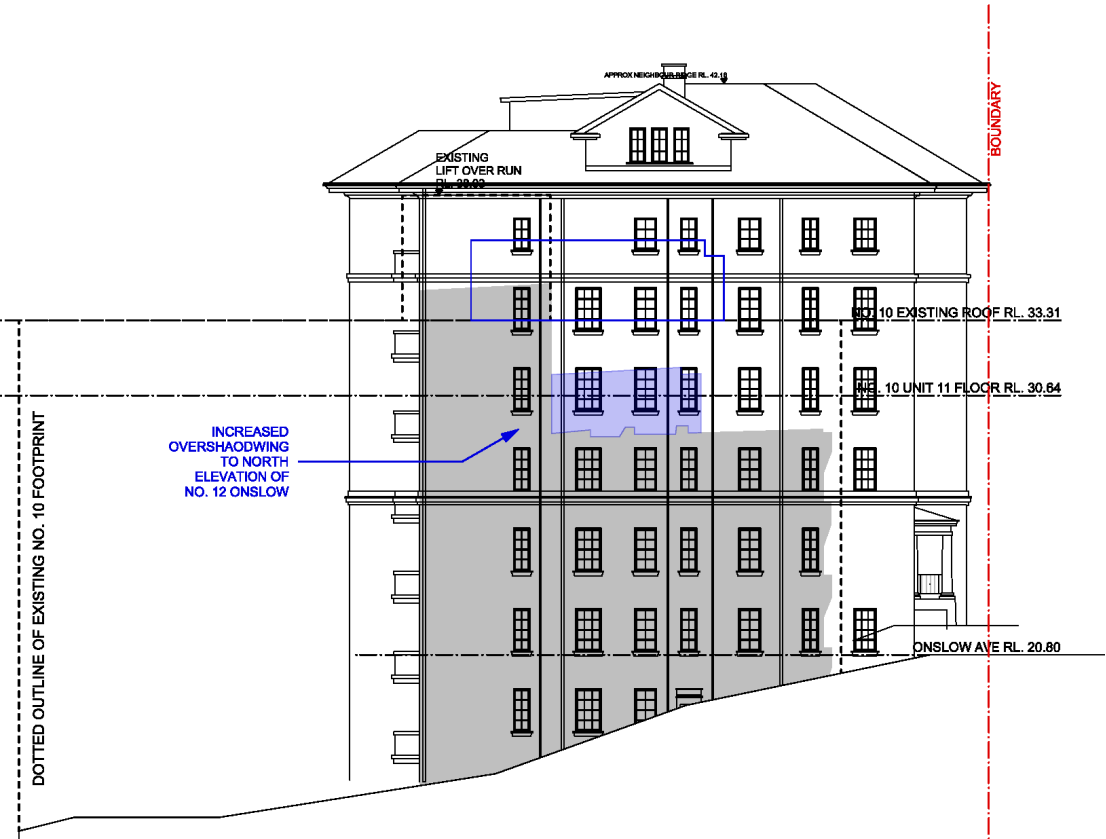
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1400
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES017
ISSUE
E



