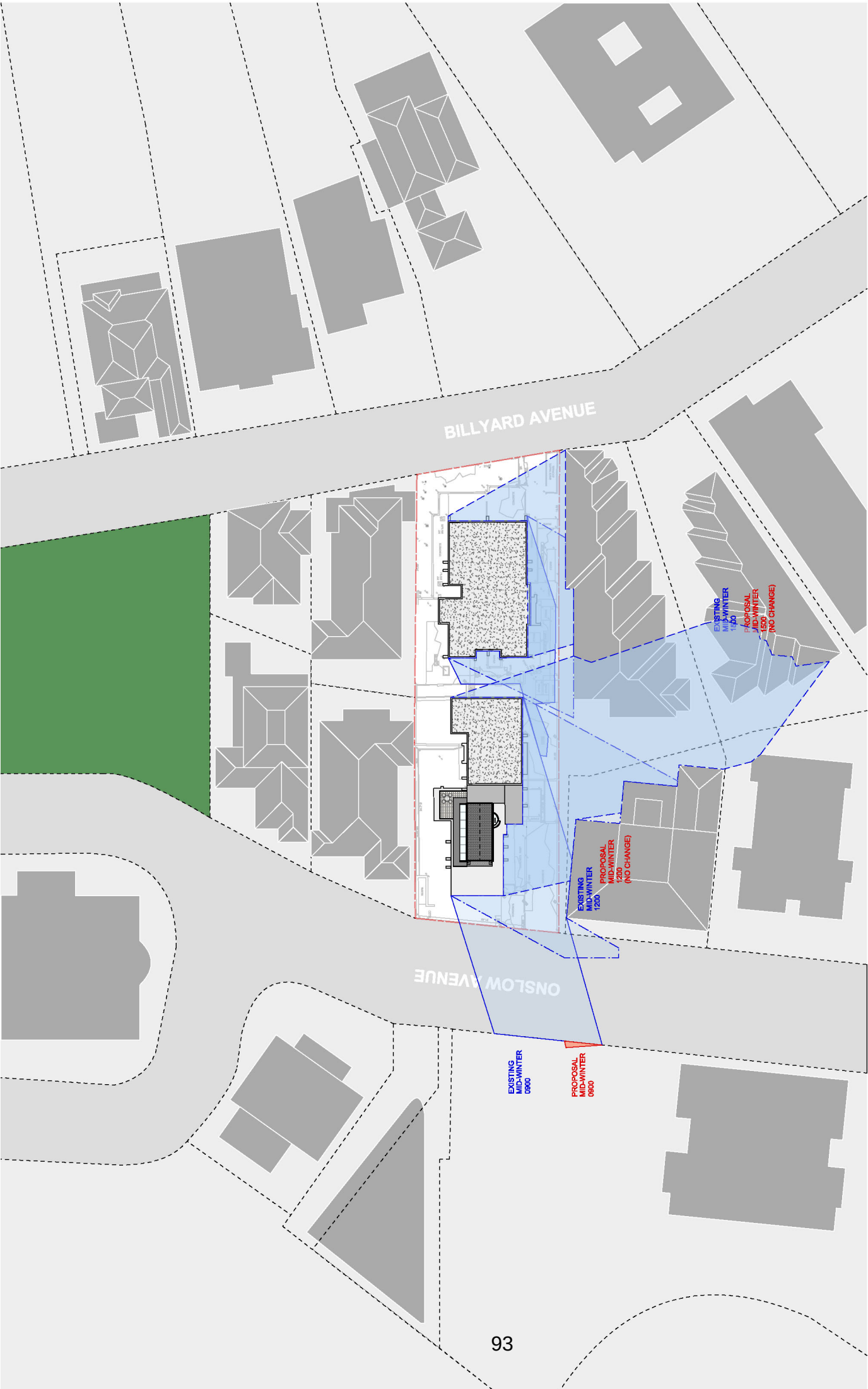
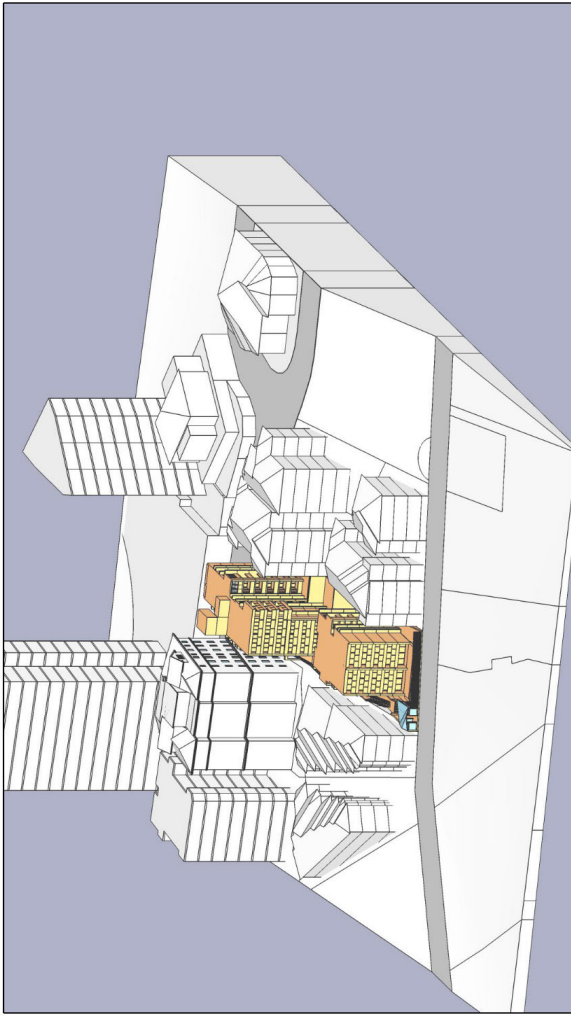


Attachment C

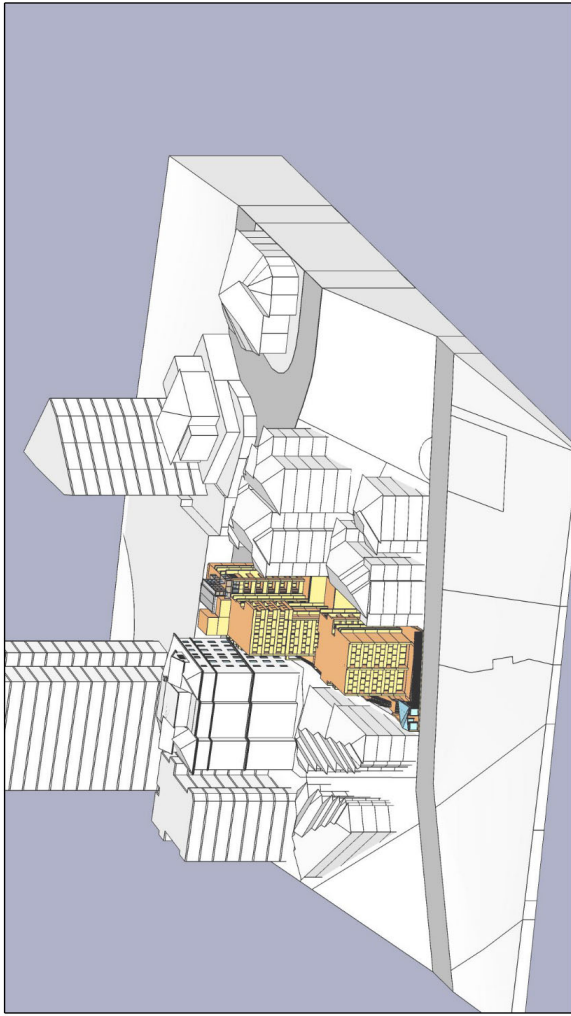
Shadow Study



ARCHITECT  CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonerGAN.com.au	DA 801		ISSUE E	
	PROJECT ALTS & ADDS TO EXISTING APARTMENT		STAGE DEVELOPMENT APPLICATION	
	ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY		CLIENT MR. PATRICK LANE	
	REVISION 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		SCALE 1:500 @A3, 1:250@A1	
	DATE 13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		DRAWN BY [CL/HC]	

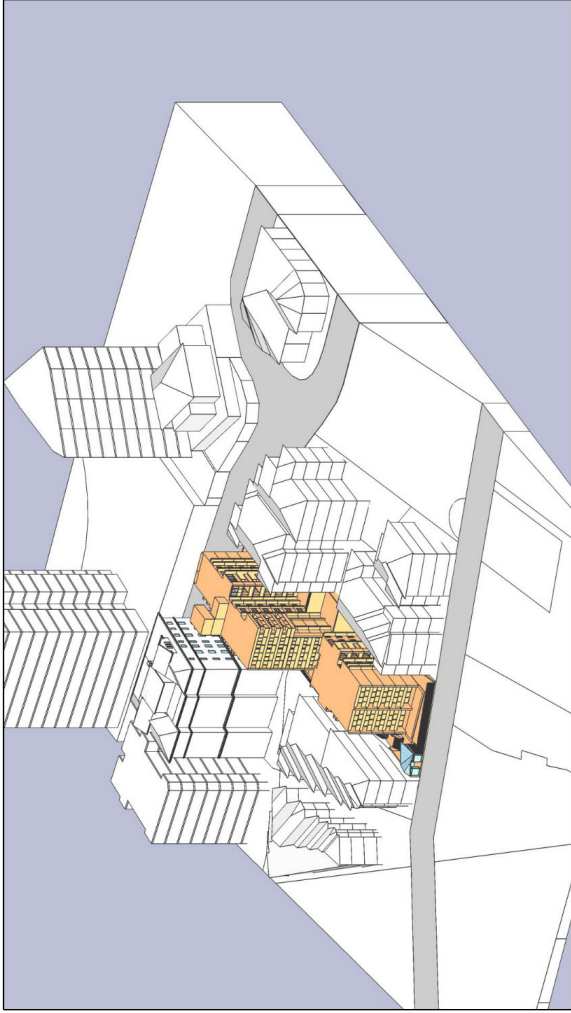


VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 09:00 AM

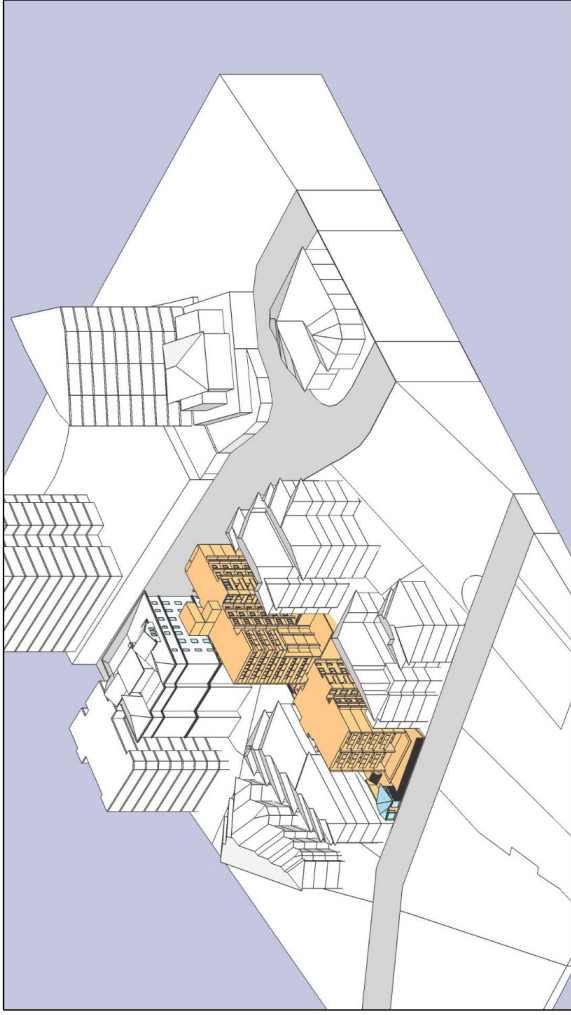


VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 09:00 AM

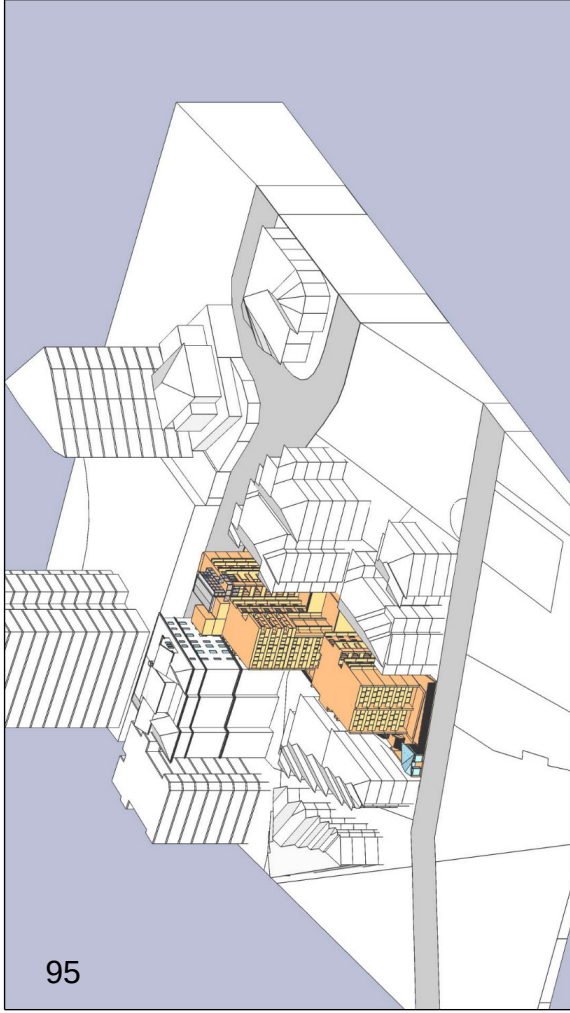
ARCHITECT CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	BASIX / MATTERS CERTIFICATION		NOTES	DATE	REVISION	TITLE	VIEW FROM THE SUN - MID-WINTER 09:00	DA
	external louvre/blind (adjustable)		FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other consultants' drawings and reports. It is not to be used for any purpose other than that for which it was prepared.	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	802
	external louvre/blind (adjustable)			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	
	external louvre/blind (adjustable)			08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	ISSUE
				13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	E
					SCALE	THIS PAGE IS NOT TO SCALE	DRAWN BY	[CL/HC]



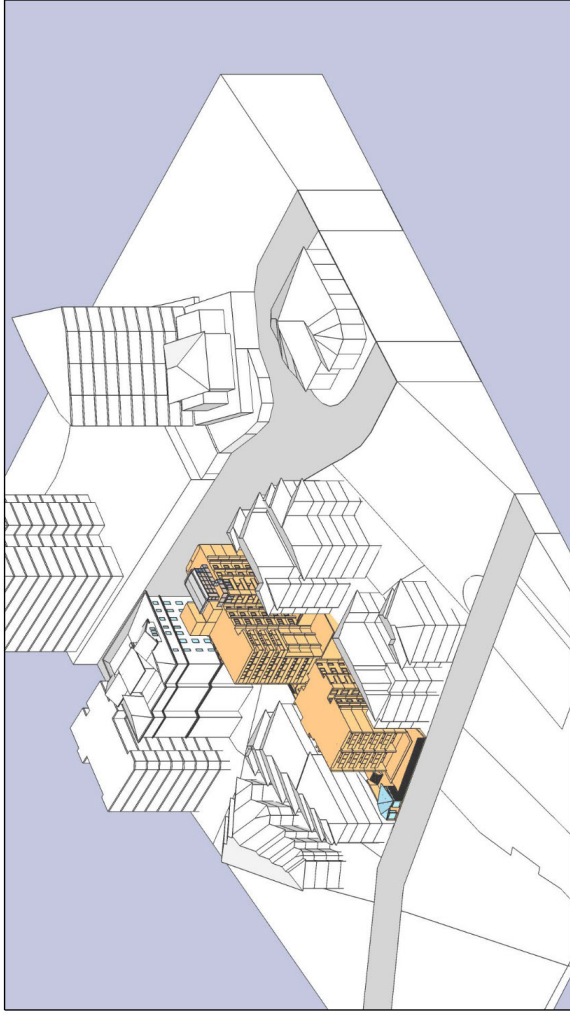
VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 10:00 AM



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 11:00 AM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 10:00 AM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 11:00 AM

ARCHITECT



**CRACKNELL
&
LONERGAN**
ARCHITECTS PTY LTD

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Newland Architects Pty Ltd
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknellonerган.com.au

BASIX / NATURES CERTIFICATION

external louvreblind (adjustable)
external louvreblind (adjustable)
external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other consultants drawings
and reports.
This drawing is based on the latest information available at the time of preparation.
The client is responsible for the accuracy of the information provided.

