

Attachment C

Selected Drawings – Group 2

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- FOR FURTHER INFORMATION, SEE THE PROJECT INFORMATION ONLY.

LEGEND

EXISTING FLOOR	EXISTING TYPICAL FLOOR STRUCTURE	NEW CONSTRUCTION	NEW LAMPING - EXISTING CORONA	NEW LAMPING - MOVED CORONA
1	1	2	3	4

NOTE: STRUCTURAL AND DIMENSIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE REQUIRE.



1 PLAN Lower Ground
1:200

REVISIONS

NO.	DATE	BY	REVISION
1	10/01/21	JA	ISSUED FOR PERMIT
2	10/01/21	JA	ISSUED FOR PERMIT
3	10/01/21	JA	ISSUED FOR PERMIT
4	10/01/21	JA	ISSUED FOR PERMIT
5	10/01/21	JA	ISSUED FOR PERMIT

PROJECT

55-76, 82-108 Oxford Street
Darlinghurst NSW 2010

PROPOSED PLAN

Group 2 - Proposed Plan - Lower Ground

scale 1:200 @ A1

project code A-22001

revision no. DA06

fjmt

Francis Jones Moreland Pty Ltd
Level 10, 100 King Street, Sydney NSW 2000

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

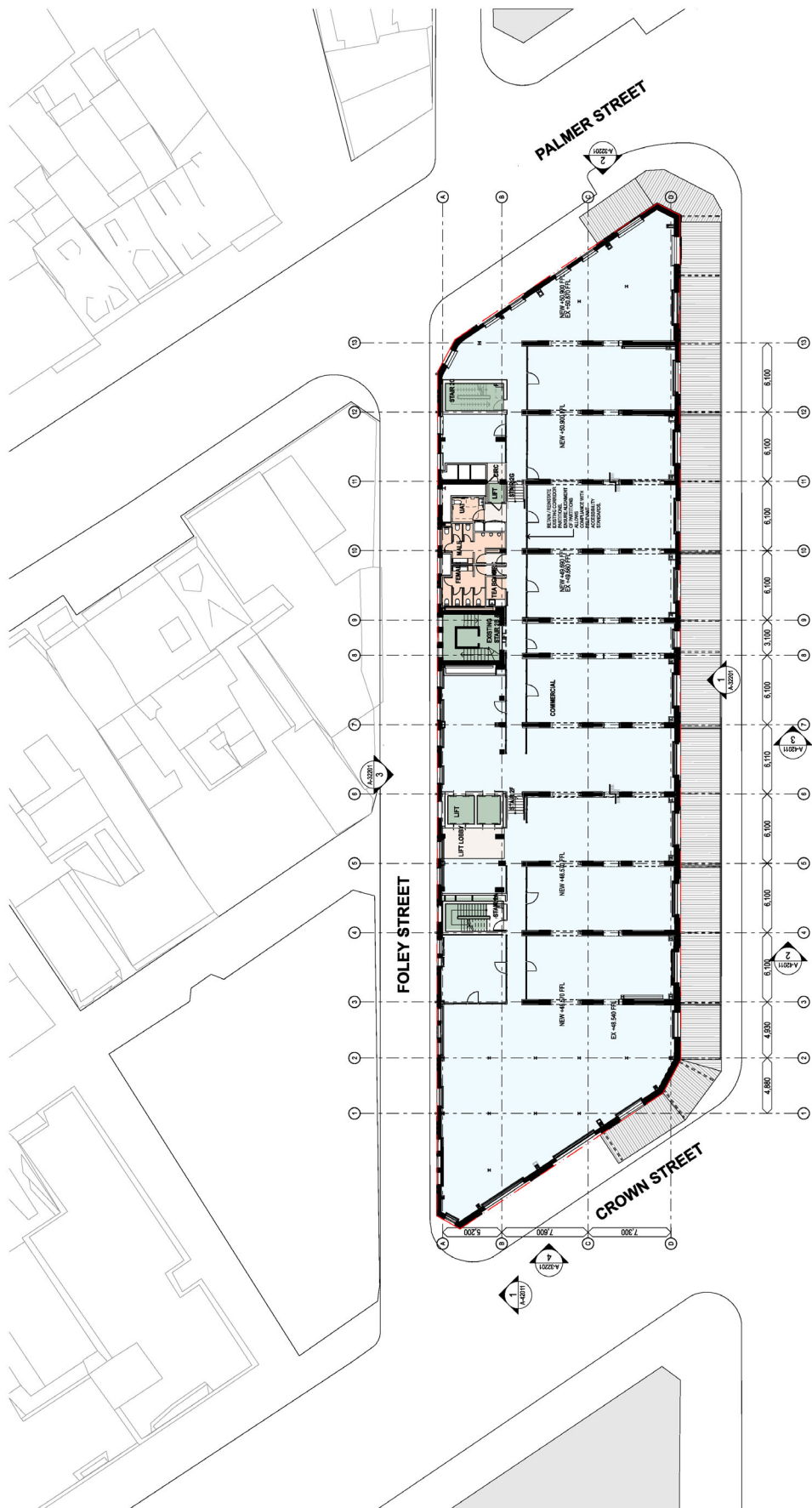
NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.