EXISTING CONDITION - MIDWINTER 1430



PROPOSAL CONDITION - MIDWINTER 1430

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
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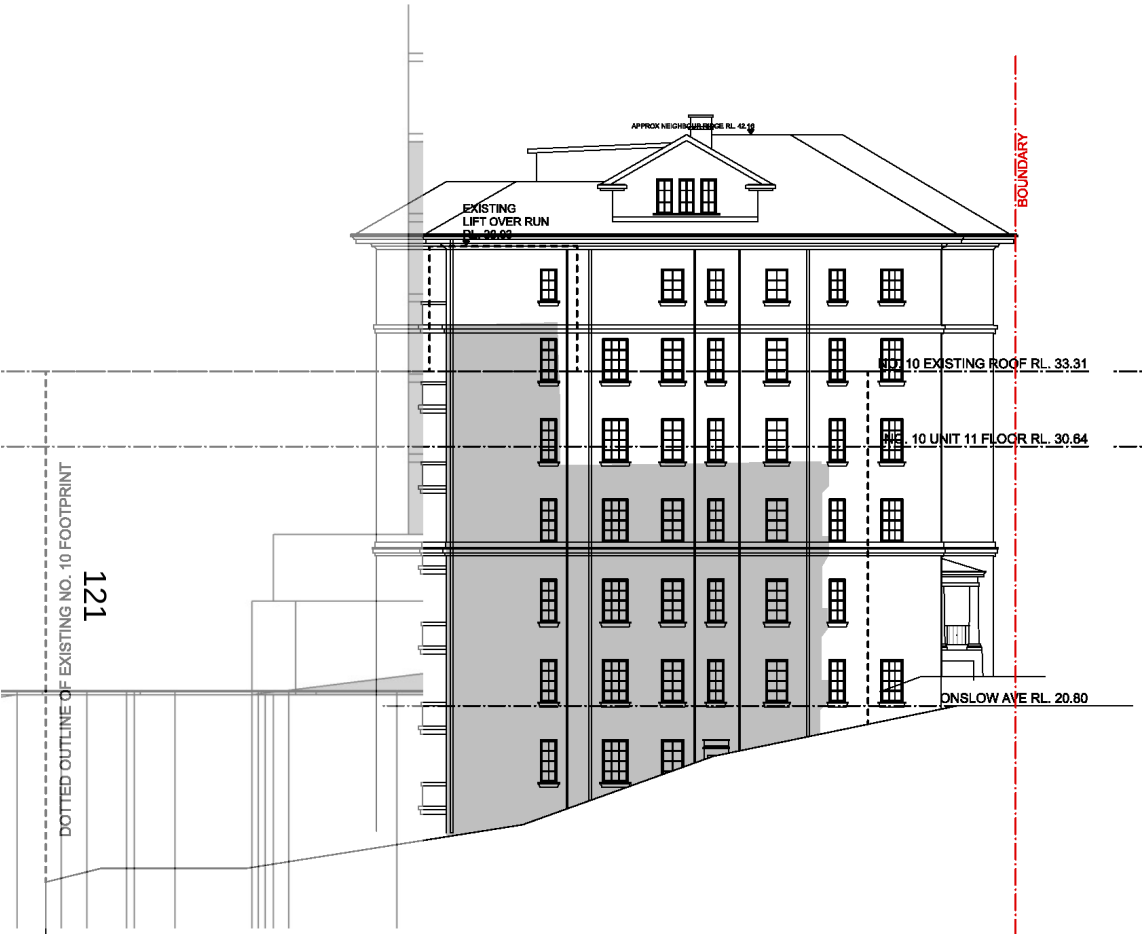
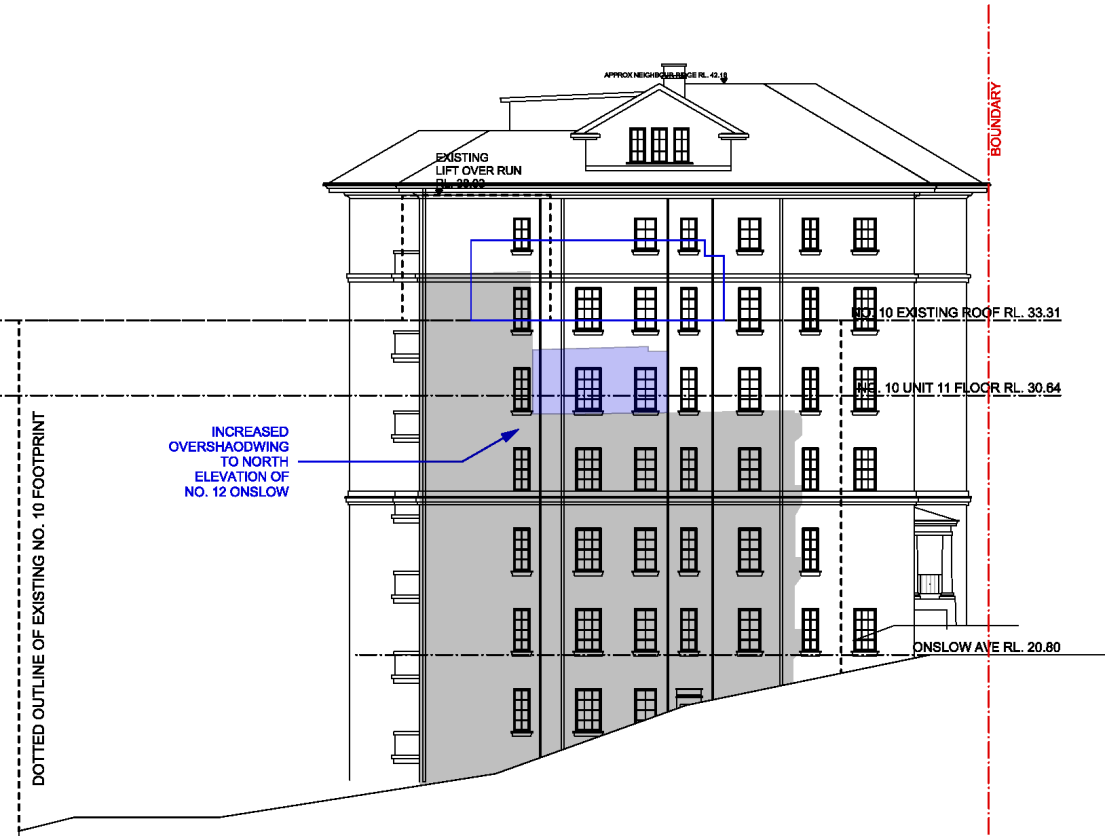
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1430
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES018
ISSUE
E



EXISTING CONDITION - MIDWINTER 1500



PROPOSAL CONDITION - MIDWINTER 1500

ARCHITECT

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501
Norminated Architect: Peter J Lonergan
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknelllonergan.com.au

BASIX / NATHERS CERTIFICATION

SW-01	external louvre/blind (adjustable)
NW-02	external louvre/blind (adjustable)
NE-03	external louvre/blind (adjustable)

NOTES

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0 6 8 10 12 M

DATE	REVISION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
06/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE	ELEVATIONAL SHADOWS MID-WINTER 1500
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/HC]

DA
ES019
ISSUE
E