DATE REVISION

22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE

VIEW FROM THE SUN - MID-WINTER | 10:00 & 11:30

PROJECT

ALTS & ADDS TO EXISTING APARTMENT

ADDRESS

UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE

DEVELOPMENT APPLICATION

CLIENT

MR. PATRICK LANE

SCALE

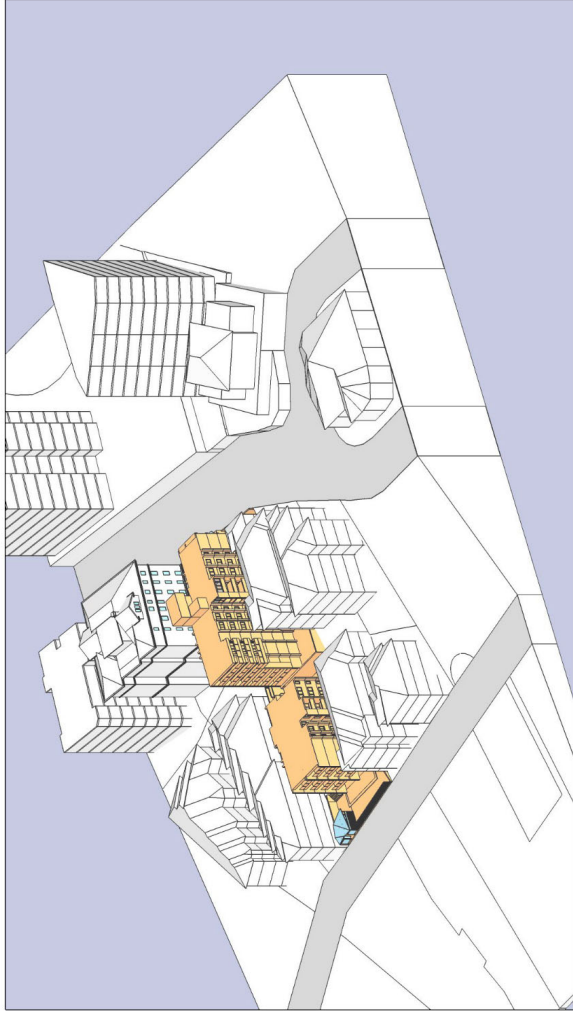
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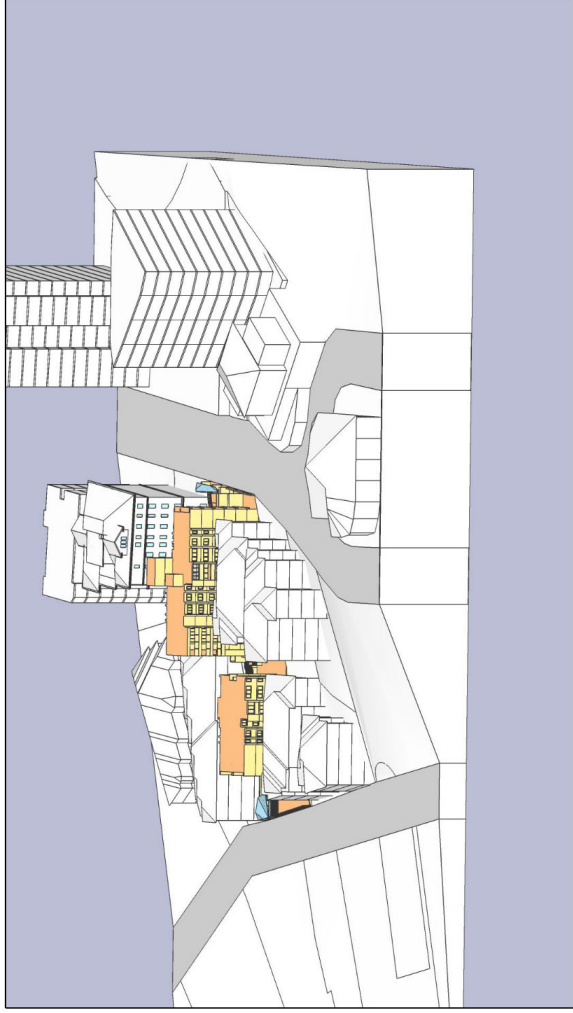
[CL/HG]

DA
803

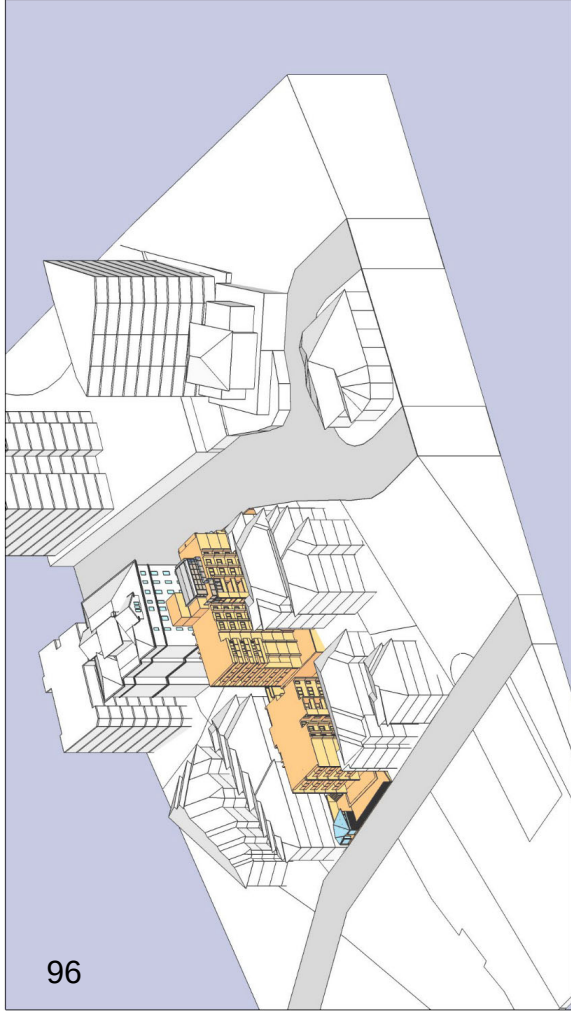
ISSUE
E



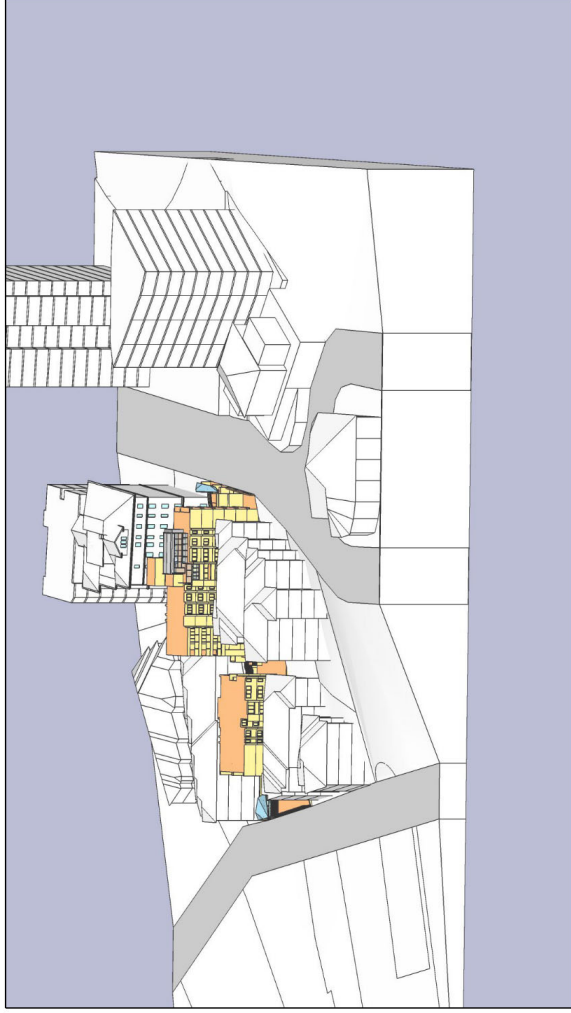
VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 12:00 NOON



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 01:00 PM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 12:00 NOON



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 01:00 PM

ARCHITECT



**CRACKNELL
&
LONERGAN**
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ABN 55 100 940 501
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NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknellonergan.com.au

BASIX / NATURES CERTIFICATION

external louvreblind (adjustable)
external louvreblind (adjustable)
external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other consultants drawings
and reports. It is not to be used for any other purpose without the written
consent of the architect. All dimensions are based on the latest information available.

DATE REVISION

22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020 DA-D AMENDMENTS BASED ON MODEL
13/07/2020 DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE

VIEW FROM THE SUN - MID-WINTER | 12:00 & 13:00

PROJECT

ALTS & ADDS TO EXISTING APARTMENT

ADDRESS

UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE

DEVELOPMENT APPLICATION

CLIENT

MR. PATRICK LANE

SCALE

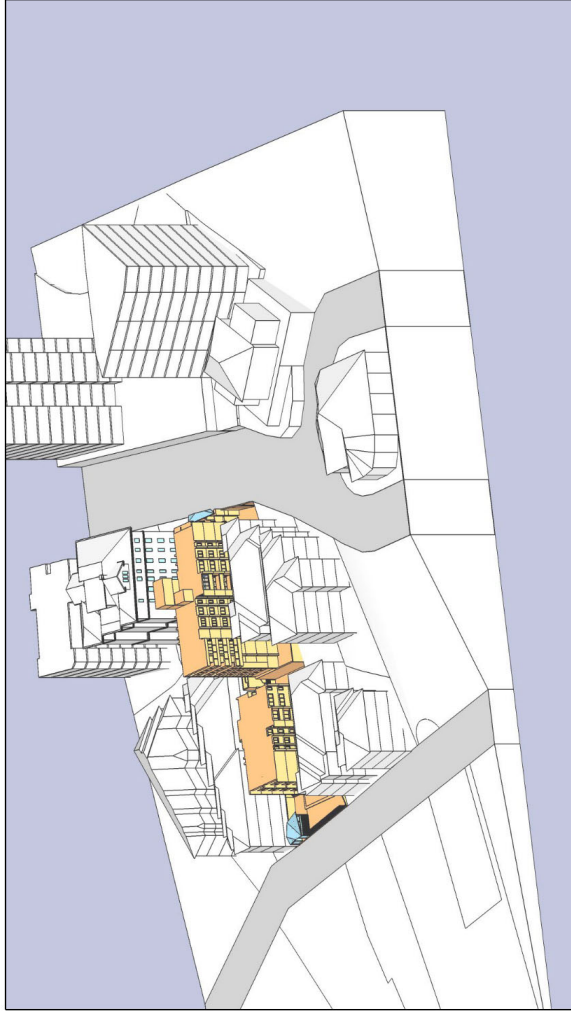
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DRAWN BY

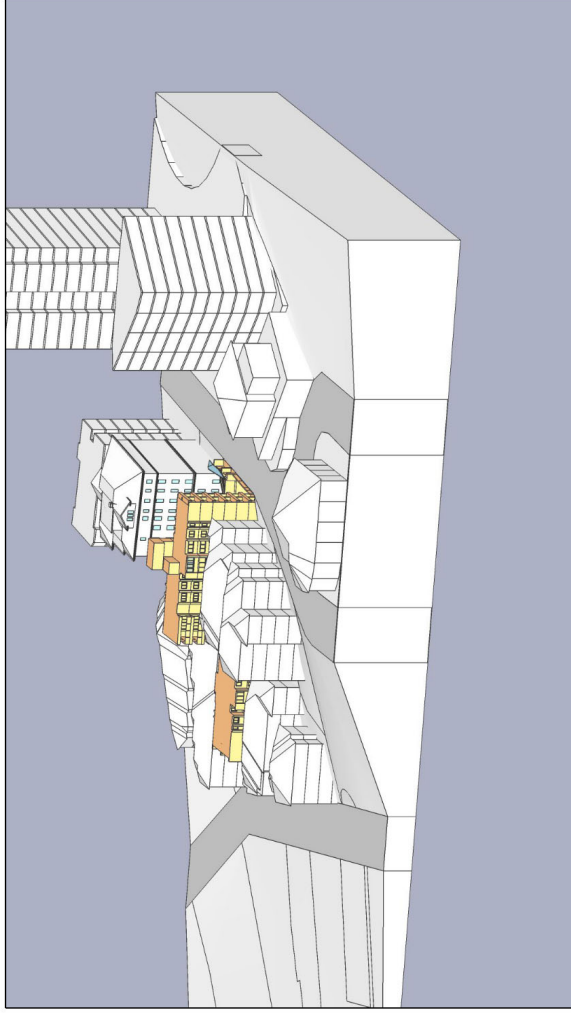
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DA
804

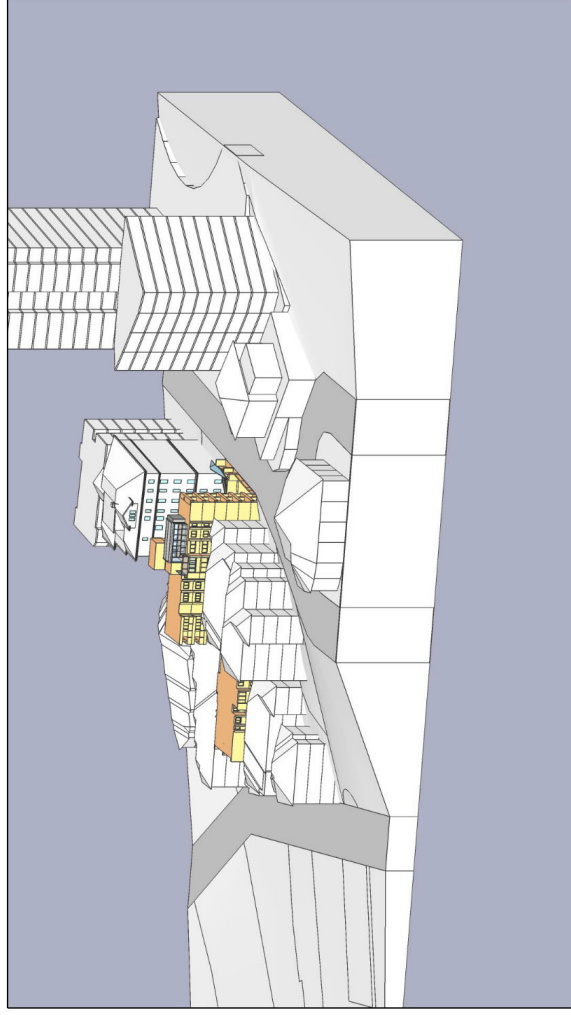
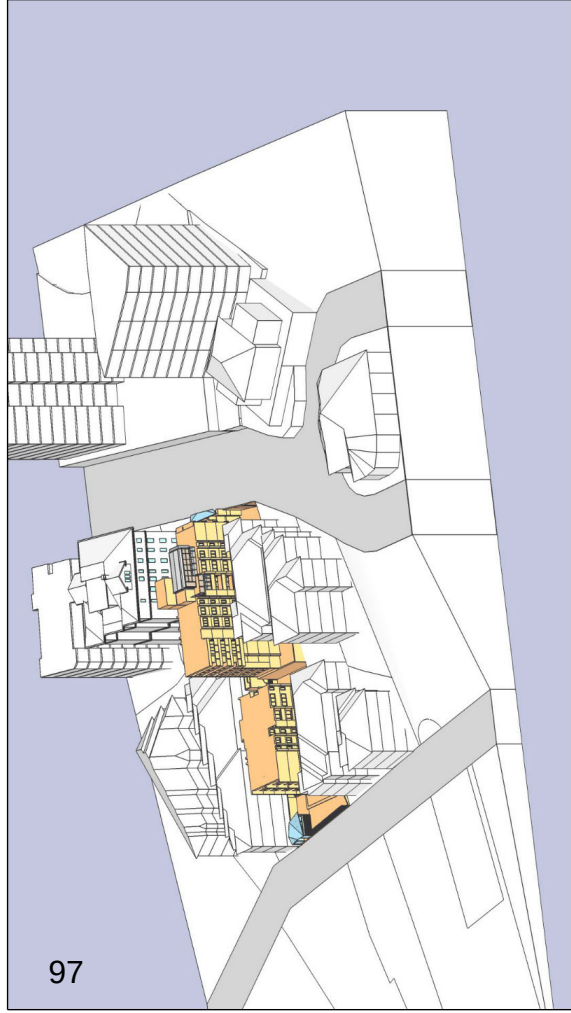
ISSUE
E



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 02:00 PM



VIEW FROM THE SUN - MID-WINTER
EXISTING CONDITION 03:00 PM



VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 02:00 PM

VIEW FROM THE SUN - MID-WINTER
PROPOSAL CONDITION 03:00 PM

ARCHITECT



**CRACKNELL
&
LONERGAN**
ARCHITECTS PTY LTD

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NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknellonerGAN.com.au

BASIX / NATURES CERTIFICATION
sw-01 external louvreblind (adjustable)
sw-02 external louvreblind (adjustable)
NE-01 external louvreblind (adjustable)

NOTES
FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other consultants' drawings
and reports. It is not to be used for any other purpose without the written
consent of the architect. The architect is not responsible for any errors or
omissions in this drawing.

DATE **REVISION**
22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020 DA-D AMENDMENTS BASED ON MODEL
13/07/2020 DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE
PROJECT
ADDRESS
STAGE
CLIENT
SCALE

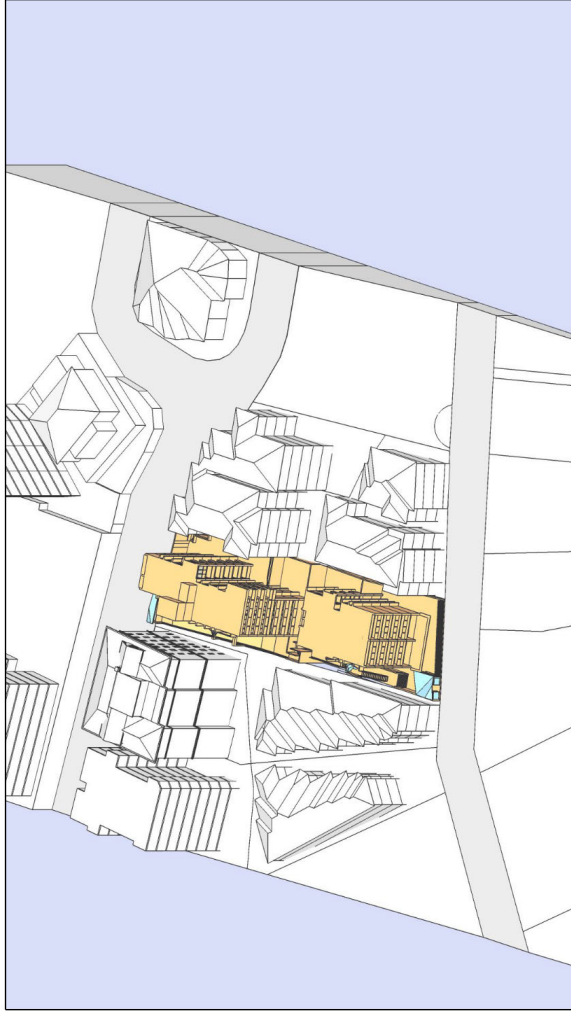
VIEW FROM THE SUN - MID-WINTER | 14:00 & 15:00
ALTS & ADDS TO EXISTING APARTMENT
UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
DEVELOPMENT APPLICATION
MR. PATRICK LANE
THIS PAGE IS NOT TO SCALE

DRAWN BY [CL/HC]

DA
805
ISSUE
E



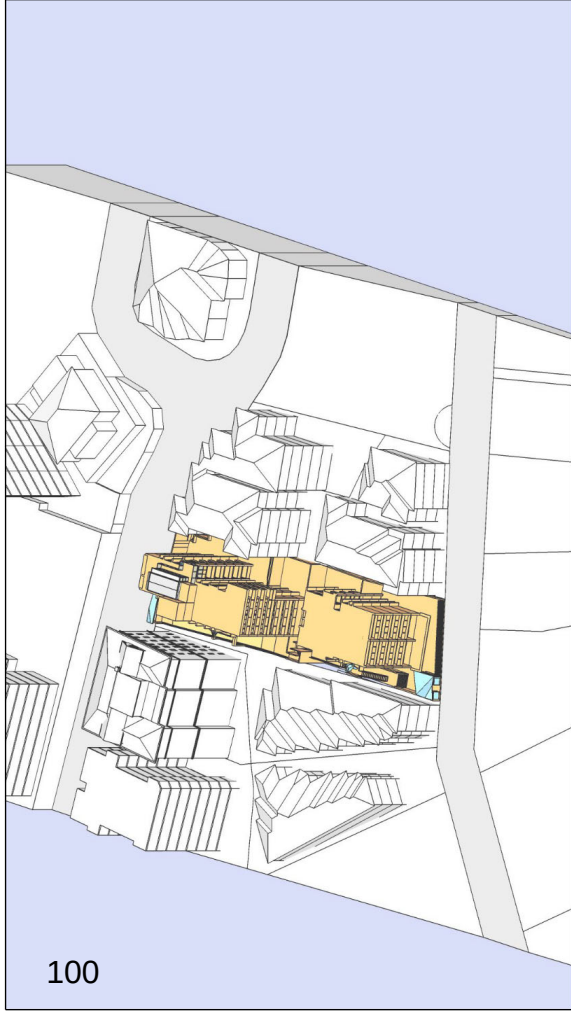
ARCHITECT		ABN 55 100 940 501 Newland Architects Pty Ltd NSW Architects Registration No. 5983		156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au		BASIC / MATTERS CERTIFICATION		SW01 external louvreblind (adjustable) SW02 external louvreblind (adjustable) NE01 external louvreblind (adjustable)		NOTES		FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other construction drawings and reports. All dimensions are based on the latest information and survey data.		DATE		REVISION		TITLE		EQUINOX SHADOWS		DA	
		22/10/2019		DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		PROJECT		ALTS & ADDS TO EXISTING APARTMENT		901		22/10/2019		DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		ADDRESS		UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY		13/01/2019		ISSUE	
		08/05/2020		DA-D AMENDMENTS BASED ON MODEL		STAGE		DEVELOPMENT APPLICATION		E		13/07/2020		DA-E CORRECTION - MGA 84 INFORMATION & SURVEY INFO.		CLIENT		MR. PATRICK LANE		13/07/2020		SCALE	
		1:500 @A3, 1:250 @A1		DRAWN BY		[CL/HJC]																	



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 10:00 AM



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 11:00 AM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 10:00 AM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 11:00 AM

ARCHITECT



**CRACKNELL
&
LONERGAN**
ARCHITECTS PTY LTD

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Newcastle Architect
NSW Architects Registration No. 5983
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknellonergan.com.au

BASIX / NATURES CERTIFICATION

external louvreblind (adjustable)
external louvreblind (adjustable)
external louvreblind (adjustable)
external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other consultants drawings
and reports. It is not to be used for any other purpose without the written
consent of the architect. The architect is not responsible for the accuracy
of the information provided in this drawing.