OXFORD STREET

CROWN STREET

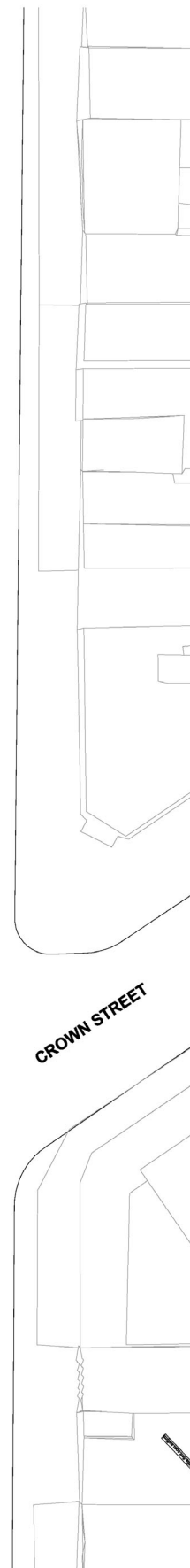
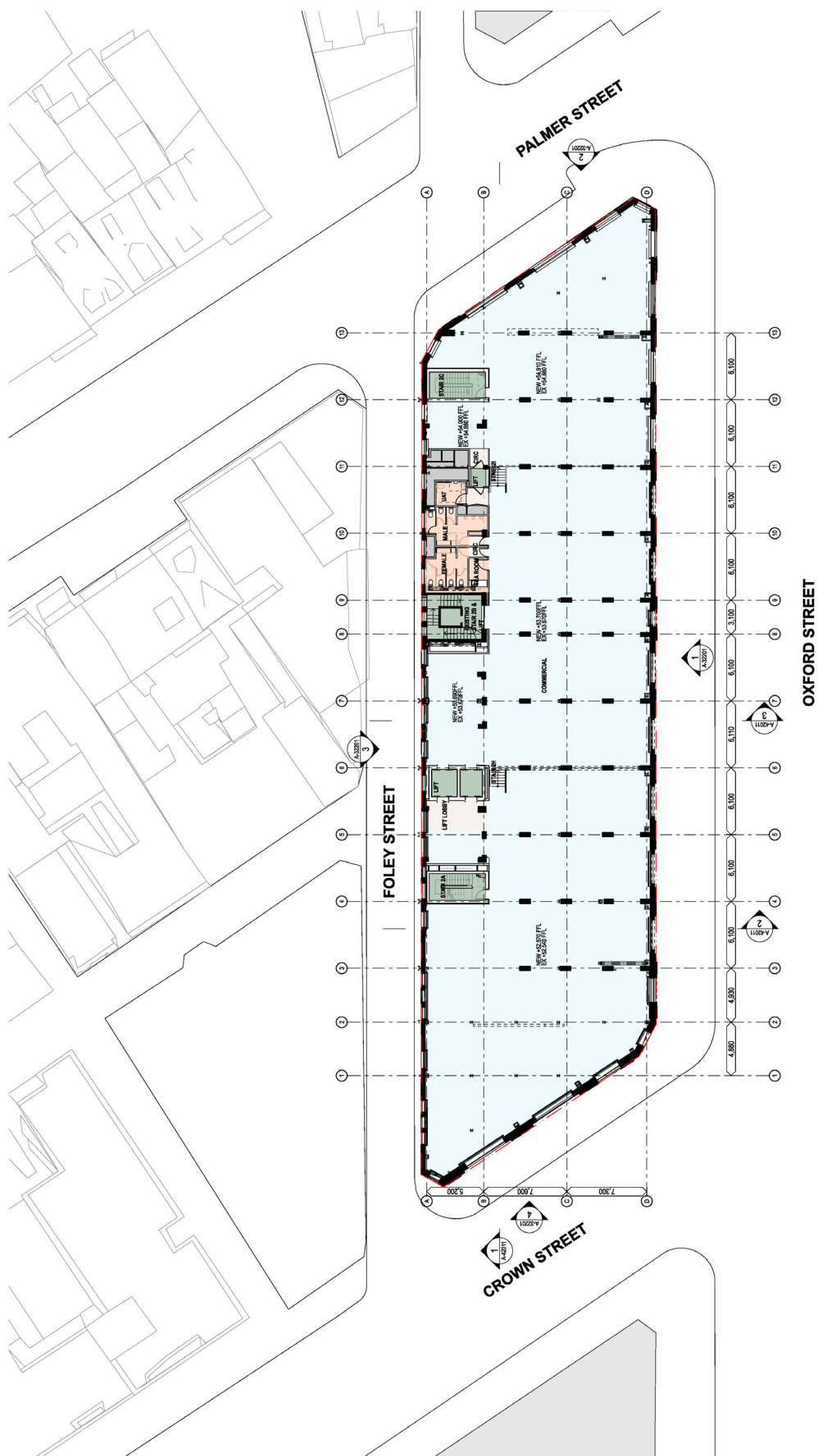
1 PLAN Ground Floor
1:200