DATE REVISION

22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020	DA-D AMENDMENTS BASED ON MODEL
13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS

UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE

DEVELOPMENT APPLICATION

CLIENT

MR. PATRICK LANE

SCALE

THIS PAGE IS NOT TO SCALE

DRAWN BY

[CL/HG]

DA

903

ISSUE

E



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 12:00 NOON



VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 01:00 PM



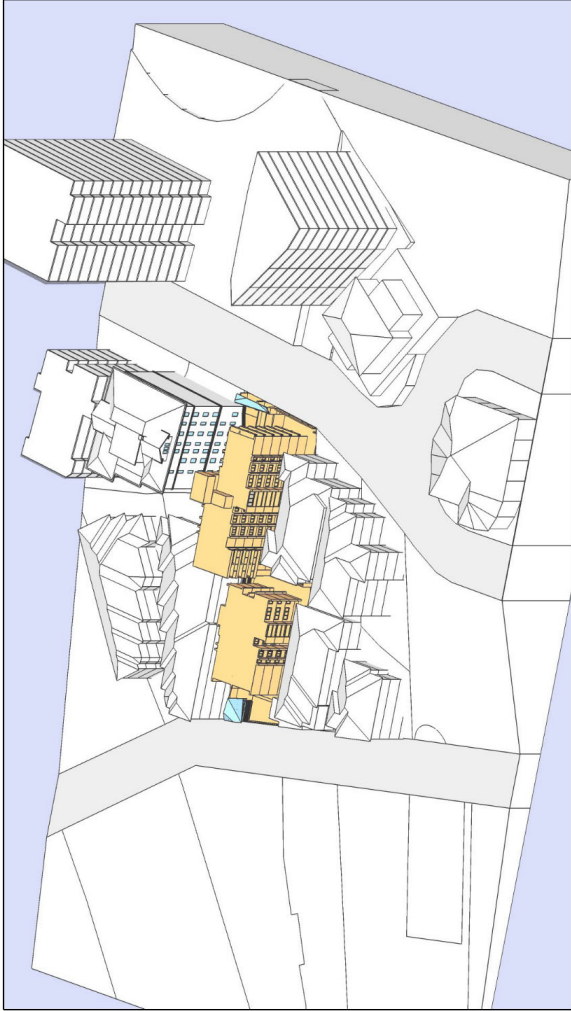
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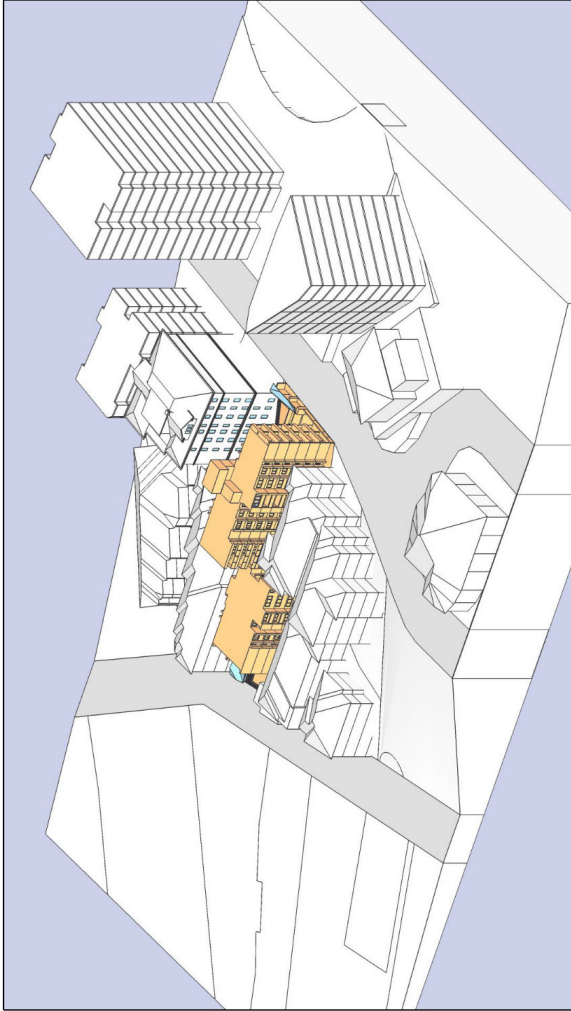
VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 12:00 NOON

VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 01:00 PM

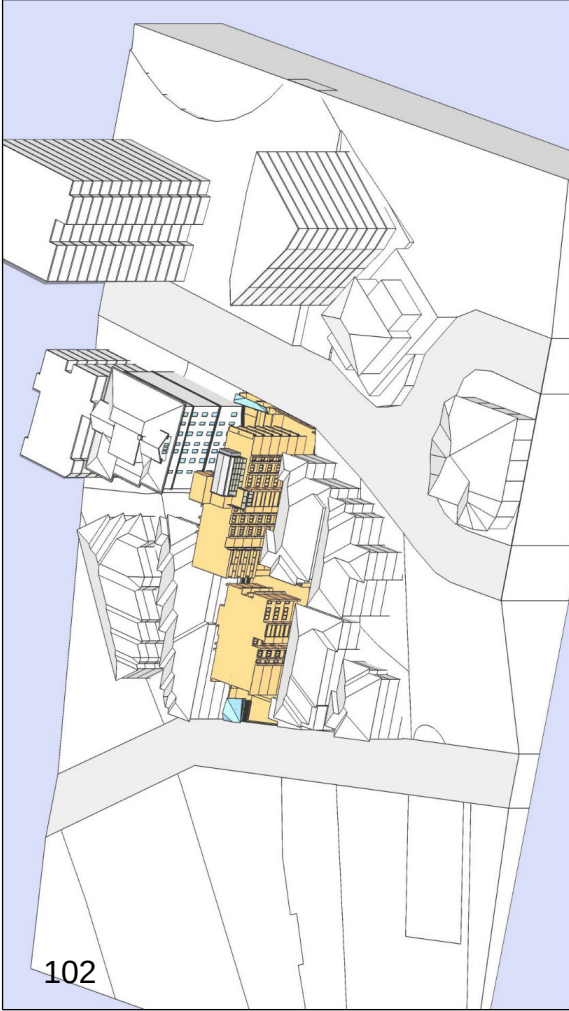
ARCHITECT  CRACKNELL & LONERGAN ARCHITECTS PTY LTD	BASIX / MATTERS CERTIFICATION			NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other consultants drawings and reports. The design is based on the information provided to the architect and is not guaranteed to be accurate. The architect is not responsible for any errors or omissions in this drawing.	DATE	REVISION	TITLE	VIEW FROM THE SUN - EQUINOX 12:00 & 13:00	DA
	ABN 55 100 940 501 Newland Architects Pty Ltd NSW Architects Registration No. 5963				22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	904
	166A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au				13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	
					06/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	ISSUE
					13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	E
						SCALE	THIS PAGE IS NOT TO SCALE		[CL]/[HC]
							DRAWN BY		



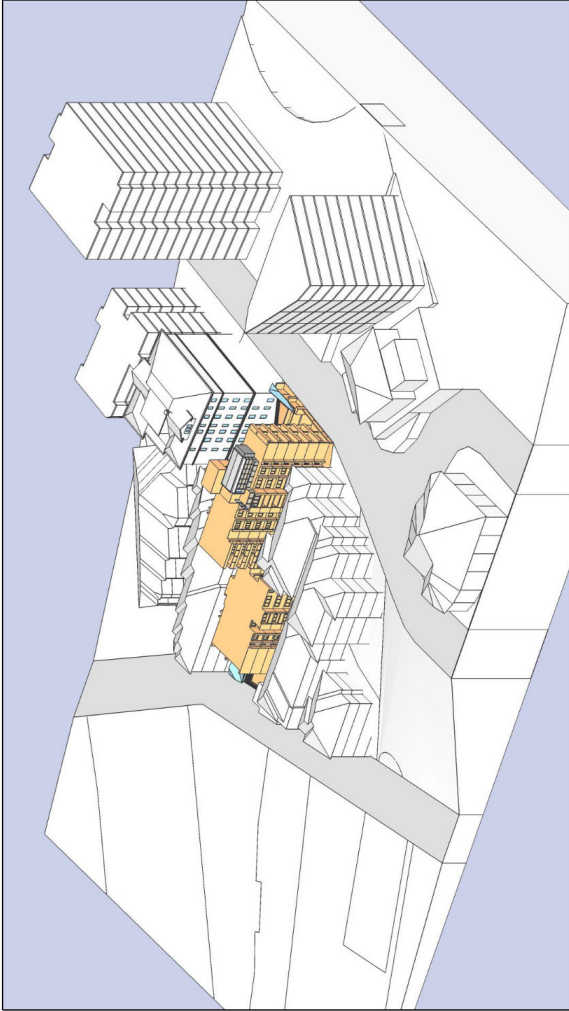
VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 02:00 PM



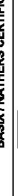
VIEW FROM THE SUN - EQUINOX
EXISTING CONDITION 03:00 PM

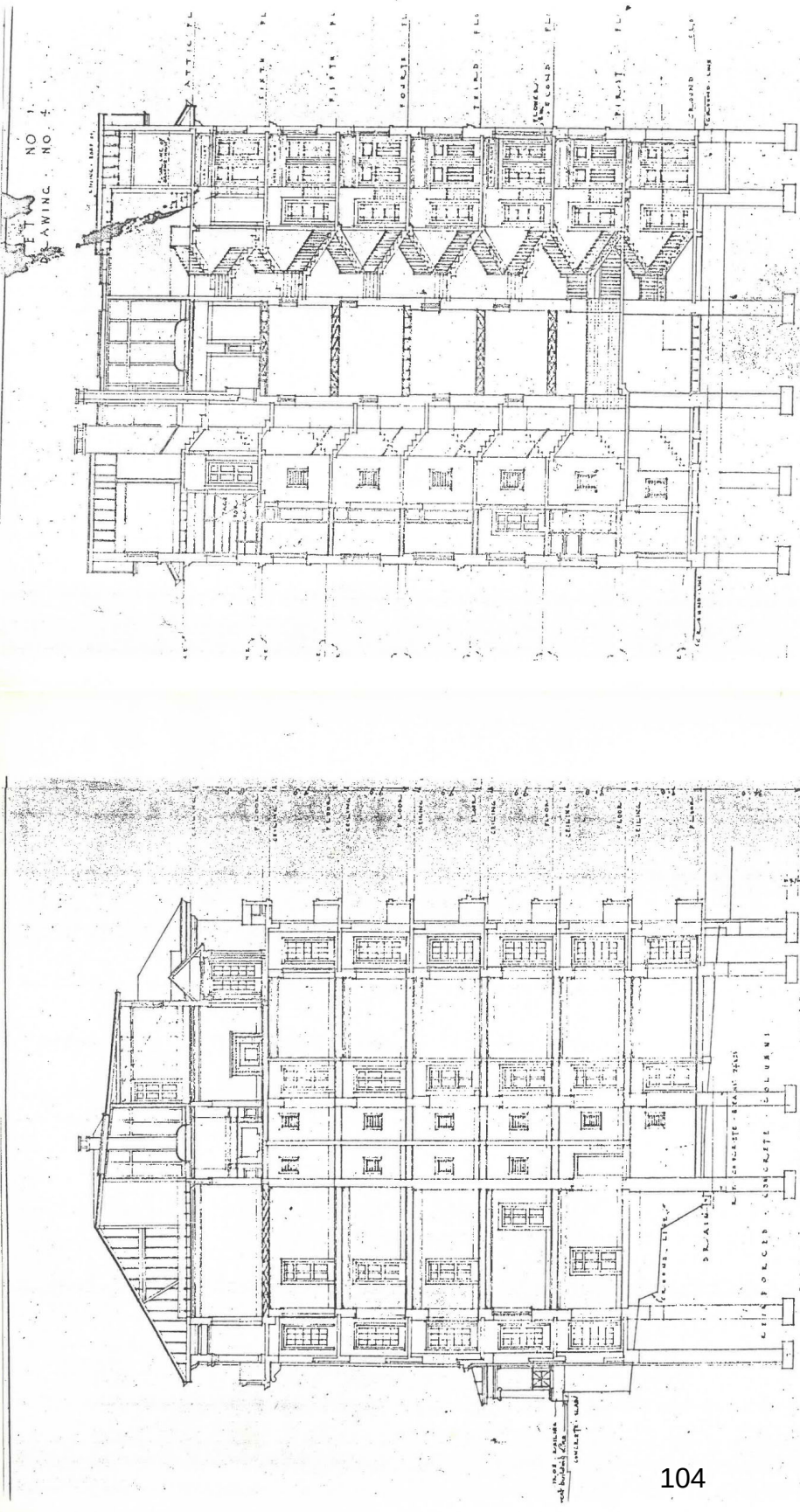


VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 02:00 PM



VIEW FROM THE SUN - EQUINOX
PROPOSAL CONDITION 03:00 PM

ARCHITECT  CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ABN 55 100 940 501 Nominated Architect Peter J LonerGAN NSW Architects Registration No. 5963 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonerGAN.com.au				BASIX / MATTERS CERTIFICATION sws01 external louvreblind (adjustable) sws02 external louvreblind (adjustable) sws03 external louvreblind (adjustable) sws04 external louvreblind (adjustable)		NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be read in conjunction with other consultants' drawings and reports. - This drawing is based on the latest information available to the architect at the time of preparation.		DATE 22/10/2019		REVISION DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		TITLE VIEW FROM THE SUN - EQUINOX 14:00 & 15:00		DA 905	
											PROJECT ALTS & ADDS TO EXISTING APARTMENT					
											ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY					
											STAGE DA-D AMENDMENTS BASED ON MODEL					
											CLIENT MR. PATRICK LANE					
											SCALE THIS PAGE IS NOT TO SCALE		DRAWN BY [CL/HG]			



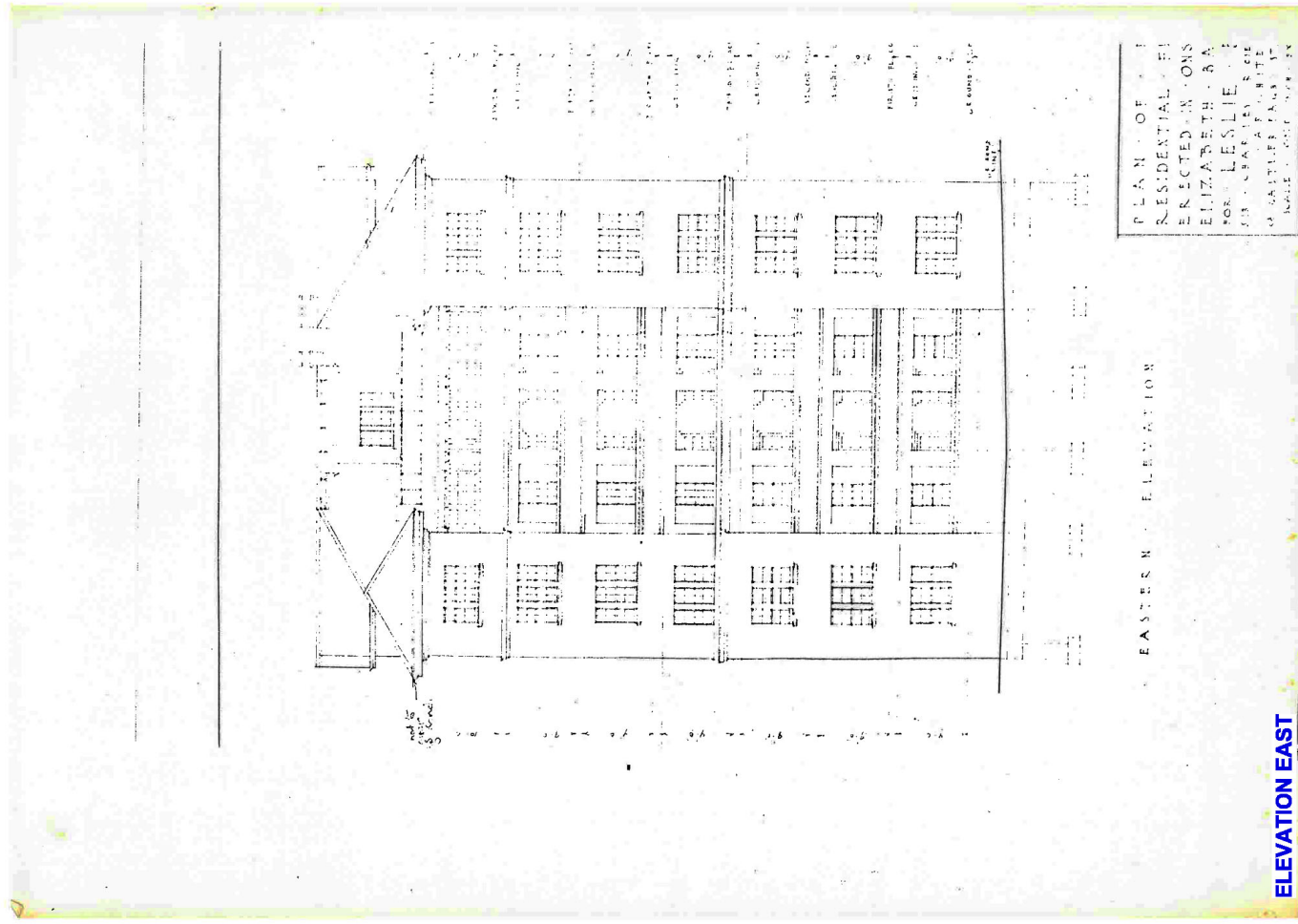
PLAN OF PT
 RESIDENTIAL FL
 ERCTED IN ONSL
 ELIZABETH BAY
 FOR LESLIE BI
 SIR CHARLES ROSE
 A CCHITECTS
 IN CASTLEBRIDGE
 SCALE 1/8" = 1'-0"

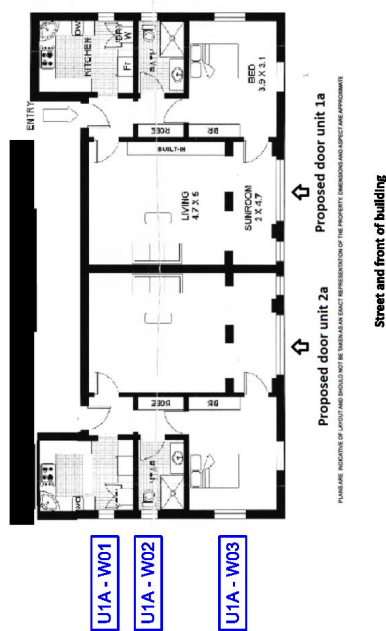
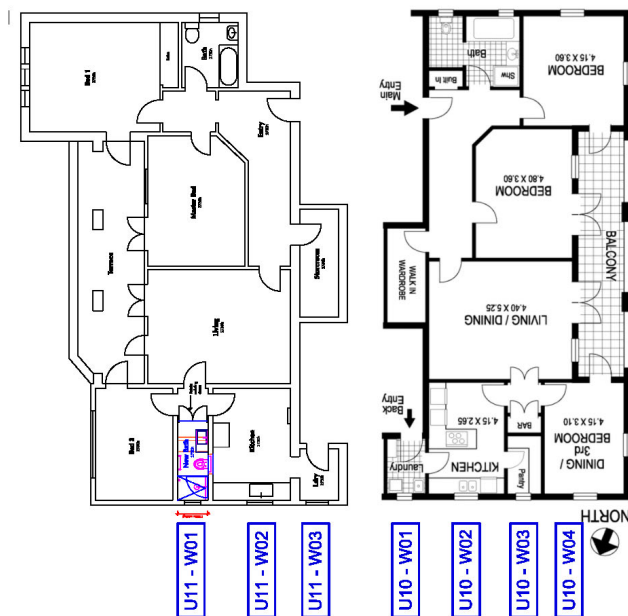
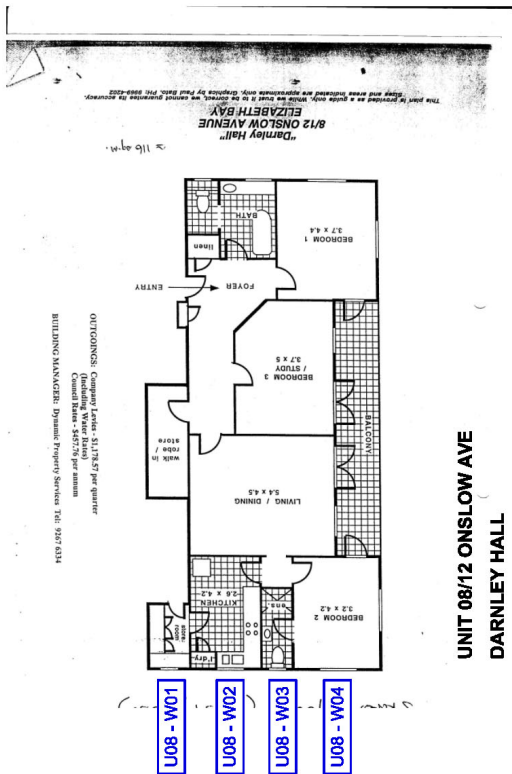
POS
 S TO BE
 AVENUE
 SYDNEY
 Y. ESO
 BAL & DAY
 SYDNEY
 EIGHT FEET

SECTION A-A

SECTION B-B

ARCHITECT	BASIC / MATTERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	ARCHIVAL REFERENCE DRAWINGS (NO. 12 ONSLOW)	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARN 55 100 940 501 NSW Architects Registration No. 5963 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other construction drawings and reports. It is not to be used for any other purpose without the written consent of the architect.	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	ES002
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	ISSUE
			08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	E
			13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	
					SCALE	NOT TO SCALE	
					DRAWN BY	[CL/HG]	





CRACKNEILL & LONERGAN

ARCHITECTS PTY LTD

ABN 55 100 940 501
 Notified Architect Peter J Loneragan
 NSW Architect Registration No. 5861
 external lounge/bed (adjustable)
 external lounge/bed (adjustable)
 external lounge/bed (adjustable)
 external lounge/bed (adjustable)

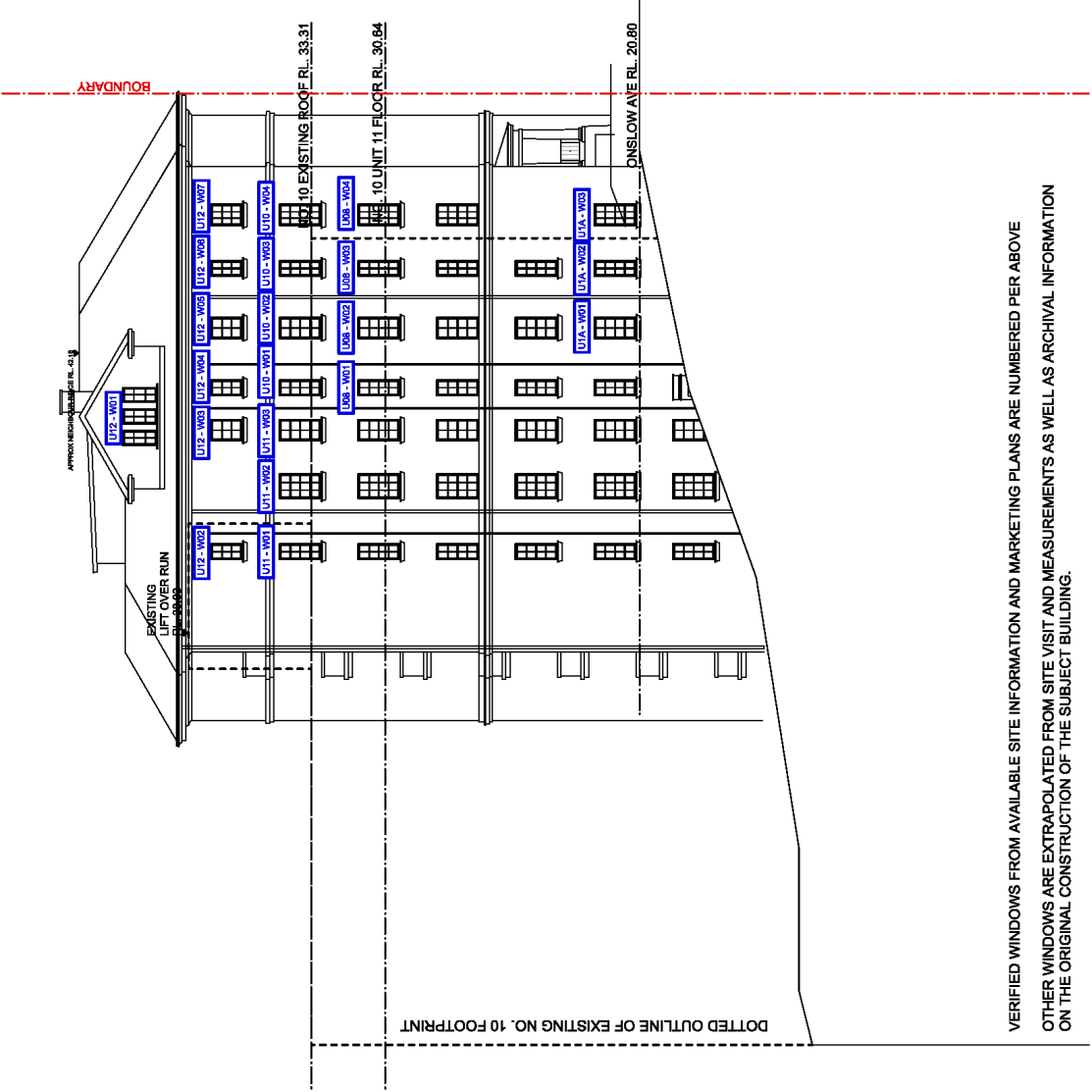
FOR DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION

* Drawings are to be used in conjunction with other consultants drawings
 * All survey information and proposed building and structural sections levels
 shown are based on levels obtained from topographic surveying.



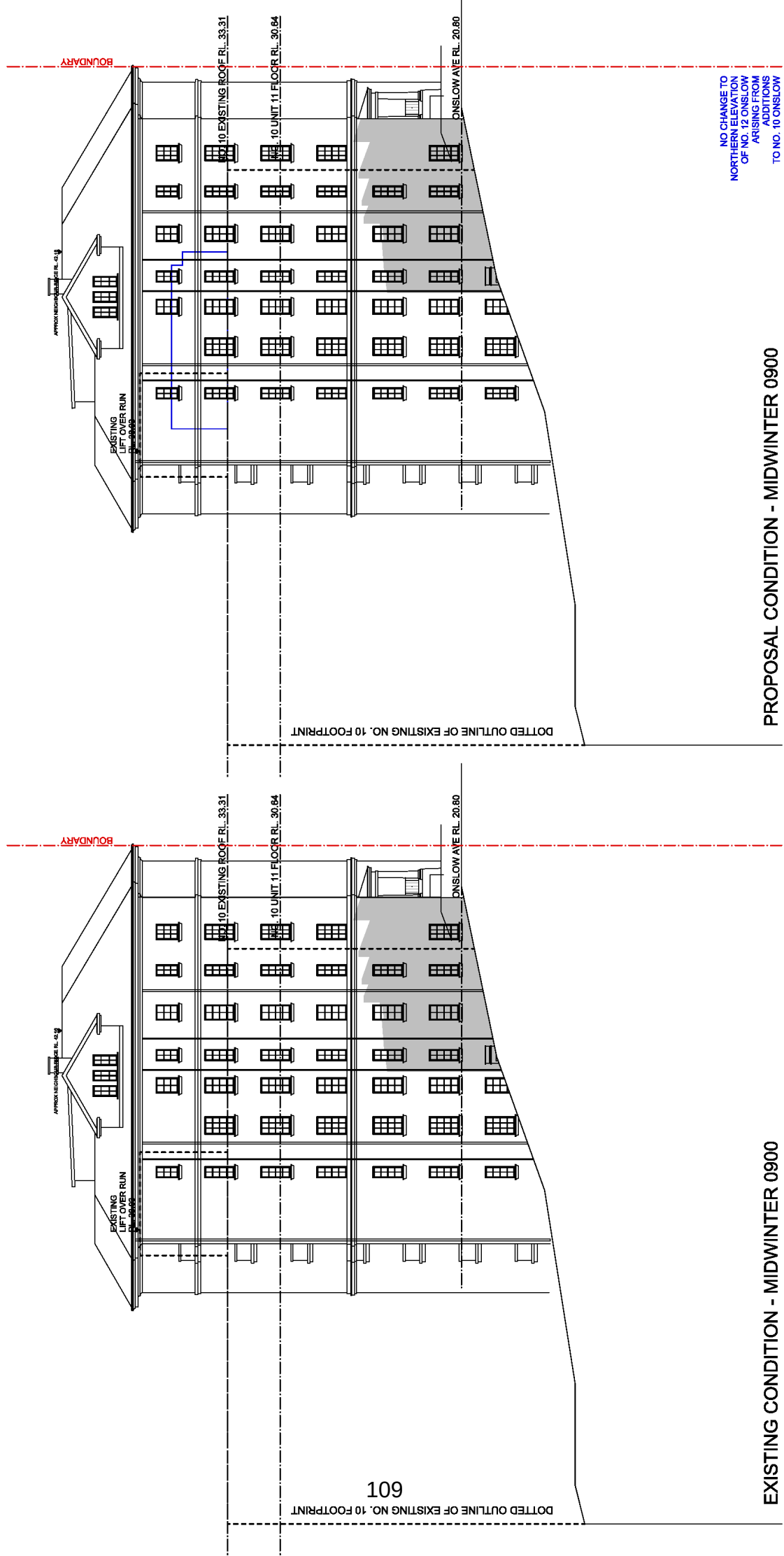
BASIS / NATHERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	NORTHERN ELEVATION - WINDOW IDENTIFICATION
SWW1 external lounge/bed (adjustable)		22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
WW02 external lounge/bed (adjustable)		13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLow AVE, ELIZABETH BAY
NC03 external lounge/bed (adjustable)		08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
		13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
				SCALE	TCL/HCL

SITE PHOTO OF THE NEIGHBOUR'S NORTH ELEVATION (NO. 12 ONSLOW AVE) W/ CORRESPONDING WINDOWS IDENTIFIED



VERIFIED WINDOWS FROM AVAILABLE SITE INFORMATION AND MARKETING PLANS ARE NUMBERED PER ABOVE
OTHER WINDOWS ARE EXTRAPOLATED FROM SITE VISIT AND MEASUREMENTS AS WELL AS ARCHIVAL INFORMATION
ON THE ORIGINAL CONSTRUCTION OF THE SUBJECT BUILDING.

ARCHITECT	DATE	REVISION	TITLE	NORTHERN ELEVATION - WINDOW IDENTIFICATION	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ALTS & ADDS TO EXISTING APARTMENT	ES006
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	ISSUE E
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION	
	13/07/2020	DA-E CORRECTION - MGA 84 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE	
			SCALE	1:200 @A3, 1:100@A1	DRAWN BY [CL/HC]



NO CHANGE TO
NORTHERN ELEVATION
OF 10 ONSLOW
ARISING FROM
ADDITIONS
TO NO. 10 ONSLOW

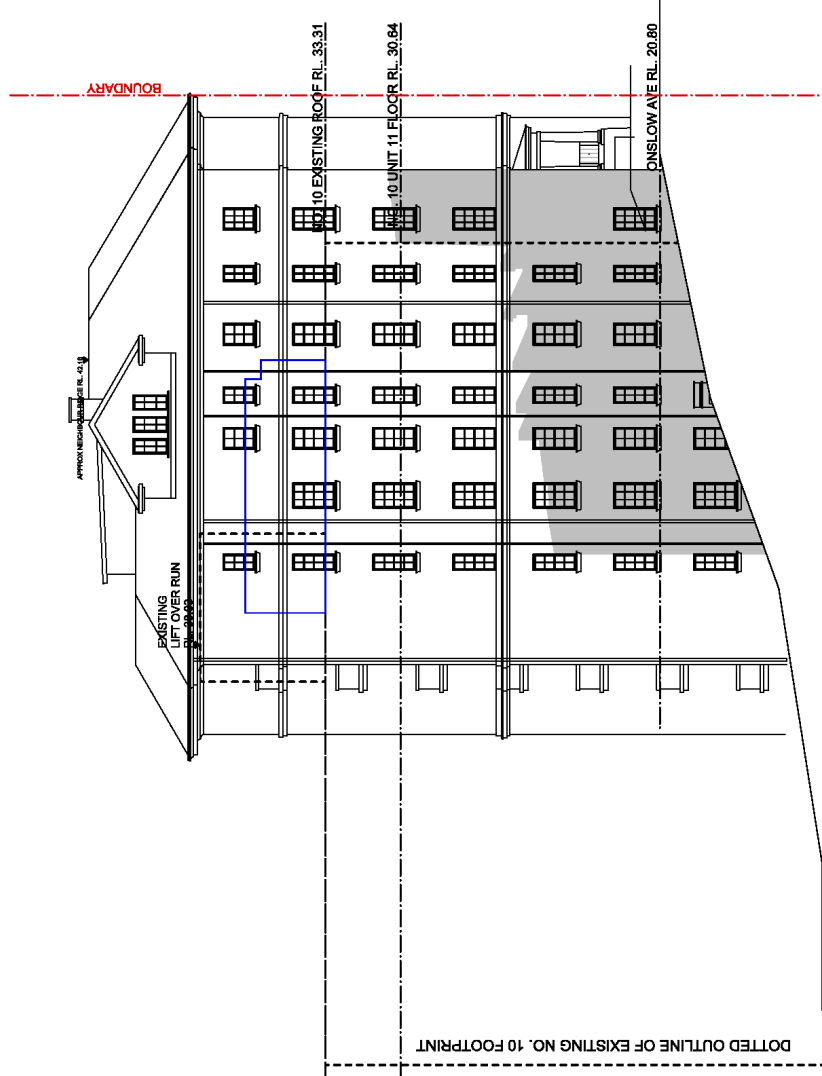
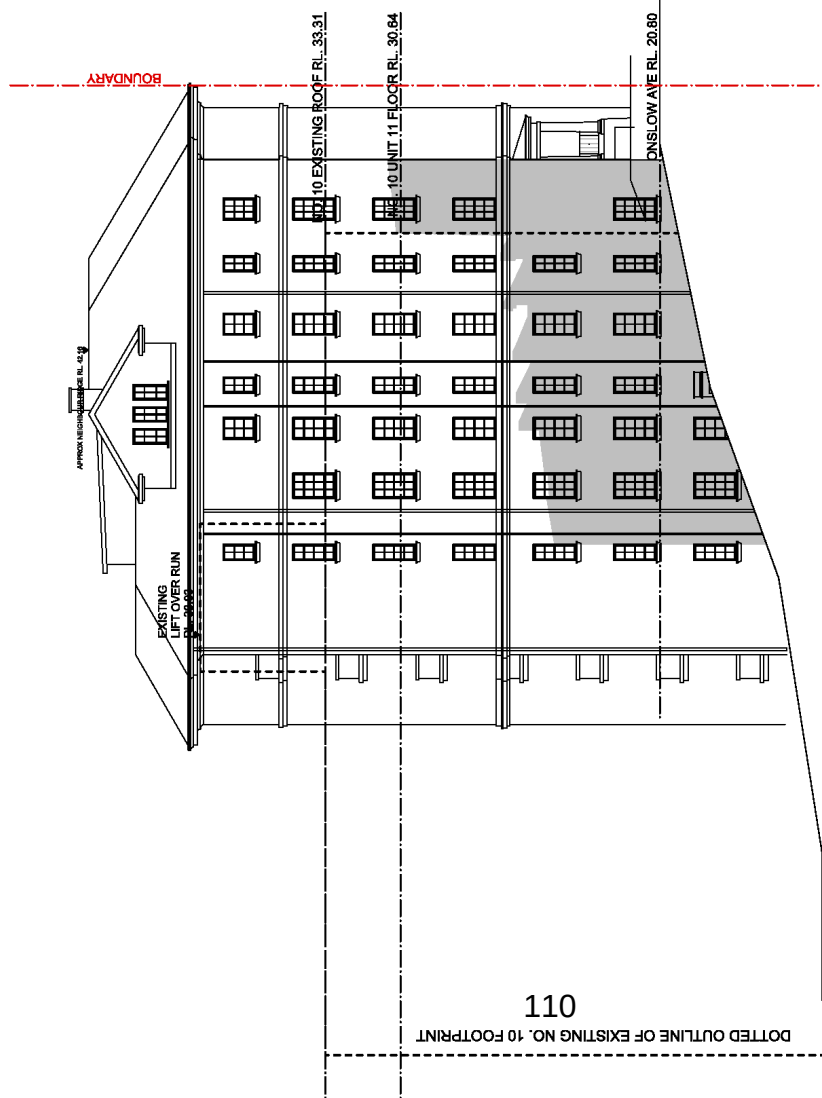
PROPOSAL CONDITION - MIDWINTER 0900

EXISTING CONDITION - MIDWINTER 0900

ARCHITECT	DATE	REVISION	TITLE	DA
 CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 Newland Architects Pty Ltd NSW Architects Registration No. 5862 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonerGAN.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES007
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1
				DRAWN BY [CL/HC]

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other construction drawings
and reports. It is not to be used for any other purpose without the written
consent of the architect. The architect is not responsible for any errors or
omissions in this drawing.