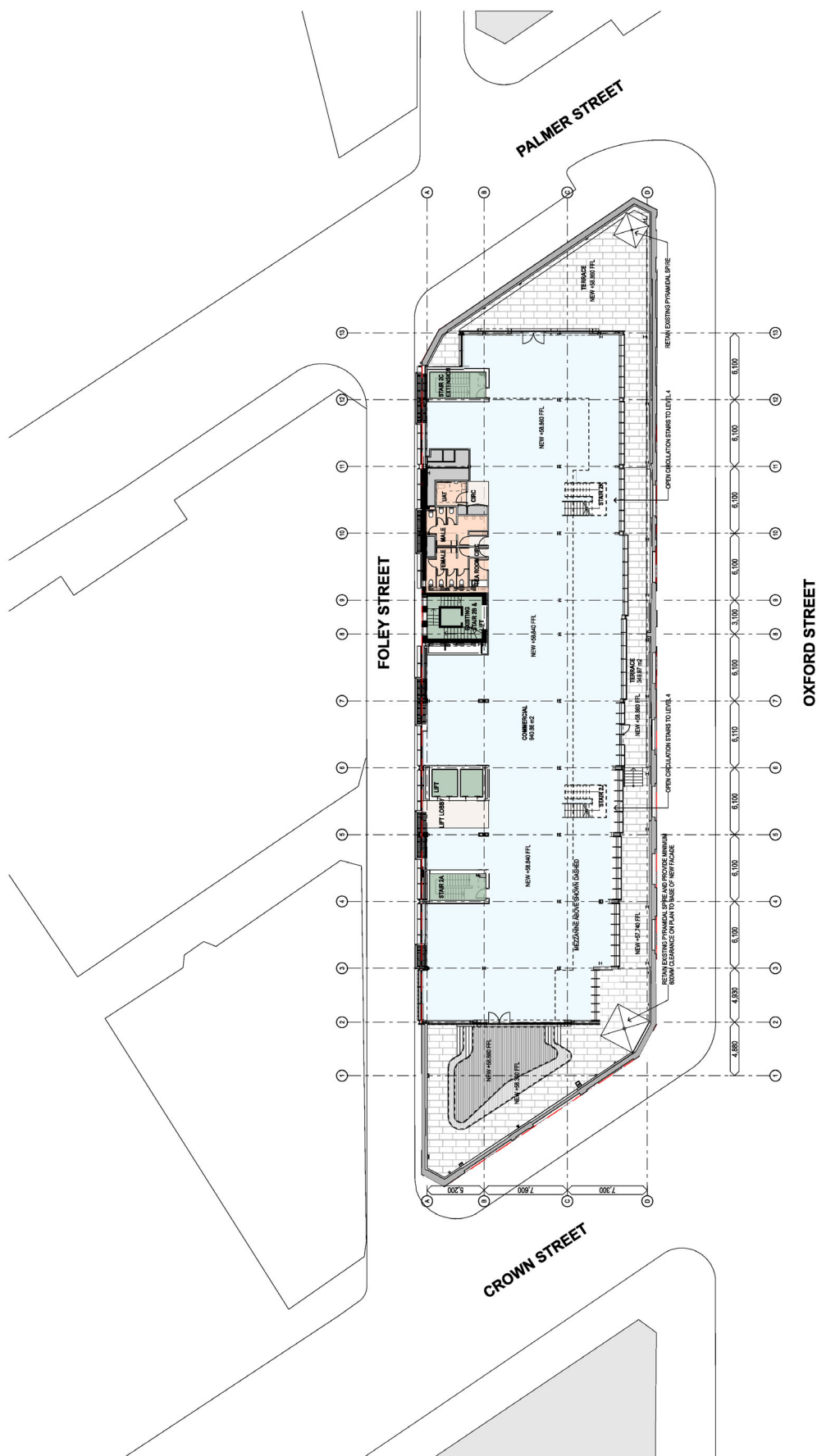


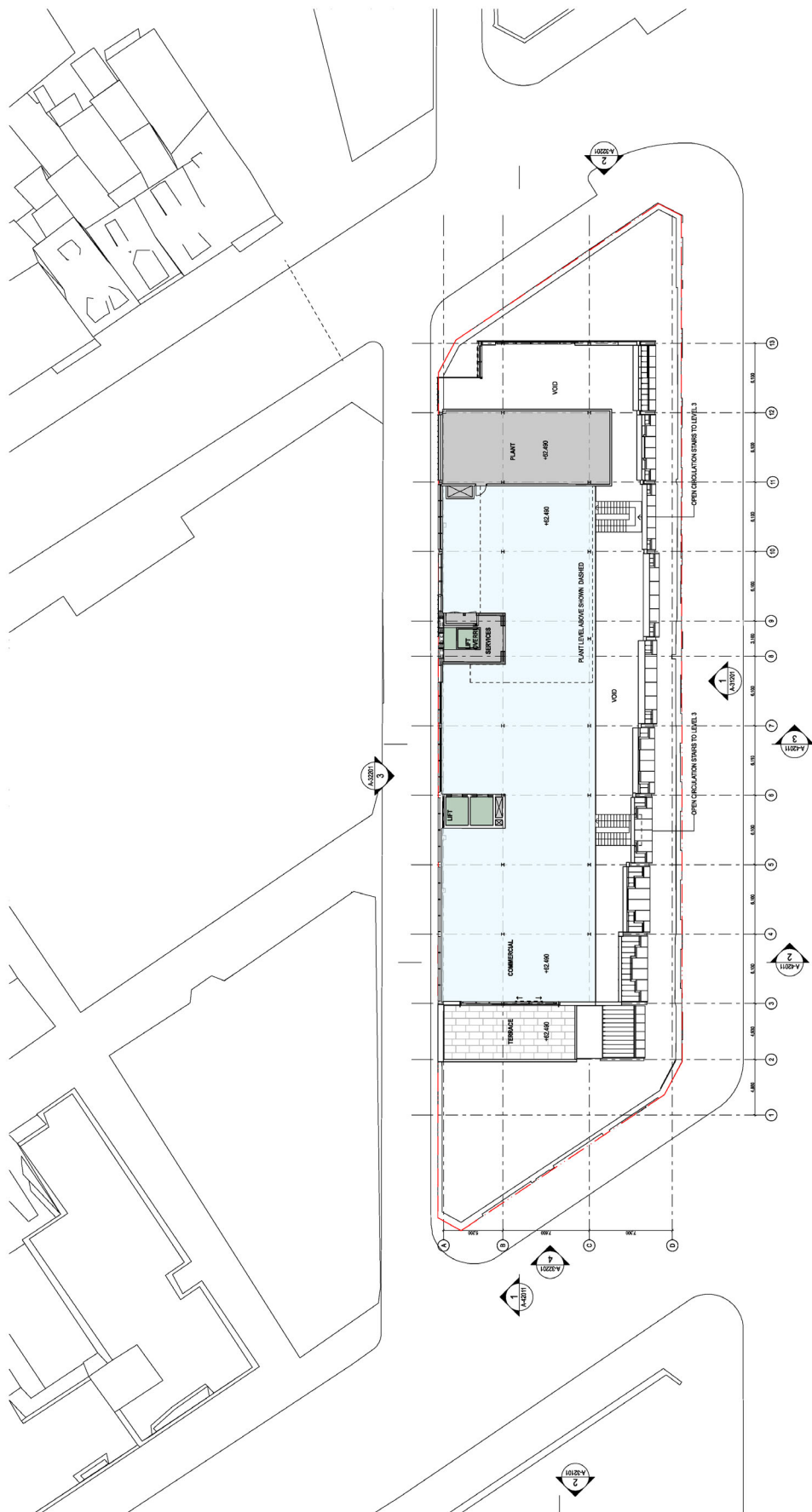
OXFORD STREET

CROWN STREET

1 PLAN Level 1
1:200







0 2 4 6 8 10m

10000

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS
SHOWN ON THIS PLAN ARE TO BE MAINTAINED
CONSTRUCTION BEFORE PROCEEDING WITH THE WORK.
• ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
• DO NOT SCALE DIMENSIONS.
• DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

Legend

EXISTING FLOOR

NEW CONSTRUCTION

NEW LAMPPOST - EXISTING CORNER

NEW LAMPPOST - NEW CORNER

NEW LAMPPOST - EXISTING CORNER

NEW LAMPPOST - NEW CORNER

NEW LAMPPOST - EXISTING CORNER

NEW LAMPPOST - NEW CORNER

NOTE: STRUCTURAL AND DIMENSIONS ARE INDICATED AND MUST BE ADHERED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE REQUIRE.

DATE: 20/05/2022

BY: [Signature]

REV: 01

DATE: 20/05/2022

fjmt

Francis Jones Moreland Pty Ltd

Level 1, 10 King Street, Sydney NSW 2010

Phone: (02) 9550 1000

Email: info@fjmt.com.au

PROJECT

Darlinghurst Collection

55-75, 82-108 Oxford Street

Darlinghurst NSW 2010

100%

General Arrangement Plan Group 2 -

Proposed

Plant Level

scale

1:500 @ A1

project code

10000

sheet no.