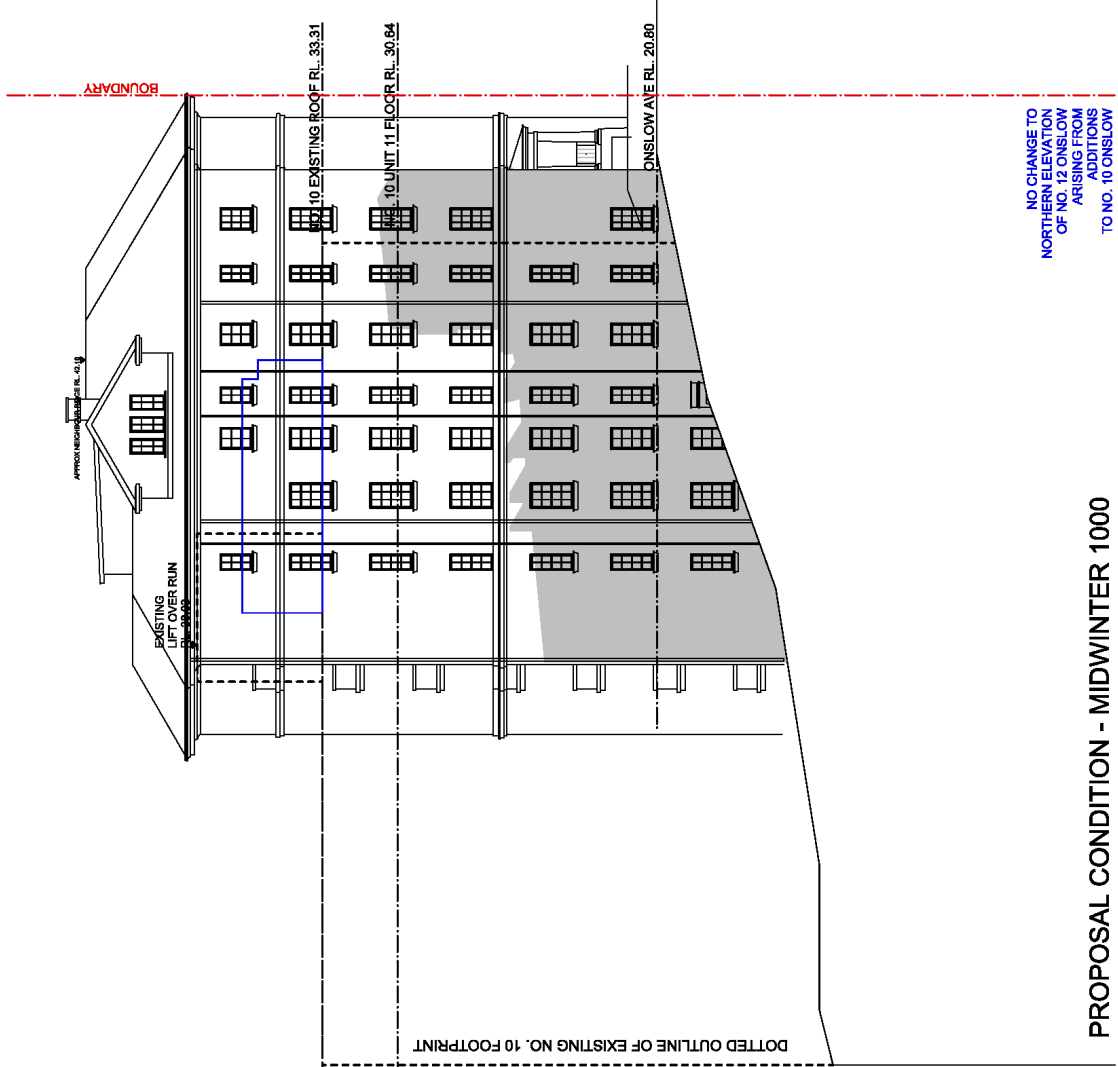
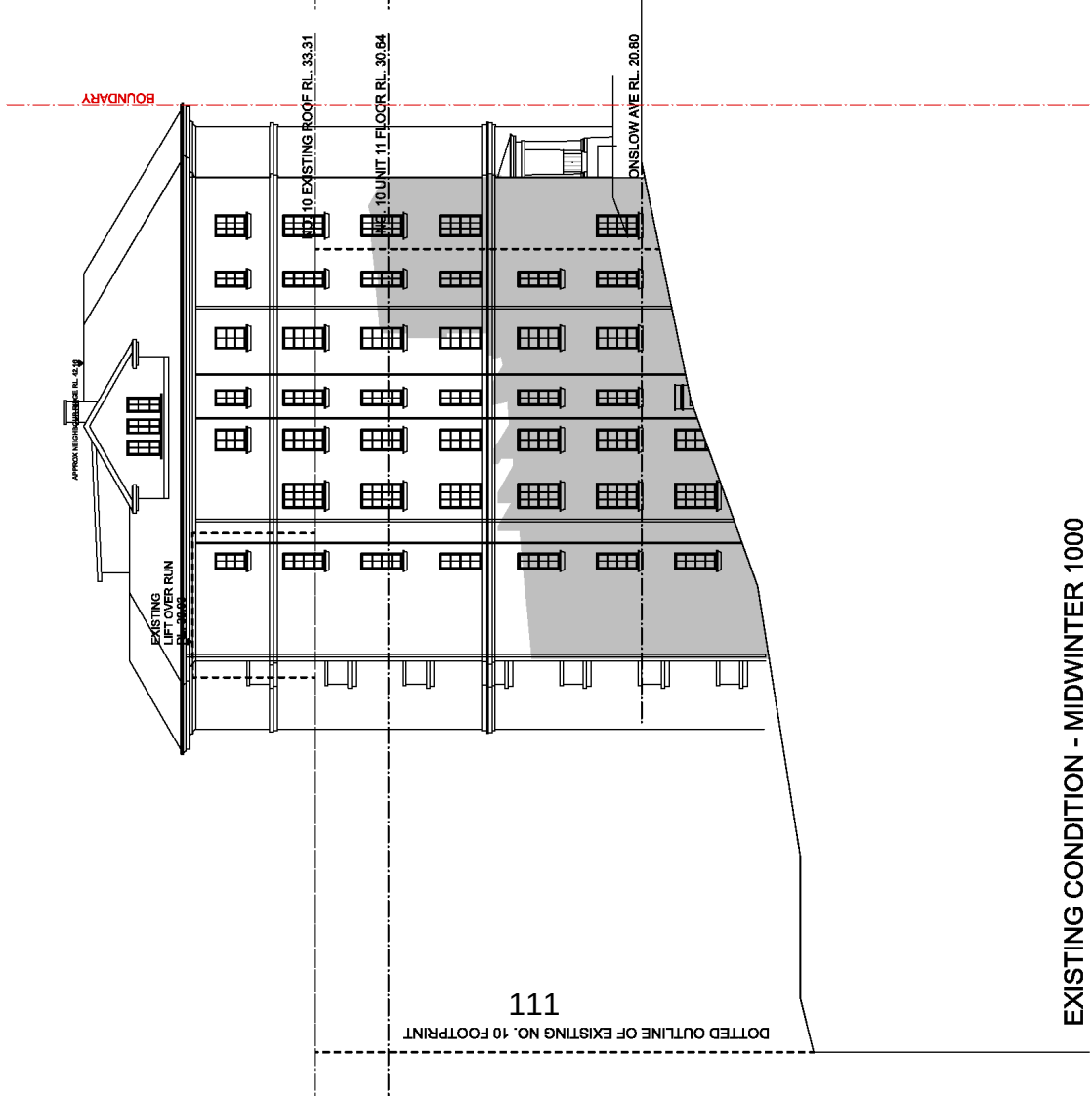




EXISTING CONDITION - MIDWINTER 0930

PROPOSAL CONDITION - MIDWINTER 0930

[illegible]



NO CHANGE TO
NORTHERN ELEVATION
OF 10 ONSLOW
ARISING FROM
ADDITIONS
TO NO. 10 ONSLOW

EXISTING CONDITION - MIDWINTER 1000

PROPOSAL CONDITION - MIDWINTER 1000

ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ABN 55 100 940 501 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES009
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1
				ISSUE
				E
				DRAWN BY [CL/HC]

ELEVATIONAL SHADOWS MID-WINTER 1000

ALTS & ADDS TO EXISTING APARTMENT

UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

DEVELOPMENT APPLICATION

MR. PATRICK LANE

1:200 @A3, 1:100@A1

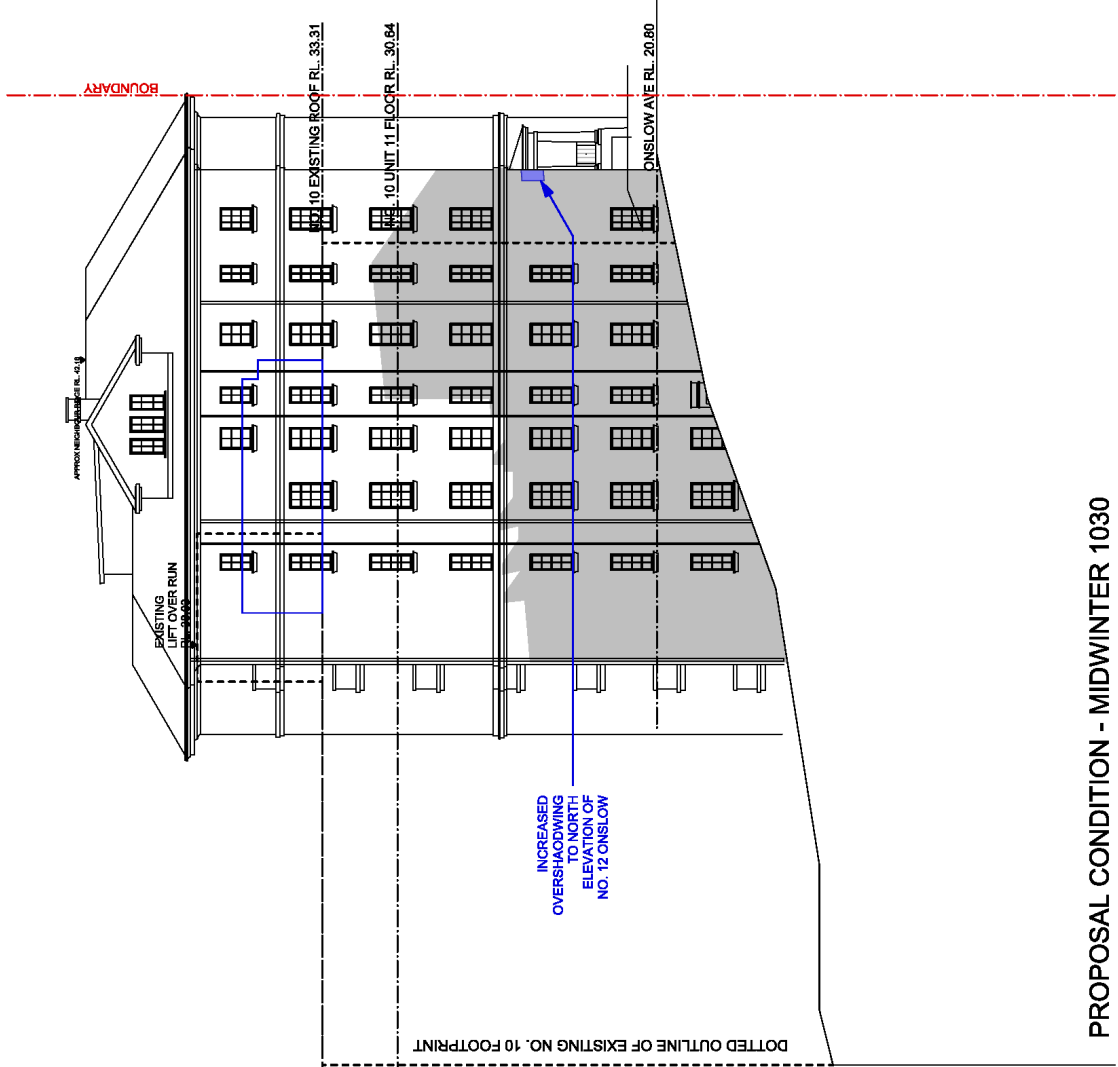
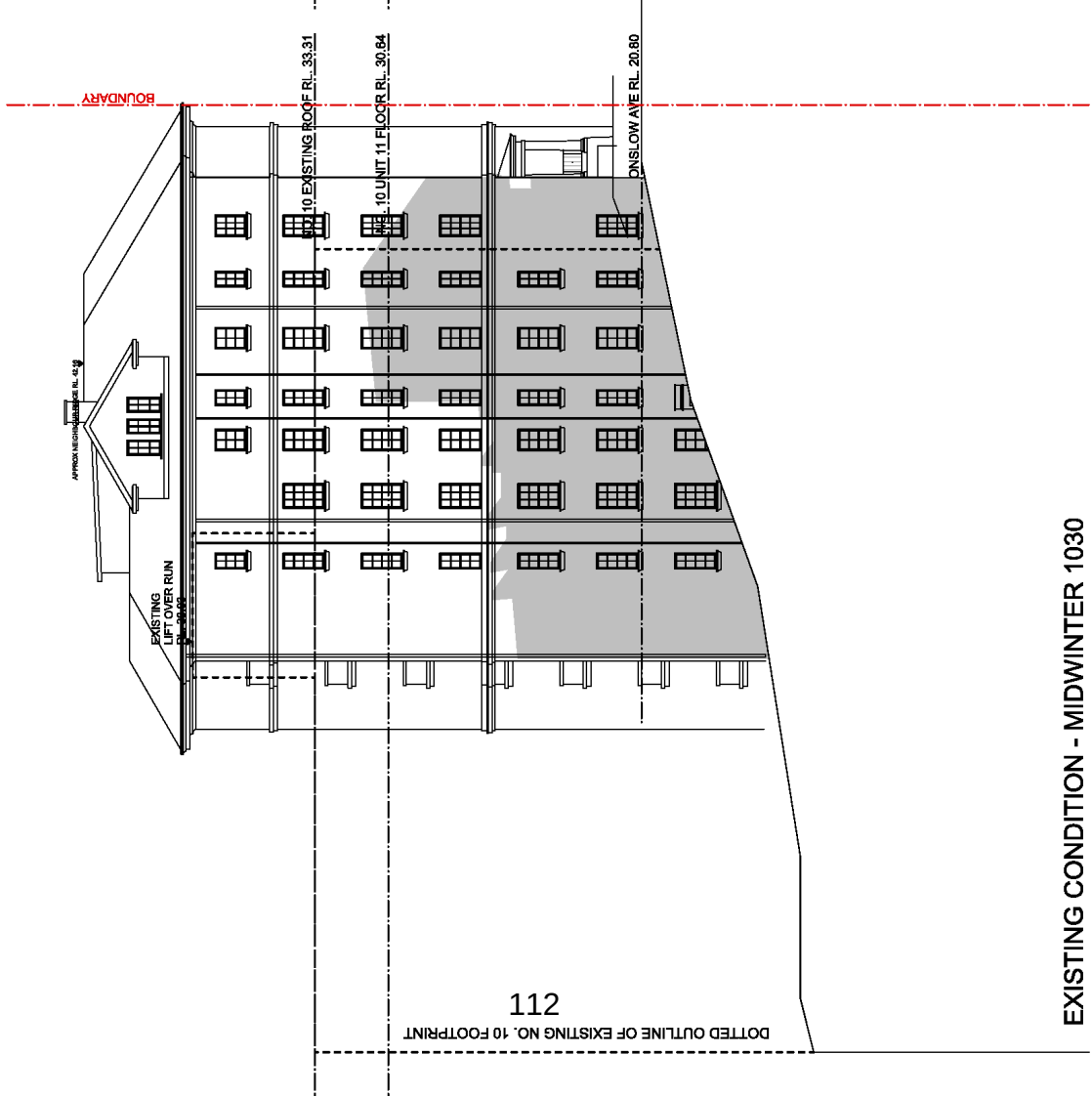
ISSUE

E

DRAWN BY [CL/HC]