8/770

revision

01

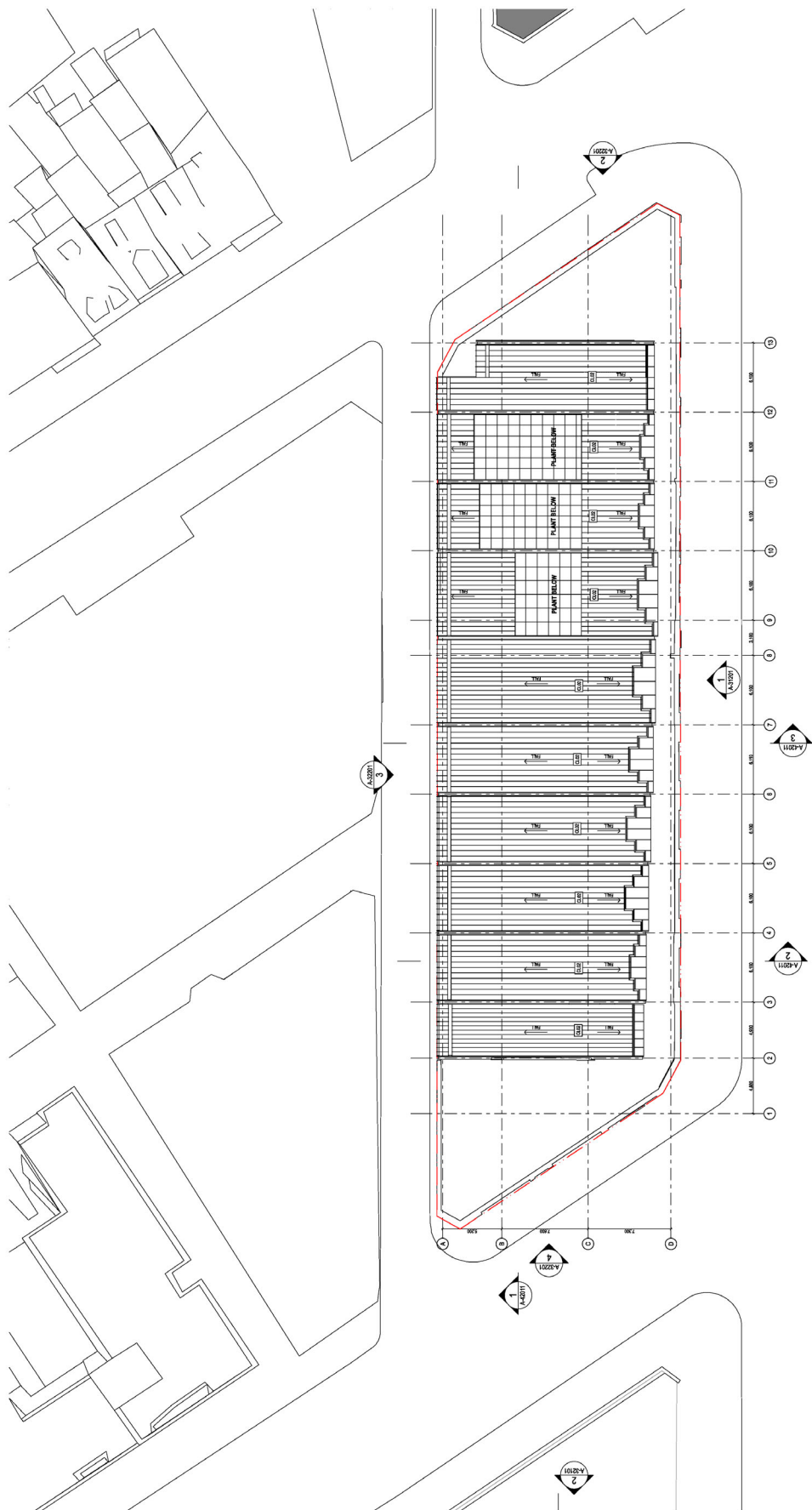
TDC

A-22007

DA01

220

1 PLAN G2 Roof Plant
1:200



1 PLAN G2 Roof Level
1:200

GENERAL NOTES

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legend



EXISTING
MOULDED PLASTER CEILING
PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF ON-SITE APPEARANCE
CEILING TO BE MAINTAINED IN POSITION AND PROTECTED DURING WORKS.
CEILING TO BE RESTORED AND REPAINTED TO HERITAGE ARCHITECT'S
SATISFACTION.



COATING:

PROCESSED METAL CEILING
 PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF ON-SITE APPEARANCE
 CEILING TO BE CAREFULLY REMOVED, SAFELY STORED, AND REINSTALLED TO ALLOW
 FOR FIRE RATED CEILING AND INSULATION TO BE INSTALLED ABOVE
 CEILING TO BE RESTORED AND REINSTALLED TO HISTORIC ARCHITECT'S



NEW
FIRE RATED-Ceiling
INSTALLED TO PROVIDE FIRE SEPARATION TO COMPLY WITH HCC REQUIREMENTS,
TYPICALLY DIRECT FIX TO STRUCTURE.

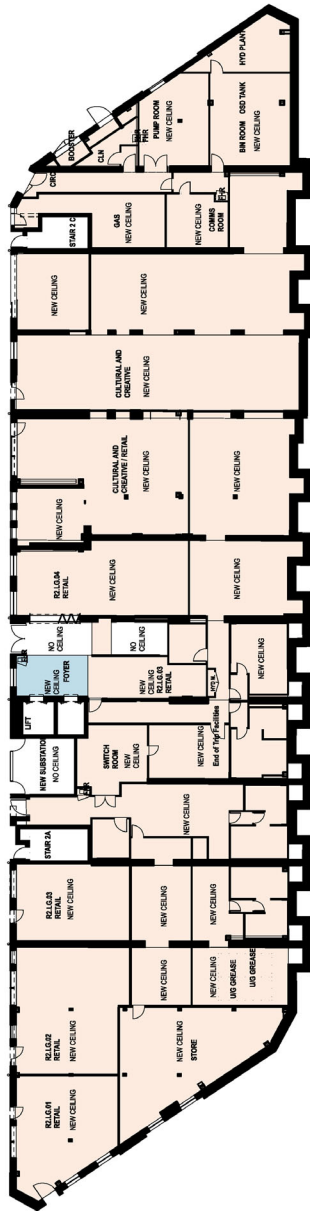
NEW
SUSPENDED CEILING

SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH IBC REQUIREMENTS.



NOTES

- [illegible]



DOI	9-7/21	CA issue	BL
rev	date	name	by

first studio architecture believes landscapes urban community
sydney melbourne uk
Level 5, 70 King Street ■ +61 2 9251 7077 ■ firststudio.com

project

Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

title

Proposed Reflected Ceiling Plans

scale	1/200 @ A1	first issued	9/7/21
project code		sheet no.	
TDC		A-22051	DA01
		revision	



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM', DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

legend



EXISTING
MOLDED PLASTER CEILING
PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF ON-SITE APPEARANCE
CEILING TO BE MAINTAINED IN POSITION AND PROTECTED DURING WORKS.
CEILING TO BE RESTORED AND REFINISHED TO HERITAGE ARCHITECT'S
SATISFACTION.



EXISTING:
PROCESSED METAL CEILING
PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF ON-SITE APPEARANCE
CEILING TO BE CAREFULLY REMOVED, SAFELY STORED, AND REINSTALLED TO ALLOW
FOR FIRE RATED CEILING AND INSULATION TO BE INSTALLED ABOVE.
CEILING TO BE RESTORED AND REFINISHED TO HERITAGE ARCHITECTS.



NEW
FIRE RATED CEILING
INSTALLED TO PROVIDE FIRE SUPPRESSION TO COMPLY WITH IBC REQUIREMENTS.
TYPICALLY DIRECT FIX TO STRUCTURE.



NEW
SUSPENDED CEILING



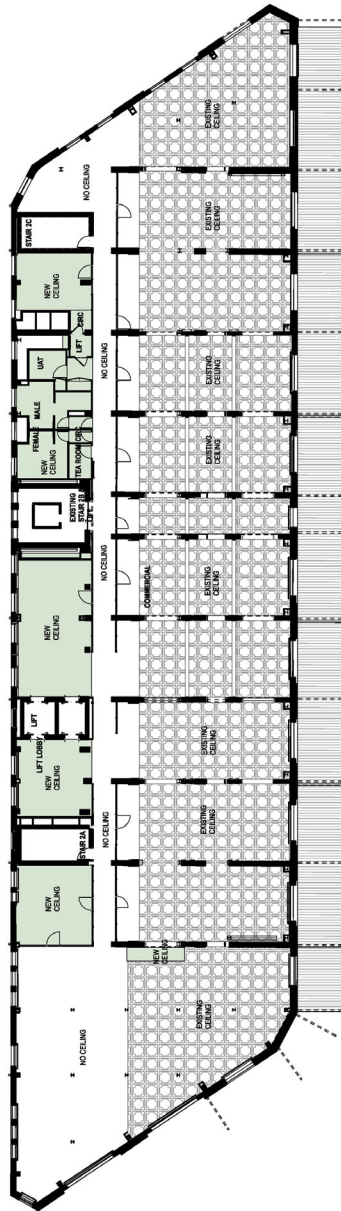
NEW
SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS.



8-108

NOTES

1. EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL, EYE INSPECTION, (STRUCTURE EXPOSED AND CONCEALED) NOT SHOWN.
2. EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS SUBJECT TO CONSULTATION WITH ARCHITECT. THE EXISTING CEILING IS TO BE REMOVED TO THE EXISTING FINISH PLANE OF THE CEILING.
3. INVESTIGATION OF EXISTING WORK-FARE EXISTING ELEMENTS IN THE CEILING IS TO BE CONDUCTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INVESTIGATION OF EXISTING WORK-FARE EXISTING ELEMENTS IN THE CEILING.
4. CONTRACTOR SHALL STUDY TO DETERMINE HOW NEW STRUCTURE IS INSTALLED.
5. CONFIRMATION OF EXTENT OF DAMAGED MATERIALS (E.G. ASBESTOS FIBERGLASS) TO BE REMOVED SHALL BE OBTAINED FROM THE ARCHITECT.
6. METHOD OF INSTALLATION OF NEW SYSTEMS INCLUDING DUCTWORK, DRAINAGE, ELECTRICAL, CEILING ETC.
7. CONTRACTOR SHALL PROVIDE PROTECTIVE CURTAINS OF NEW AND EXISTING CEILING, AS WELL AS AREAS OF NO CEILING. CEILING DAMAGED ARE SUBJECT TO BE REMOVED TO THE EXISTING FINISH PLANE OF THE CEILING.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INVESTIGATION OF EXISTING WORK-FARE EXISTING ELEMENTS IN THE CEILING.
9. EXISTING CEILING SHALL BE RETAINED, MAY REQUIRE REMOVAL, INSTALLATION OF COMPLETELY NEW CEILING, AND REINSTATEMENT OF EXISTING CEILING TO BE COMPLETED WITH THE CEILING.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INVESTIGATION OF EXISTING WORK-FARE EXISTING ELEMENTS IN THE CEILING.





GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

Legend



EXISTING
EXISTING CEILING IS TO BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING CEILING IS TO BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED.

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NEW CEILING IS TO BE INSTALLED AS SHOWN. ALL NEW CEILING IS TO BE INSTALLED AS SHOWN.

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REMOVE EXISTING CEILING AS SHOWN. ALL EXISTING CEILING IS TO BE REMOVED AS SHOWN.

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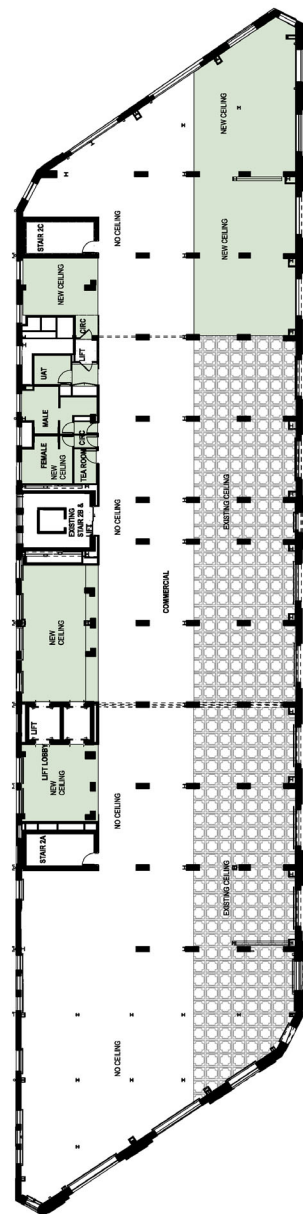
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DATE	30/07/2017	BY	DA
REV	01/08/2017	BY	DA

fjmt
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Level 10, 10 King Street, Sydney NSW 2010
Phone: +61 (0) 2 9250 7071 • Fax: +61 (0) 2 9250 7072

Project
Darlinghurst Collection
55-75, 82-108 Oxford Street
Darlinghurst NSW 2010

Proposed Reflected Ceiling Plan - Level 2

scale	1:500 @ A1	first issued	07/21
project code		sheet no.	
TDC	A-22054	DA01	



GENERAL NOTES

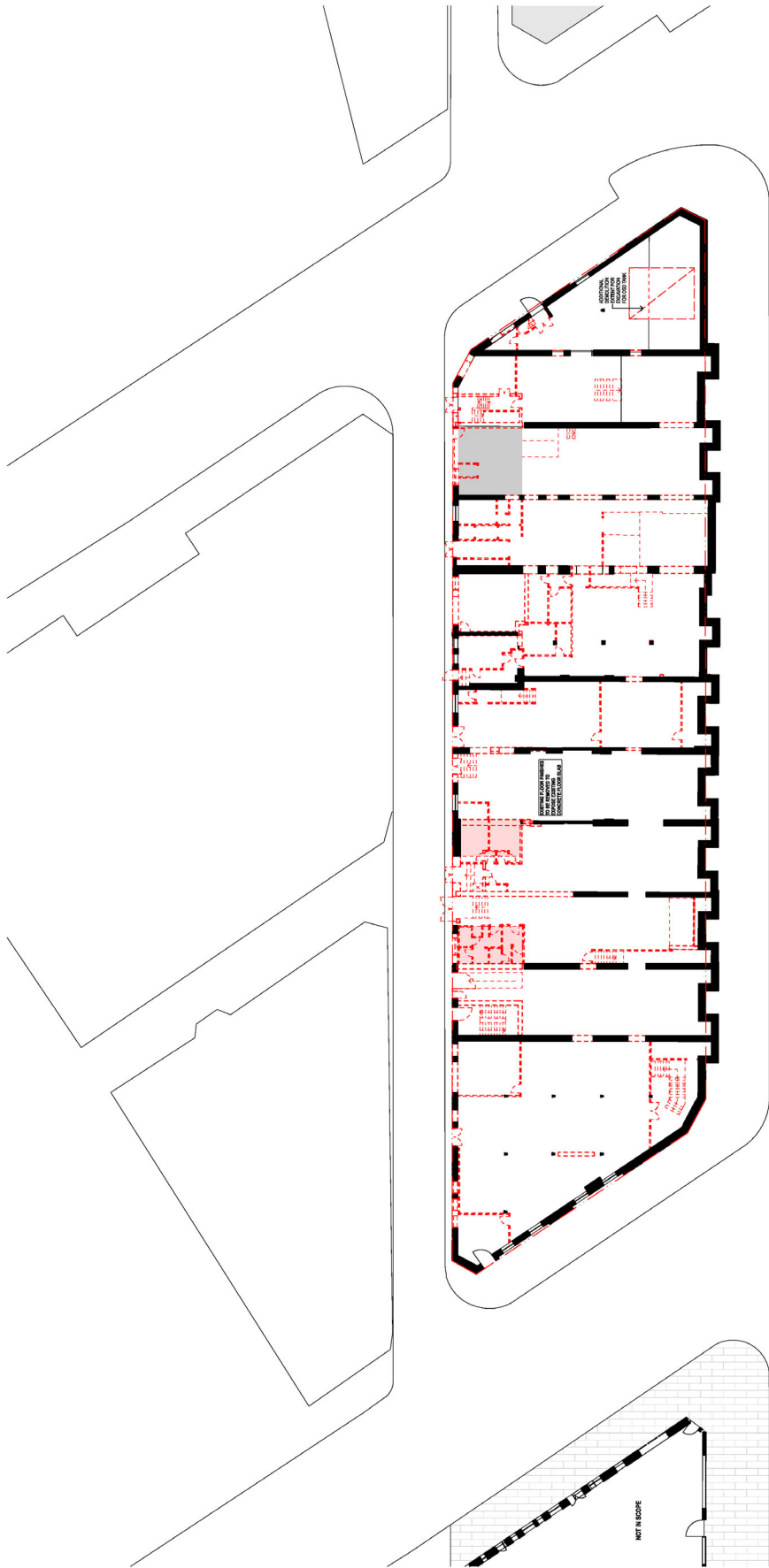
- ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- CONSULT THE CONTRACT DOCUMENTS FOR FURTHER INFORMATION.

LEGEND

- EXISTING FLOOR
- EXISTING FLOOR TO BE REMOVED
- FLOOR ON TOP OF THE REMOVED
- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO BE RETAINED
- EXISTING WALLS TO BE RETAINED FOR REUSE

NOTES

1. EXISTING FLOOR STRUCTURE IS A MASONRY BASED ON PRELIMINARY INVESTIGATIVE WORK. THE EXISTING FLOOR NOT KNOWN WITH EXISTING STRUCTURE INFORMATION ARE SHOWN OUT OF LINE.
2. EXISTING WALLS TO BE REMOVED ARE SHOWN WITH RED DASHED LINES.
3. ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
4. EXISTING WALLS TO BE RETAINED FOR REUSE ARE SHOWN WITH BLACK DASHED LINES.



DATE	20/11/20	BY	FM
REVISION	1	DATE	20/11/20
REVISION	2	DATE	20/11/20
REVISION	3	DATE	20/11/20

PROJECT

Francis Jones Morehead Partners Pty Ltd

Level 1, 10 King Street + 10 King Street + 10 King Street + 10 King Street

CLIENT

Darlinghurst Collection

55-75, 82-108 Oxford Street

Darlinghurst NSW 2010

GROUP 2 - Demolition Plan - Lower Ground

scale	1:500 @ A1	first issued	20/11/20
project code	A-22101	revision	DA03



GENERAL NOTES

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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

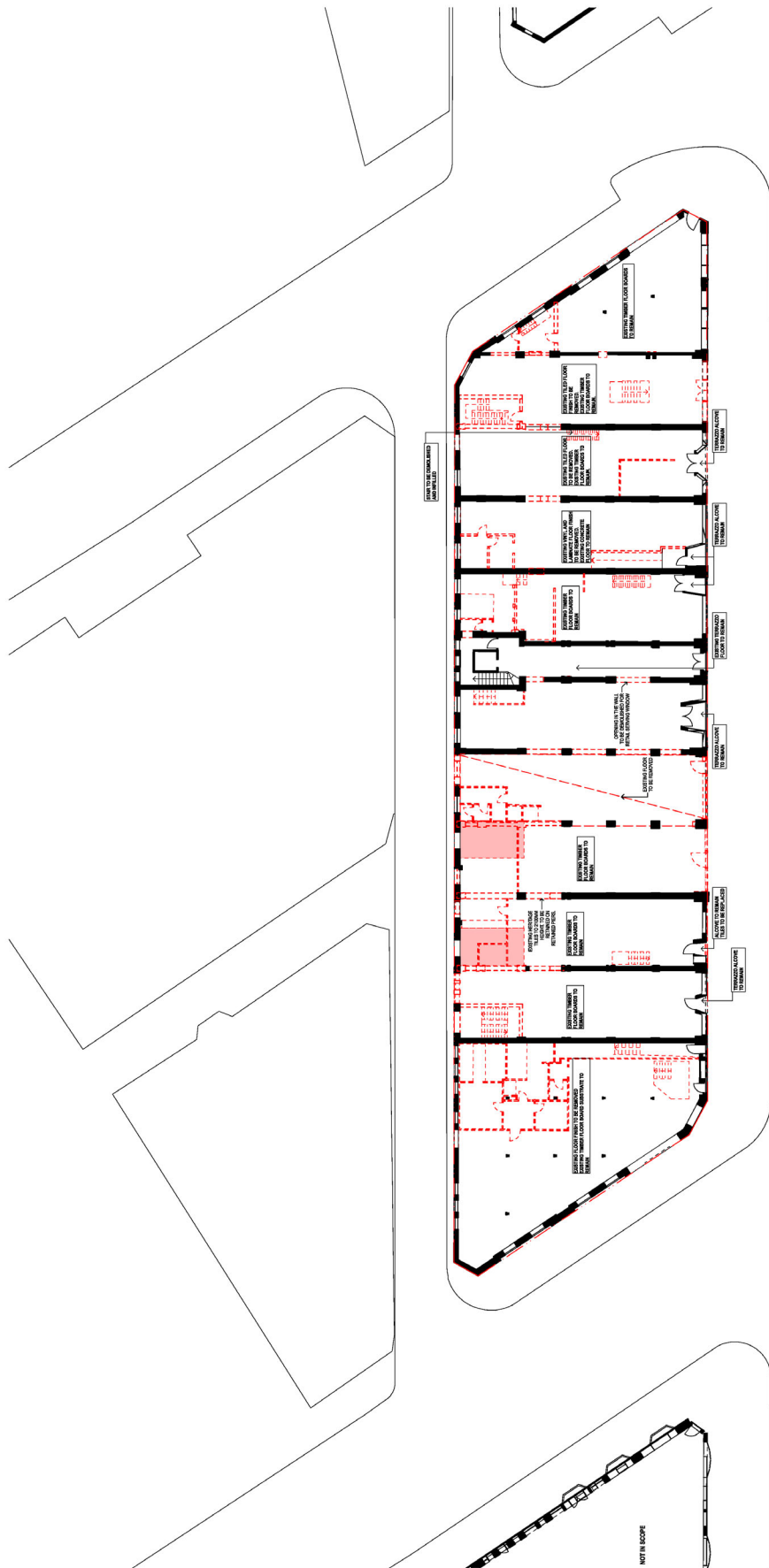
legend



HERITAGE PARTITIONS REMOVED AND RETAINED FOR
CONTINUITY OF INTERLOCKING INTO FUTURE

NOTES

- NOTES**
- EXTENT OF FLOOD STRUCTURE IS INDICATIVE, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STAKE-OUT/INVESTIGATIONS ARE CARRIED OUT ON SITE.
- ALL EXISTING EXTERNAL SERVICES MOUNTED ON THE POLY STREET FACADE TO BE REMOVED.
- ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR DEMOLITION TO BE REPAIRED AND STORED FOR POTENTIAL REUSE (TO BE COMPLETED DURING DESIGN DEVELOPMENT PHASE).



1 PLAN Ground Floor 1:200

DA	DA issue	DA type	DA issue	DA type
DA03	16/10/21	DA issue	DA03	16/10/21
DA02	26/11/20	DA type	DA02	26/11/20
DA01	30/08/20	DA issue	DA01	30/08/20

first studio architecture interiors landscape urban community
sydney melbourne uk

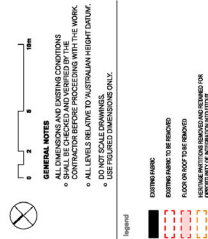
project

Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

1

Group 2 - Demolition Plan
Group 2 - Demolition Plan - Ground

scale	1:200 @ A1	first issued	23/11/20
project code		sheet no.	revision



NOTES

EXTENT OF FLOOR STRUCTURE IS INDICATIVE, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/INVESTIGATIONS ARE CARRIED OUT ON SITE.

ALL EXISTING EXTERNAL SERVICES MOUNTED ON THE FOLEY STREET FACADE TO BE REMOVED.

ALL TOWER INTRUSIONS AND FLOORINGS NOTED FOR DEMOLITION TO BE RETAINED AND STORED FOR POTENTIAL REUSE (TO BE COMPLETED DURING DESIGN DEVELOPMENT PHASE).



NAVY	by
DA03 18/07/21	DA issue
DA02 26/11/20	DA 091
DA01 26/08/20	DA issue
rev date	name

fint
first studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street • 61 2 9251 7077 • fintstudio.com

project
Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

Group 2 - Demolition Plan
Group 2 - Demolition Plan - Level 1

scale	1:200 @ A1	first issued	23/11/20
project code		sheet no.	
TDC		A-22103	DA03
		revision	



GENERAL NOTES

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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

legend

	EXISTING FABRIC
	EXISTING FABRIC TO BE REMOVED
	FLOOR OR ROOF TO BE REMOVED
	NEW/PAINT MATERIALS REMOVED AND RETURNED FOR RECYCLABILITY OR RECYCLED INTO FIBER

NOTES

NOTES

EXTENT OF FLOOD STRUCTURE IS INDICATIVE, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STAMP-OUT INVESTIGATIONS ARE CARRIED OUT ON SITE.