ARCHITECT

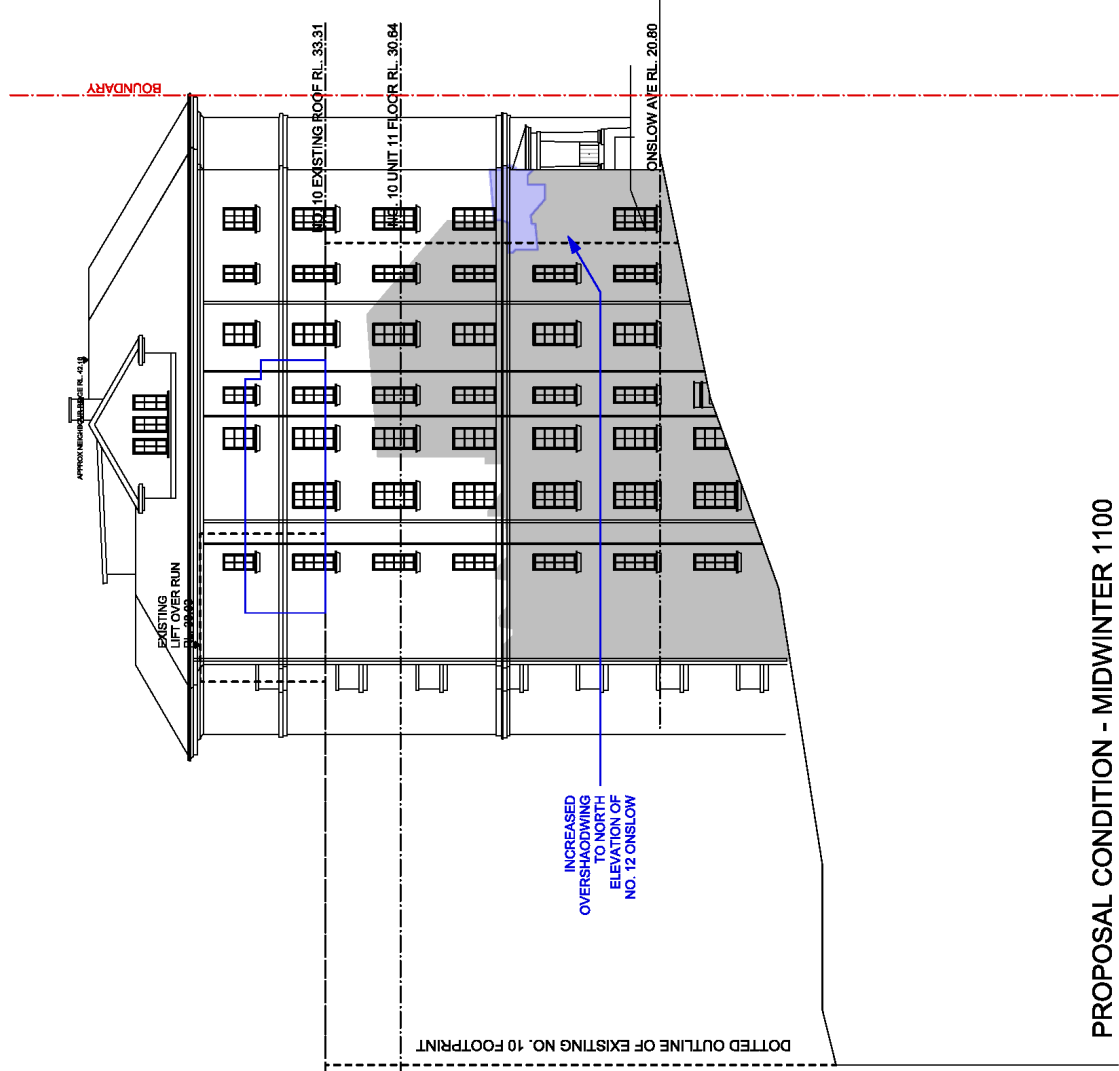
CRACKNELL & LONERGAN
ARCHITECTS PTY LTD



EXISTING CONDITION - MIDWINTER 1030

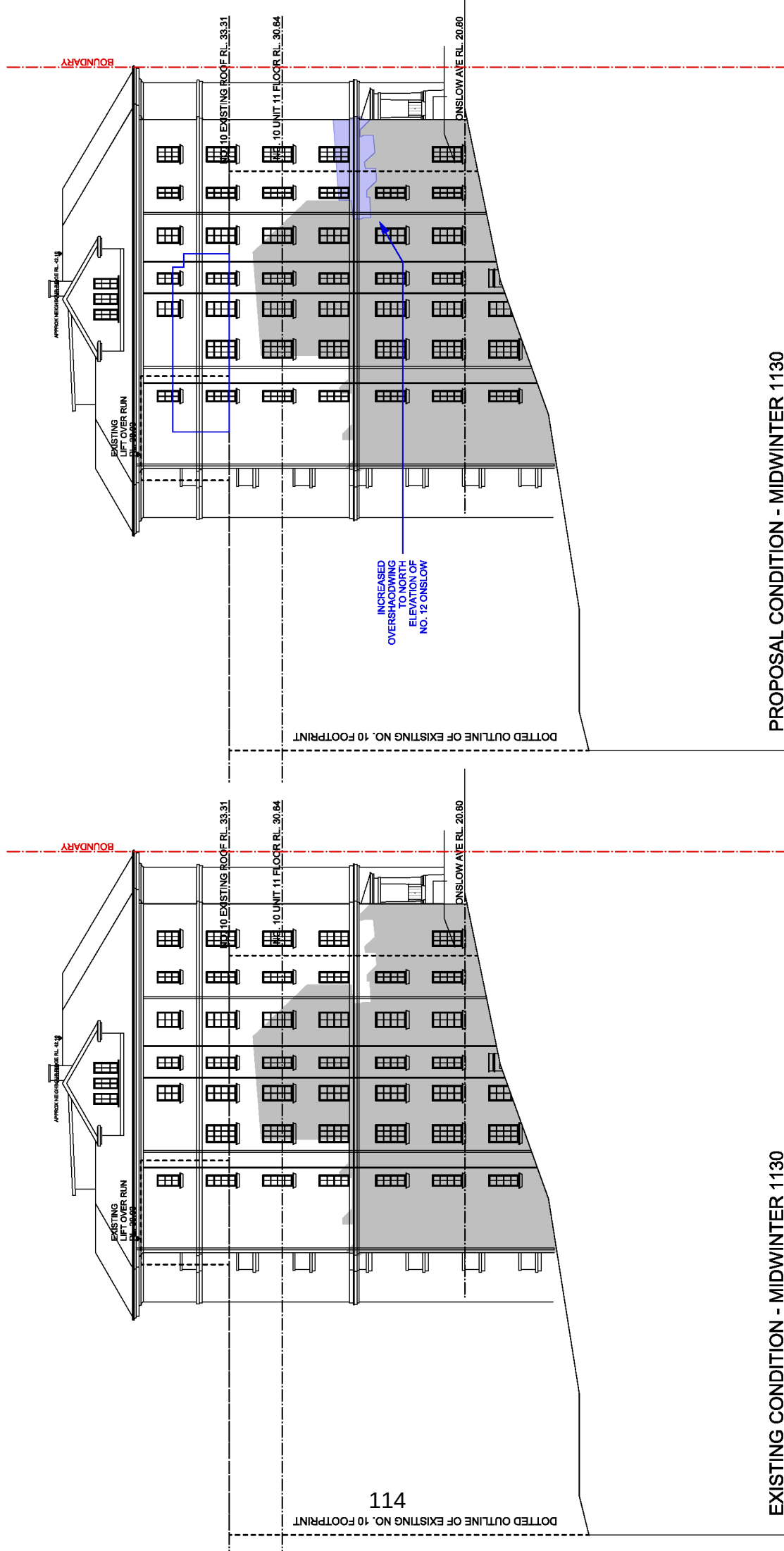
PROPOSAL CONDITION - MIDWINTER 1030

ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES010
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]
BASIX / MATTERS CERTIFICATION ARN 55 100 940 501 [sw01] external louvreblind (adjustable) [sw02] external louvreblind (adjustable) [sw03] external louvreblind (adjustable) [sw04] external louvreblind (adjustable)				
NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other construction drawings and reports. The drawings are based on the information provided by the client and are not to be used for any other purpose. The drawings are based on the information provided by the client and are not to be used for any other purpose.				



PROPOSAL CONDITION - MIDWINTER 1100

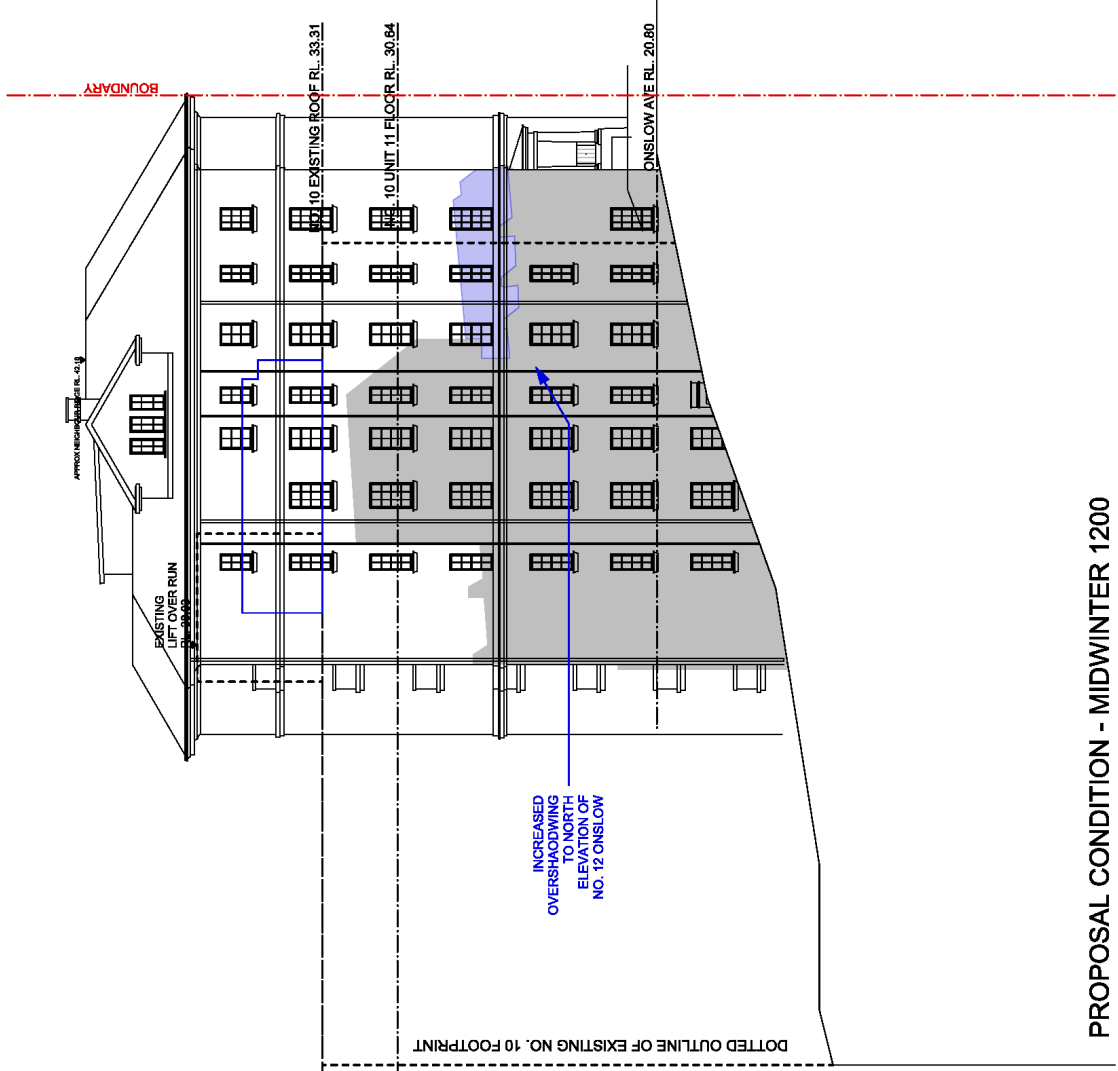
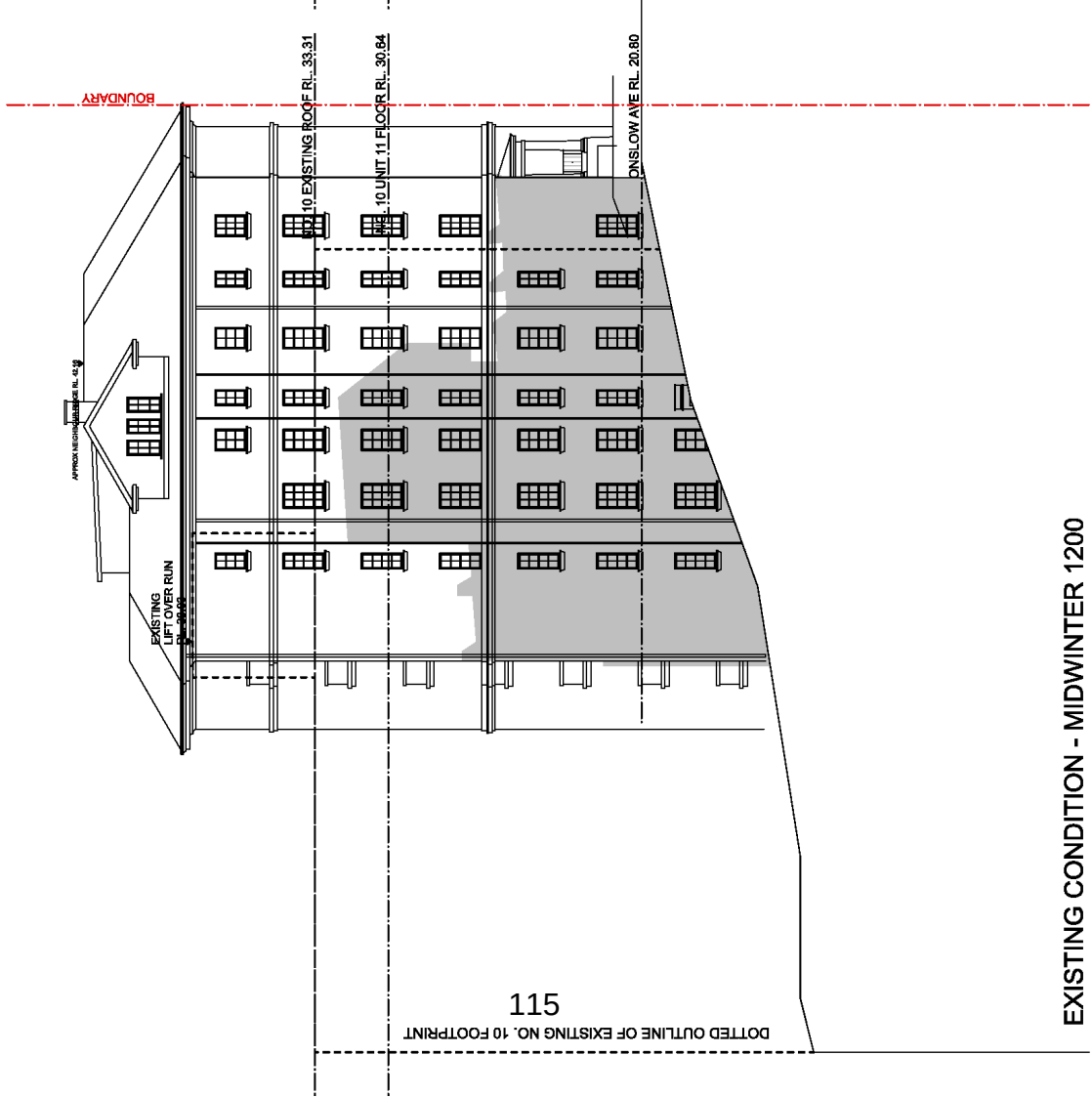
[illegible]



EXISTING CONDITION - MIDWINTER 1130

PROPOSAL CONDITION - MIDWINTER 1130

ARCHITECT CRACKNELL & LONERGAN ARCHITECTS PTY LTD	BASIX / MATTERS CERTIFICATION				NOTES	DATE										REVISION										TITLE										DA																			
	ABN 55 100 940 501					22/10/2019										DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI										PROJECT										ELEVATIONAL SHADOWS MID-WINTER 1130																			
	external louvre/blind (adjustable)																																			ALTS & ADDS TO EXISTING APARTMENT																			
	Nominal Architect: Peter Loneragan																																			ADDRESS										UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY									
	NSW Architects Registration No. 55863																																			STAGE										DEVELOPMENT APPLICATION									
	external louvre/blind (adjustable)																																			CLIENT										MR. PATRICK LANE									
	156A CHURCH STREET																																			SCALE										1:200 @A3, 1:100@A1									
	NEWTOWN NSW 2042																																			DRAWN BY										[CL/HC]									
	PHONE +61 2 9565 1554																																																						
	email@cracknelloneragan.com.au																																																						



EXISTING CONDITION - MIDWINTER 1200

PROPOSAL CONDITION - MIDWINTER 1200

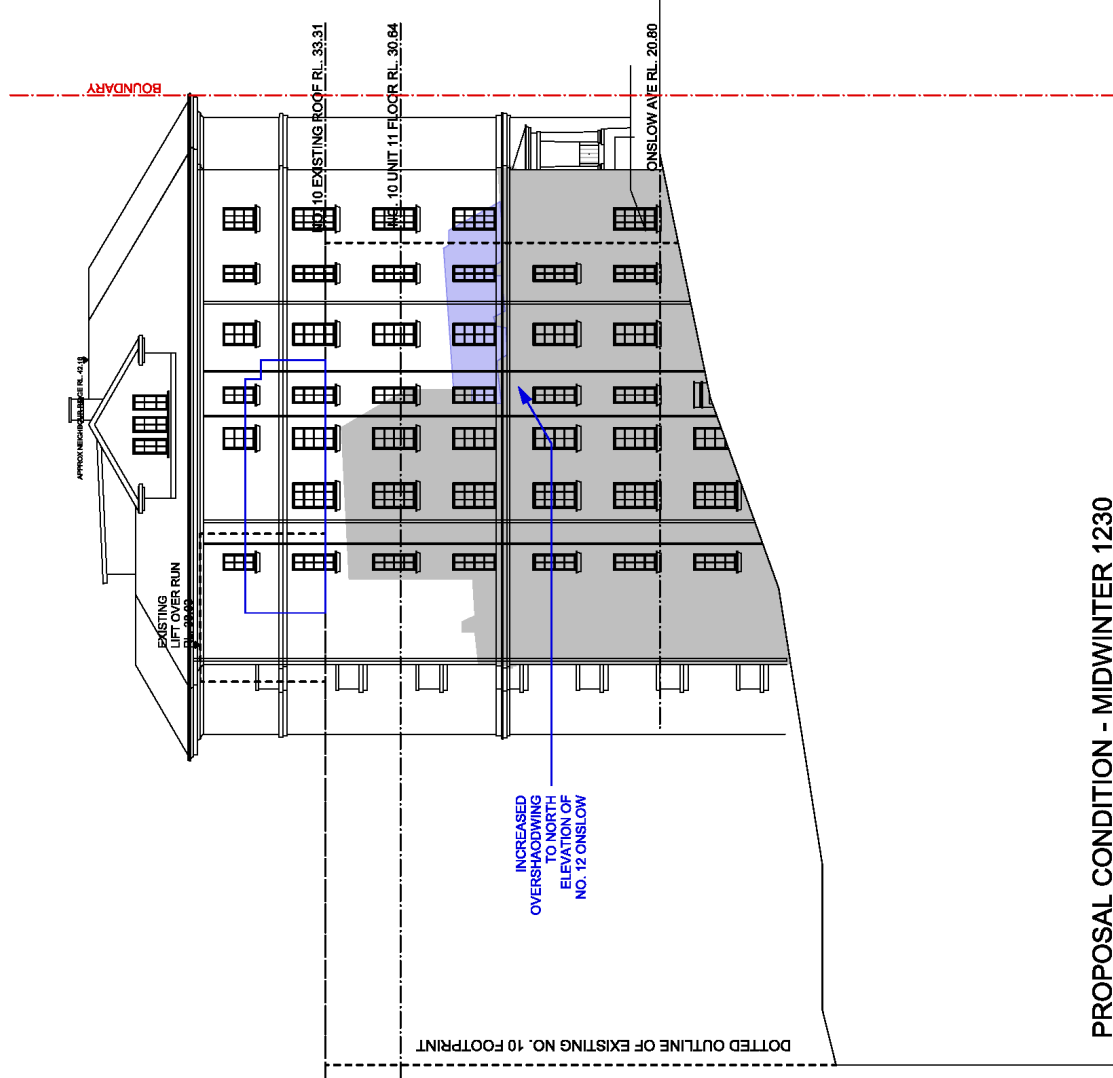
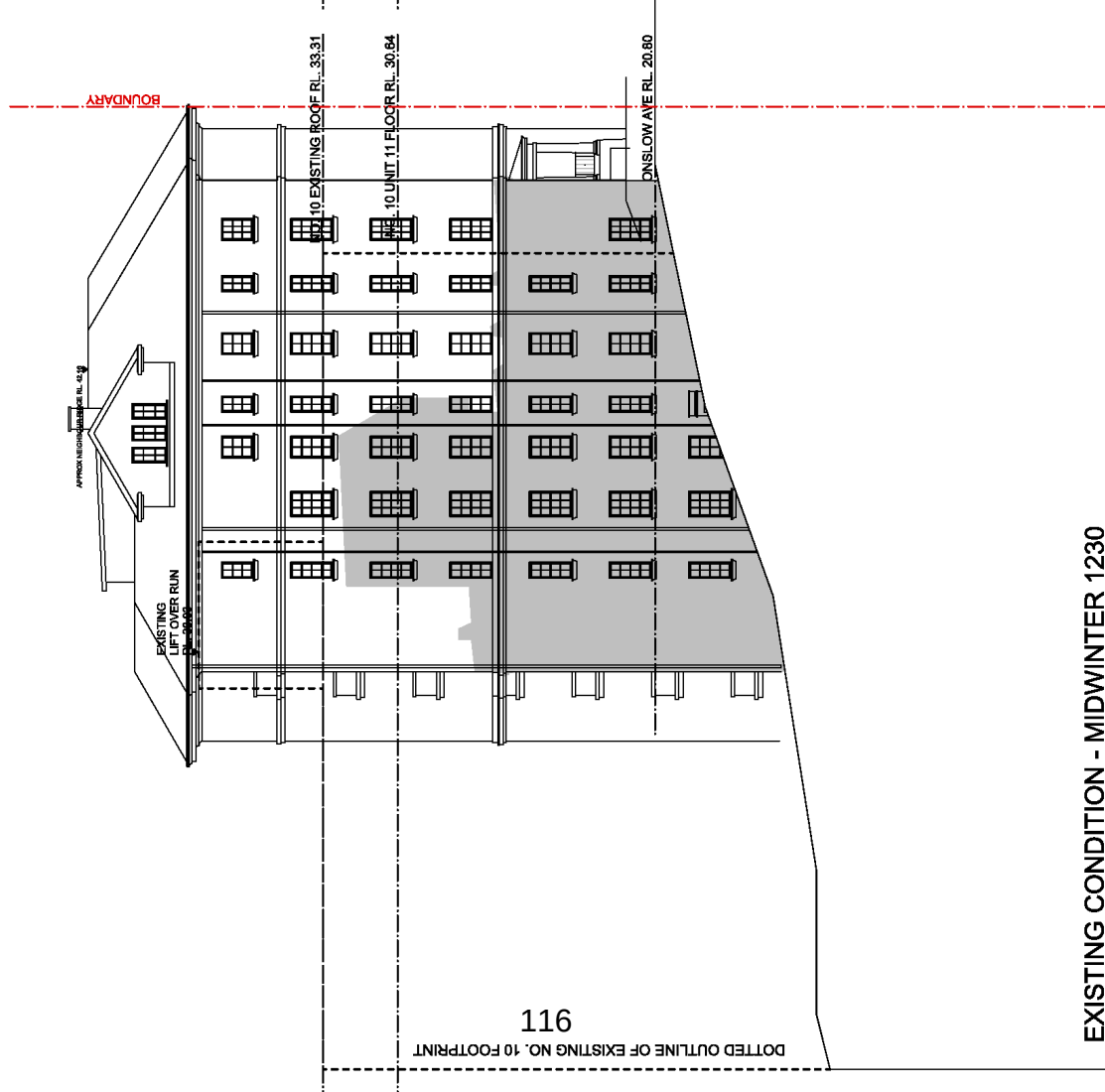
ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES013
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]

ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES013
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]

ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES013
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]

ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES013
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]

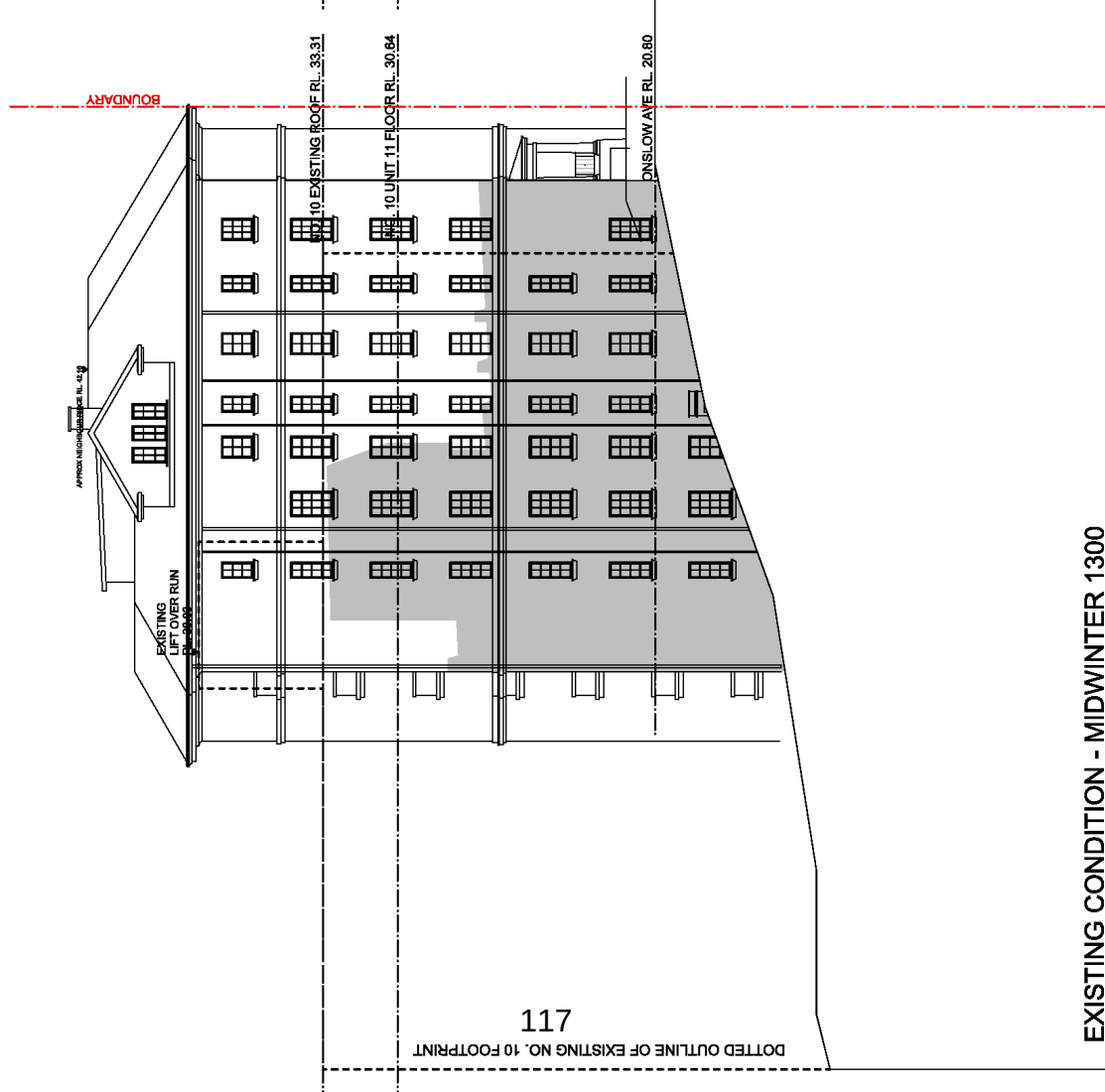
ARCHITECT	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT	ES013
	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	08/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE	DEVELOPMENT APPLICATION
	13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT	MR. PATRICK LANE
			SCALE	1:200 @A3, 1:100@A1 [CL/HC]



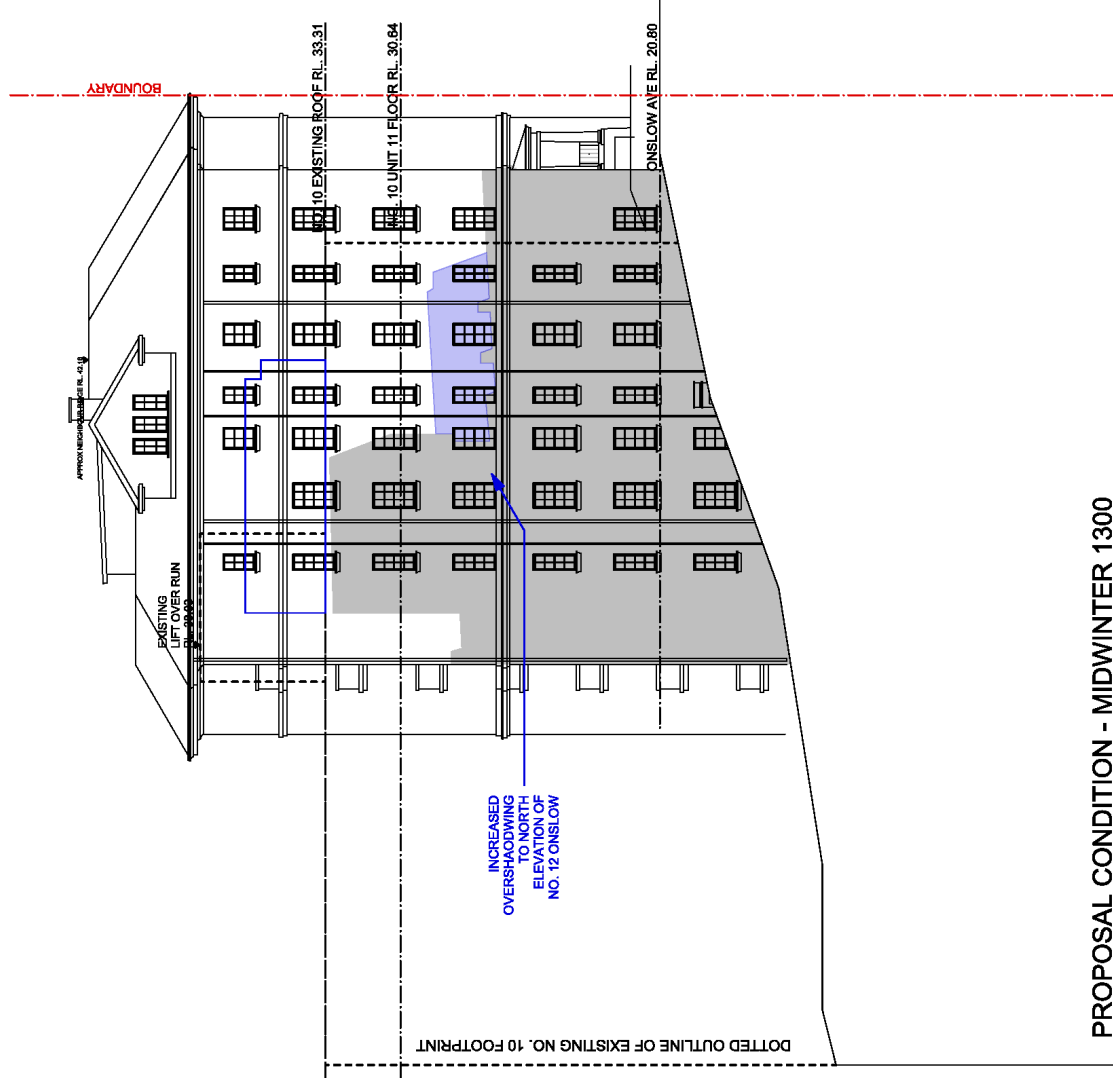
EXISTING CONDITION - MIDWINTER 1230

PROPOSAL CONDITION - MIDWINTER 1230

ARCHITECT	BASIX / MATTERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	ARN 55 100 940 501 NSW Architect Registration No. 5862 NSW Architects Registration No. 5862 NSW Architects Registration No. 5862 NSW Architects Registration No. 5862	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other construction drawings and reports. It is not to be used for any other purpose without the written consent of the architect.	22/10/2019 13/01/2019 08/05/2020 13/07/2020	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI DA-D AMENDMENTS BASED ON MODEL DA-E CORRECTION - MGA 84 INFORMATION & SURVEY INFO.	PROJECT ADDRESS STAGE CLIENT SCALE	ELEVATIONAL SHADOWS MID-WINTER 1230 ALTS & ADDS TO EXISTING APARTMENT UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY DEVELOPMENT APPLICATION MR. PATRICK LANE 1:200 @A3, 1:100@A1 [CL/HC]

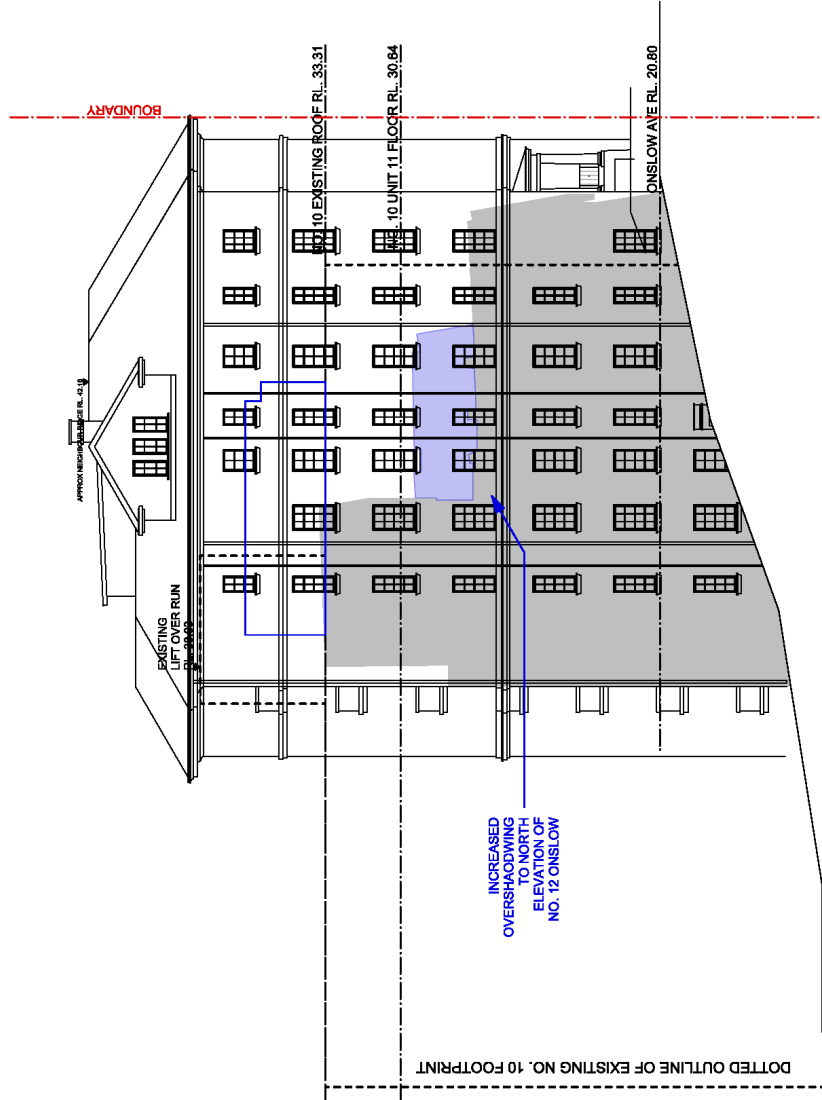
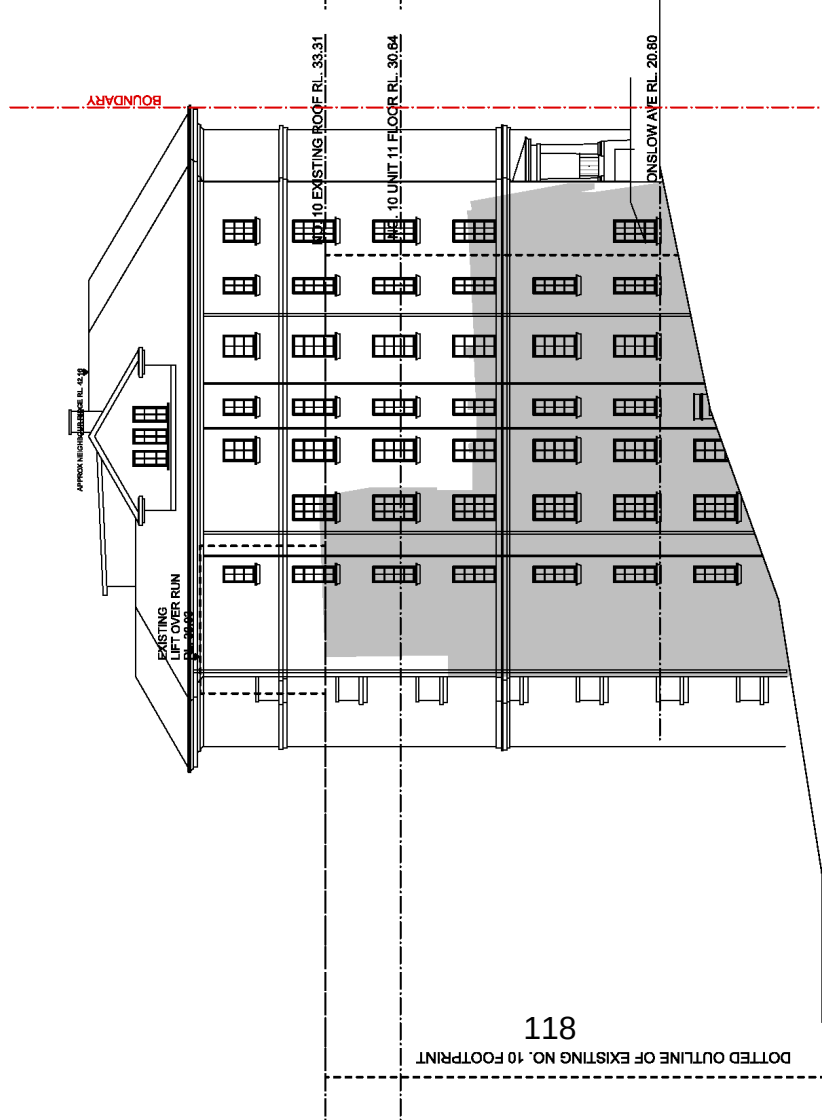


EXISTING CONDITION - MIDWINTER 1300



PROPOSAL CONDITION - MIDWINTER 1300

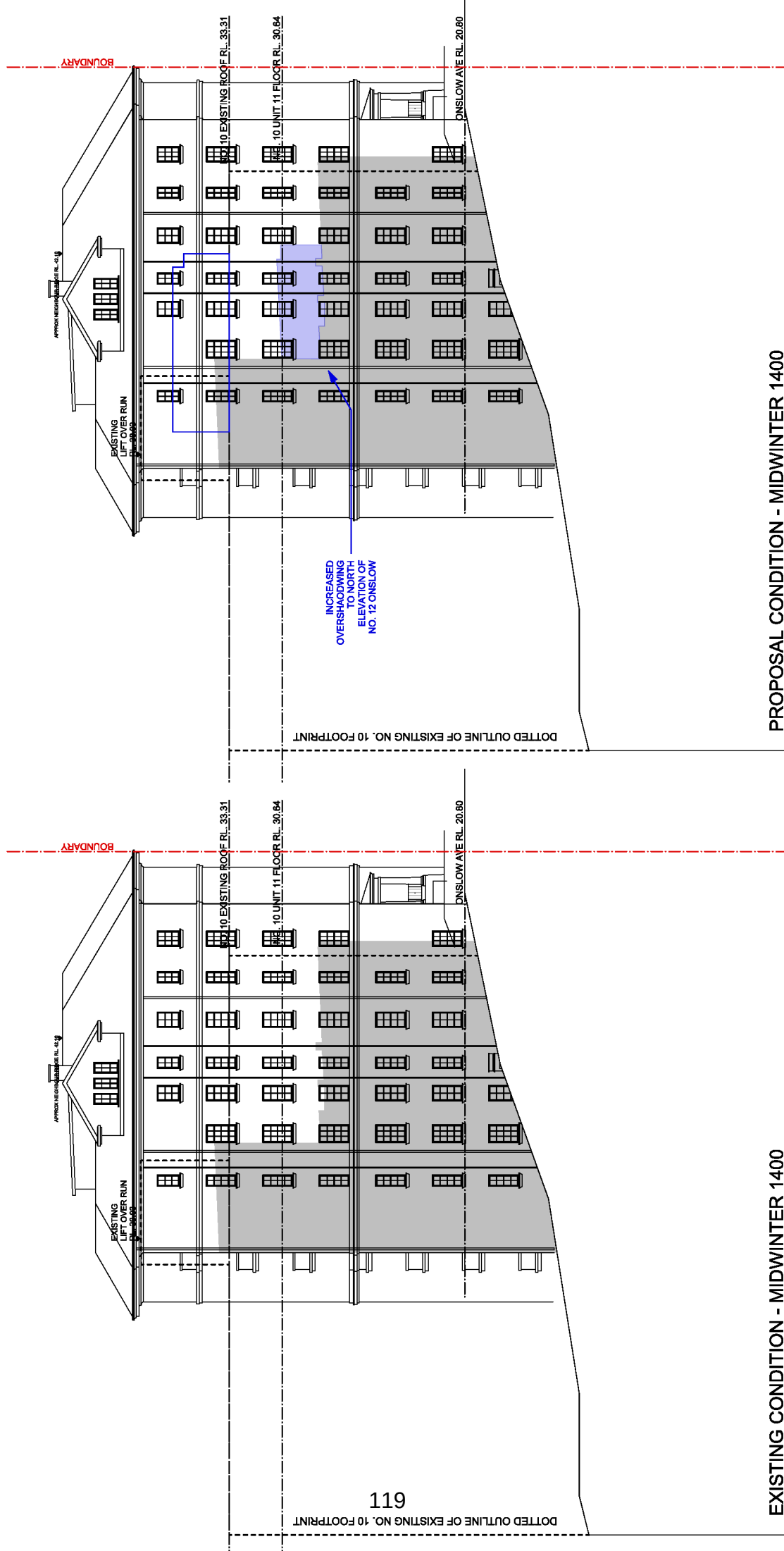
ARCHITECT	BASIX / MATTERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	DA
CRACKNELL & LONERGAN ARCHITECTS PTY LTD ARN 55 100 940 501 NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1554 email@cracknellonergan.com.au	external louvreblind (adjustable) external louvreblind (adjustable) external louvreblind (adjustable)	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other consultants drawings and reports. It is not to be used for any other purpose without the written consent of the architect. All dimensions are based on the latest information and survey data.	22/10/2019 13/01/2019 08/05/2020 13/07/2020	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI DA-D AMENDMENTS BASED ON MODEL DA-E CORRECTION - MGA 84 INFORMATION & SURVEY INFO.	PROJECT ADDRESS STAGE CLIENT SCALE	ES015 UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY DEVELOPMENT APPLICATION MR. PATRICK LANE 1:200 @A3, 1:100@A1 [CL/HC]
						ISSUE
						E