ALL EXISTING EXTERNAL SERVICES MOUNTED ON THE POLY STREET FACADE TO BE REMOVED.

ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR DEMOLITION TO BE REPAIRED AND STORED FOR POTENTIAL REUSE (TO BE COMPLETED DURING DESIGN DEVELOPMENT PHASE).



NOT IN SCOPE

PLAN Level 2
1:200

NAVY	by
DA03 18/07/21	DA issue
DA02 26/11/20	DA 091
DA01 26/08/20	DA issue
rev date	name

fint
fint studio and lecture theatre interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street E +61 2 9251 7077 ■ fintstudio.com

Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

Group 2 - Demolition Plan
Group 2 - Demolition Plan - Level 2

scale	1200 @ A1	first issued	23/11/20
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PROJECT CODE	ISSUE NO.	REVISION
TRC	1	0



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
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- USE FIGURED DIMENSIONS ONLY.

legend

EXISTING FABRIC

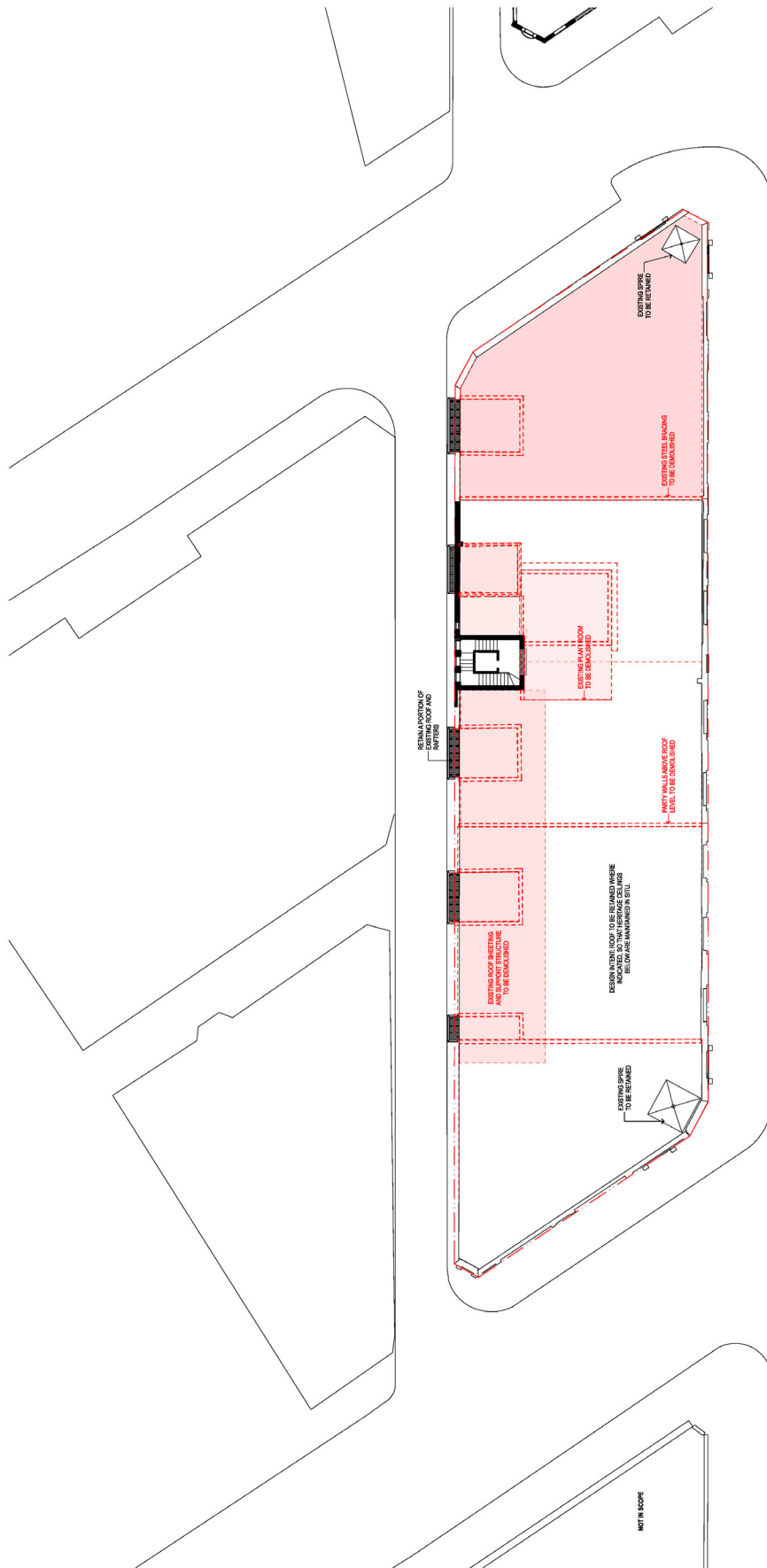
EXISTING FABRIC TO BE REMOVED

FLOOR OR MORE TO BE RENTED

HERITAGE PARTITIONS REMOVED AND RETURNED FOR
COMPATIBILITY OF INTEGRATION INTO FITOUT

NOTES

- NOTES**
1. POTENTIAL OF FLOOR STRUCTURE IS INDICATIVE, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/REPOSITIONS ARE CARRIED OUT ON SITE.
2. ALL EXISTING EXTERNAL SERVICES MOUNTED ON THE POLY STREET FACADE TO BE REMOVED.
3. FOR ALL TIMBER PARTITIONS AND FLOORS/CEILING NOTED FOR DEMOLITION TO BE RE-USED AND STORED FOR POTENTIAL RE-USE (TO BE CONSIDERED DURING DESIGN DEVELOPMENT PHASE).



EnD4	5/7/21	CA issue	SL
EnD3	18/6/21	CA issue	ARY
EnD2	29/11/20	CA up1	SL
EnD1	30/08/20	CA issue	SL
new	date	name	by

first studio architecture interiors landscape urban community
sp@ce melbourne uk
Level 5, 70 King Street ■ +61 2 9251 7077 ■ firststudio.com