EXISTING CONDITION - MIDWINTER 1330

PROPOSAL CONDITION - MIDWINTER 1330

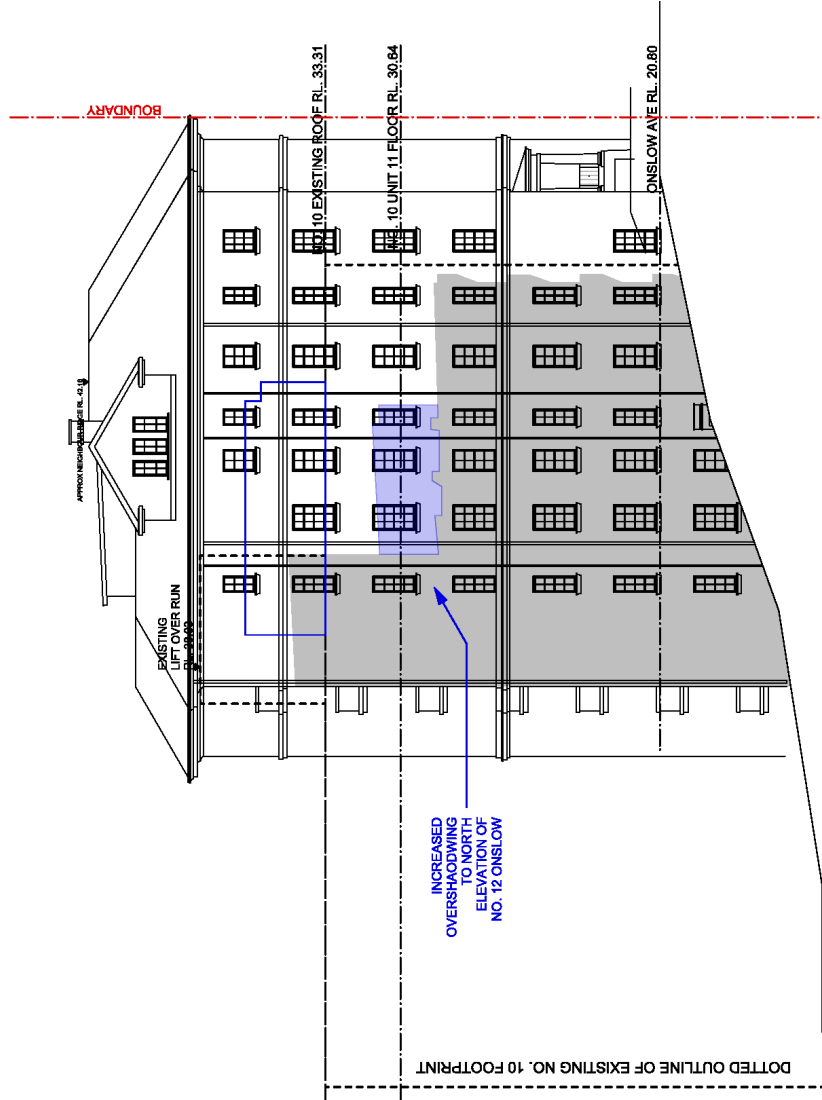
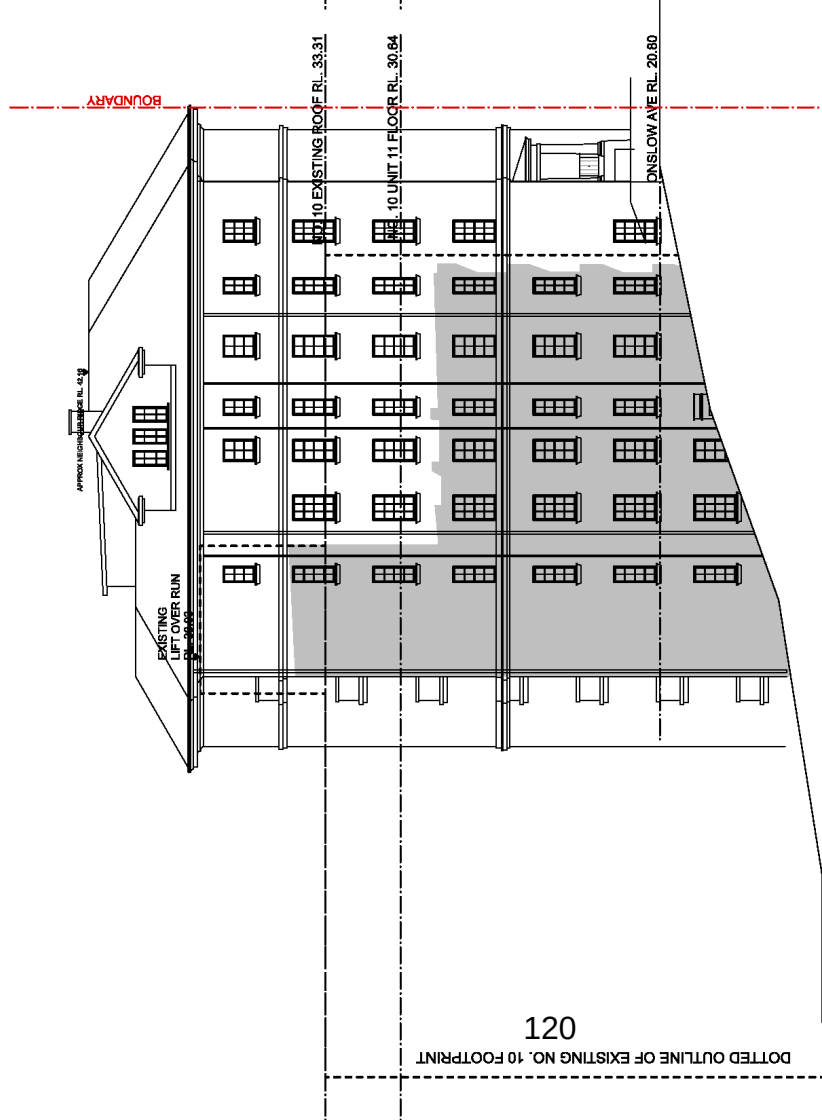
 CRACKNELL & LONERGAN ARCHITECTS PTY LTD email@cracknellonergan.com.au	ABN 55 100 940 501		BASIX / MATTERS CERTIFICATION		NOTES		DATE		REVISION		TITLE		DA ES016 ISSUE E
	Normalised Architect: Peter J. LonerGAN		external kournebind (adjustable)		FOR DEVELOPMENT APPLICATION ONLY		22/10/2019		DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		PROJECT		
	NSW Architect's Licence No. 25862		external kournebind (adjustable)		NOT FOR CONSTRUCTION		13/01/2019		DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		ADDRESS		
	156A CHURCH STREET		external kournebind (adjustable)		- Drawings are to be in compliance with all consultants drawings		06/05/2020		DA-D AMENDMENTS BASED ON MODEL		STAGE		
	NEWTOWN NSW 2042		external kournebind (adjustable)		- All future information and proposed building and related services levels		13/07/2020		DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.		CLIENT		
	PHONE +61 2 9565 1554		external kournebind (adjustable)		should not be based on these drawings from this development drawing.						SCALE		
	email@cracknellonergan.com.au		external kournebind (adjustable)								DRAWN BY		
			external kournebind (adjustable)								1:200 @A3, 1:100@A1		
			external kournebind (adjustable)								[CLJ/HJC]		
			external kournebind (adjustable)										



EXISTING CONDITION - MIDWINTER 1400

PROPOSAL CONDITION - MIDWINTER 1400

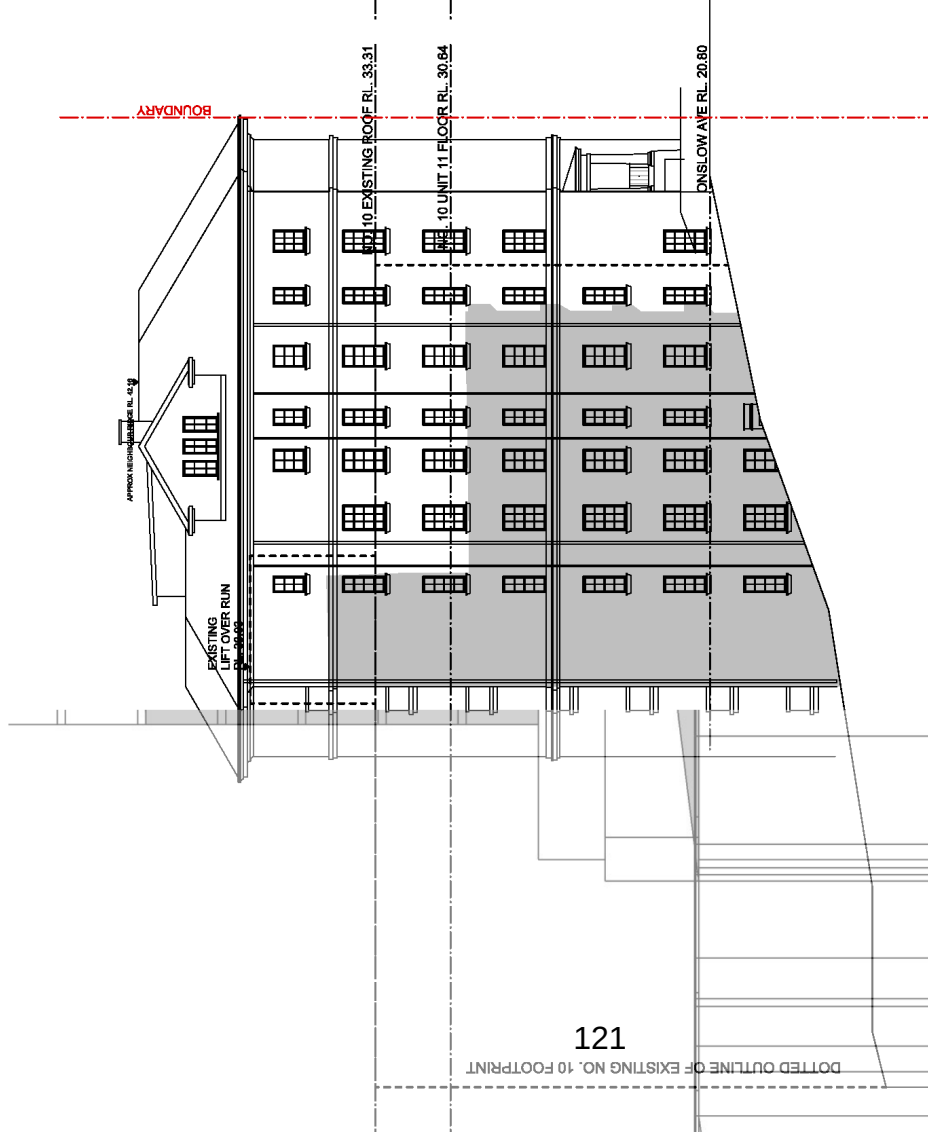
 CRACKNELL & LONERGAN ARCHITECTS PTY LTD	BASIX / MATTERS CERTIFICATION				NOTES FOR DEVELOPMENT APPLICATION ONLY - Drawings are to be used in conjunction with other consultants drawings and reports - All construction and material specifications and related schedule sheets shall use based on levels obtained from Bathurst planning drawing.	DATE	REVISION	TITLE	DA										
	ABN 55 100 940 501																		
	external louvre/blind (adjustable)																		
	external louvre/blind (adjustable)																		
	external louvre/blind (adjustable)																		
22/10/2019					DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI					PROJECT					ALTS & ADDS TO EXISTING APARTMENT				
13/01/2019					DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI					ADDRESS					UNIT 11, 10 ONSLAW AVE, ELIZABETH BAY				
08/05/2020					DA-D AMENDMENTS BASED ON MODEL					STAGE					DEVELOPMENT APPLICATION				
13/07/2020					DA-E CORRECTION - MGA 84 INFORMATION & SURVEY INFO.					CLIENT					MR. PATRICK LANE				
0					12 M					SCALE					1:200 @A3, 1:100@A1				
															DRAWN BY [CL/H/C]				



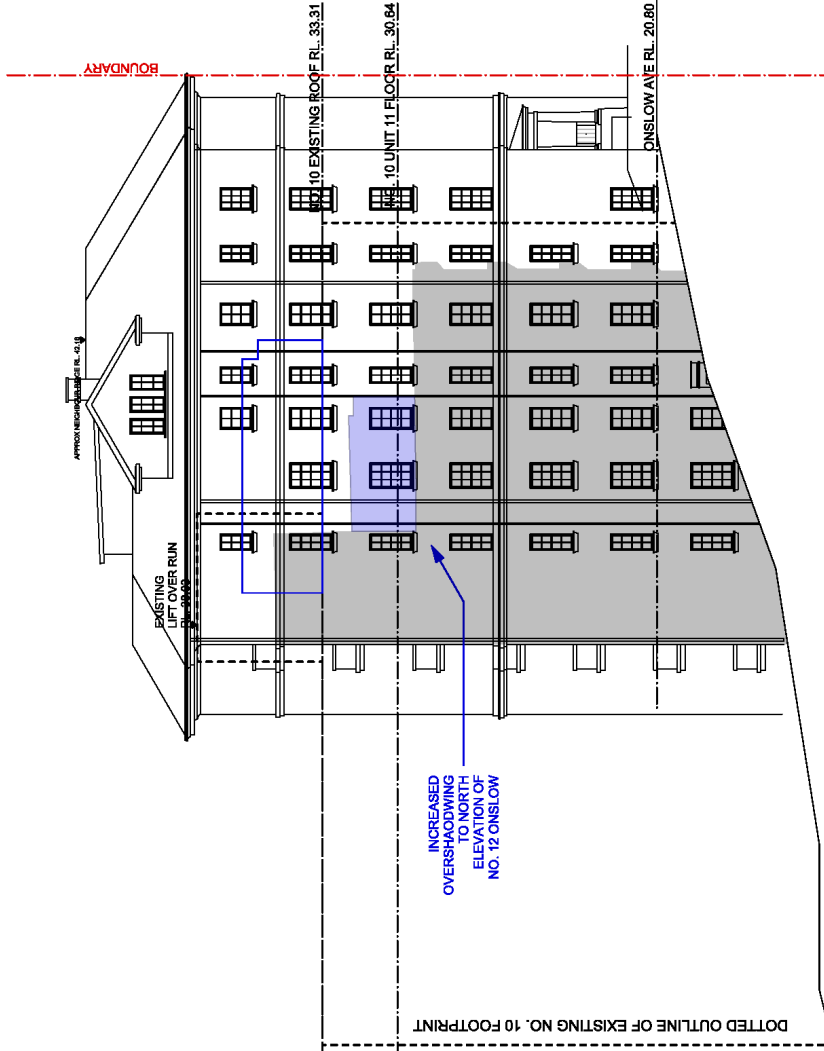
EXISTING CONDITION - MIDWINTER 1430

PROPOSAL CONDITION - MIDWINTER 1430

CRACKNELL & LONERGAN ARCHITECTS PTY LTD email@cracknellonergan.com.au	ARCHITECT	BASIC / MATTERS CERTIFICATION			NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION - Drawings are to be completed with other consultants drawings - All future information and proposed building and related services levels should not be based on these drawings from this project starting.	024681012M	DATE	REVISION	TITLE	DA
		22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	PROJECT			ELEVATIONAL SHADOWS MID-WINTER 1430			
		13/01/2019	DA-D DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	ADDRESS			ALTS & ADDS TO EXISTING APARTMENT UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY			
		06/05/2020	DA-D AMENDMENTS BASED ON MODEL	STAGE			DEVELOPMENT APPLICATION			
		13/07/2020	DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.	CLIENT			MR. PATRICK LANE			
		SCALE					1:200 @A3, 1:100@A1	DRAWN BY	[CLJ/HJC]	



121



EXISTING CONDITION - MIDWINTER 1500

PROPOSAL CONDITION - MIDWINTER 1500



CRACKNELL & LONERGAN
ARCHITECTS PTY LTD

ABN 55 100 940 501
Newland Architects Pty Ltd
NSW Architects Registration No. 5863
156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1554
email@cracknellonerган.com.au

ARCHITECT

BASIX / MATTERS CERTIFICATION

external louvreblind (adjustable)
external louvreblind (adjustable)
external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This drawing is to be used in conjunction with other consultants drawings
and reports. It is not to be used for any other purpose without the written
consent of the architect. The architect is not responsible for any errors or
omissions in this drawing.

DATE

22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020 DA-D AMENDMENTS BASED ON MODEL
13/07/2020 DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

REVISION

22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
08/05/2020 DA-D AMENDMENTS BASED ON MODEL
13/07/2020 DA-E CORRECTION - MGA 94 INFORMATION & SURVEY INFO.

TITLE

ALTS & ADDS TO EXISTING APARTMENT

PROJECT

UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

ADDRESS

STAGE

DEVELOPMENT APPLICATION

CLIENT

MR. PATRICK LANE

SCALE

1:200 @A3, 1:100@A1

DRAWN BY

[CL/HC]

ISSUE

E

DA

ES019