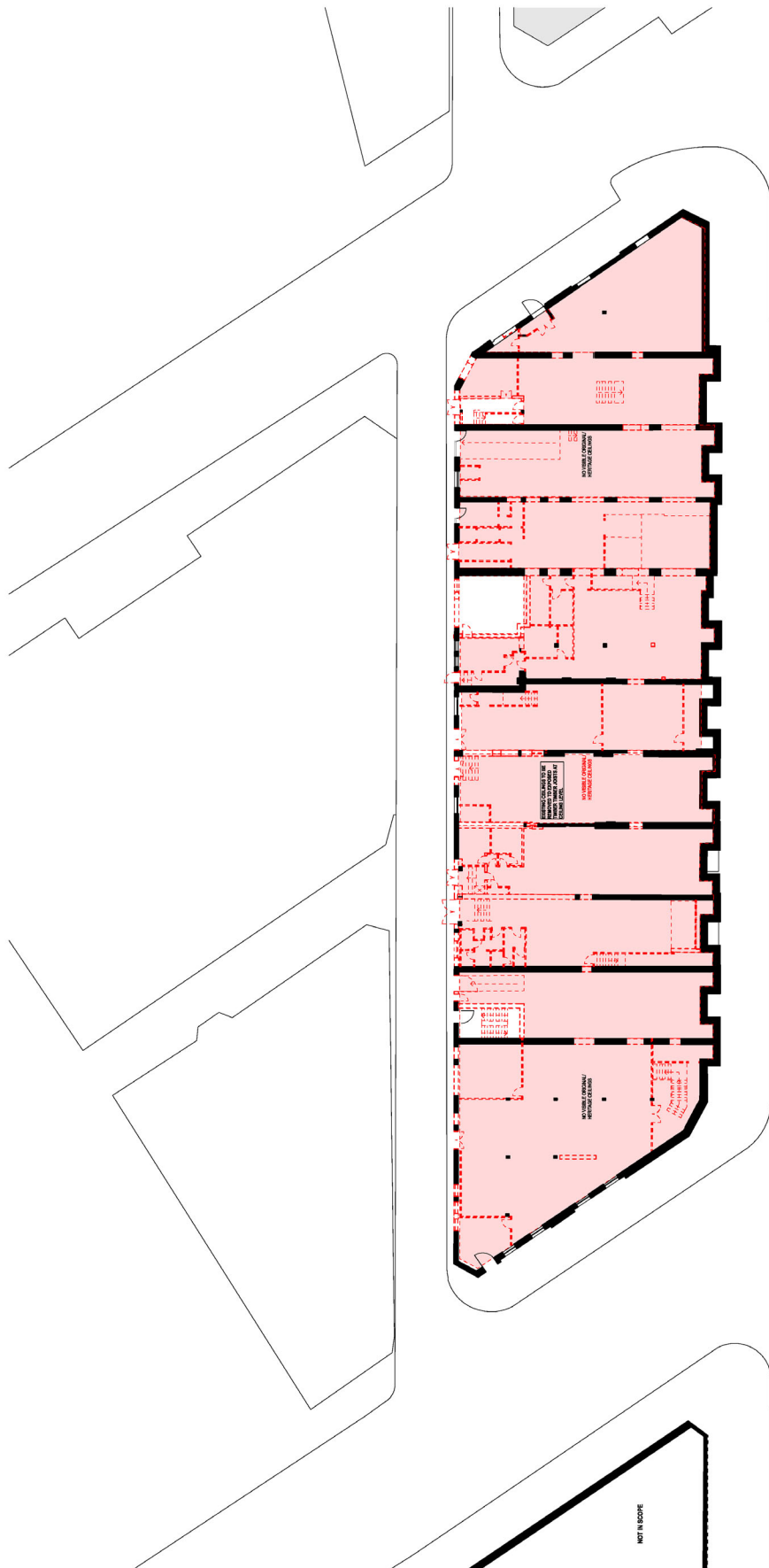
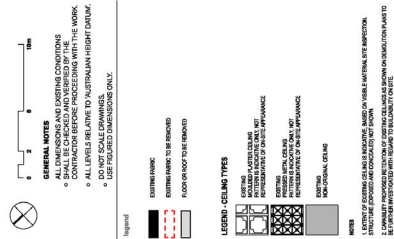
connect

Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

title

Group 2 - Demolition Plan
Group 2 - Demolition Plan - Roof

scale	1:200 @ A1	first issued	23/11/20
project code		sheet no.	revision



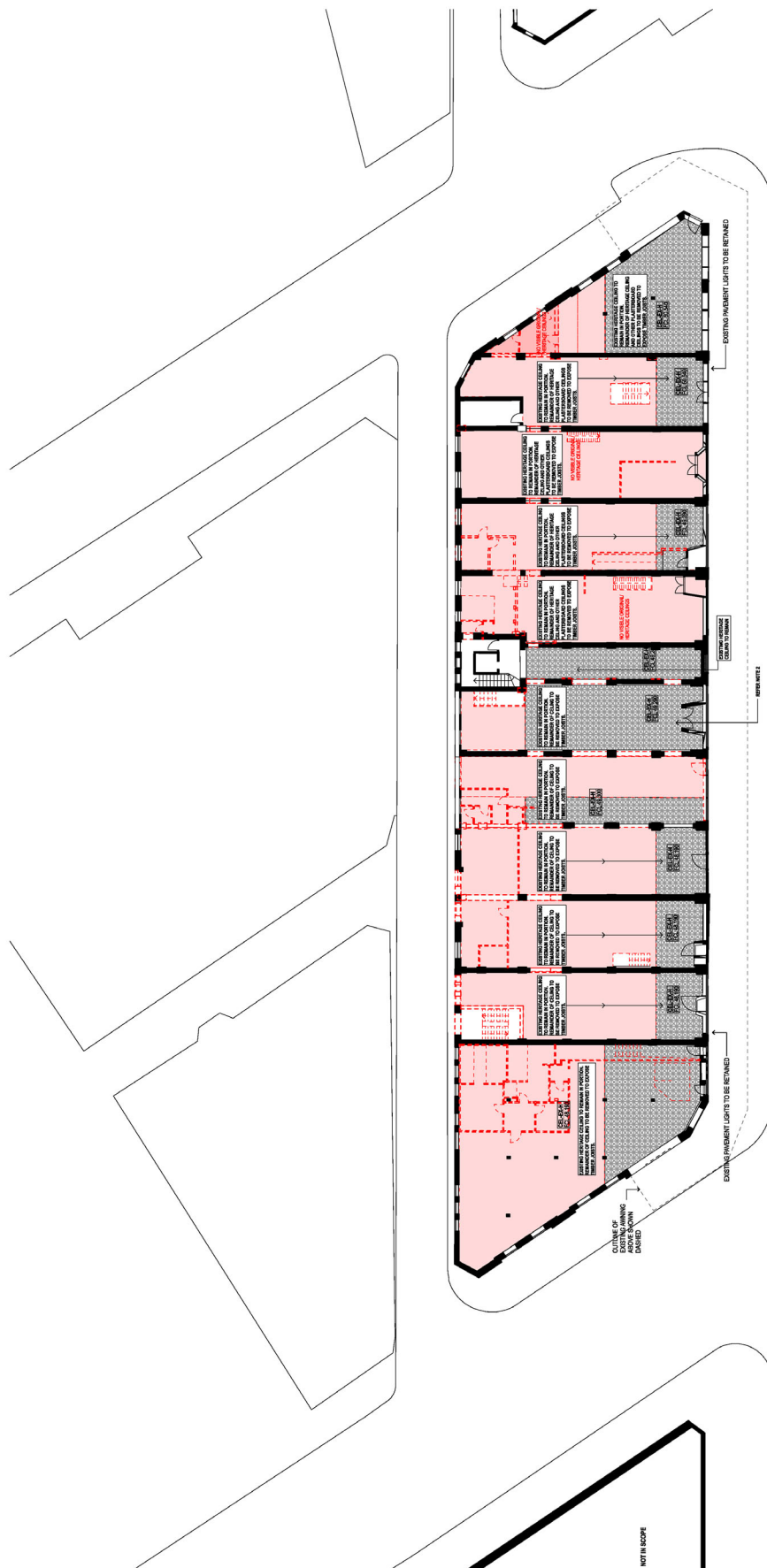
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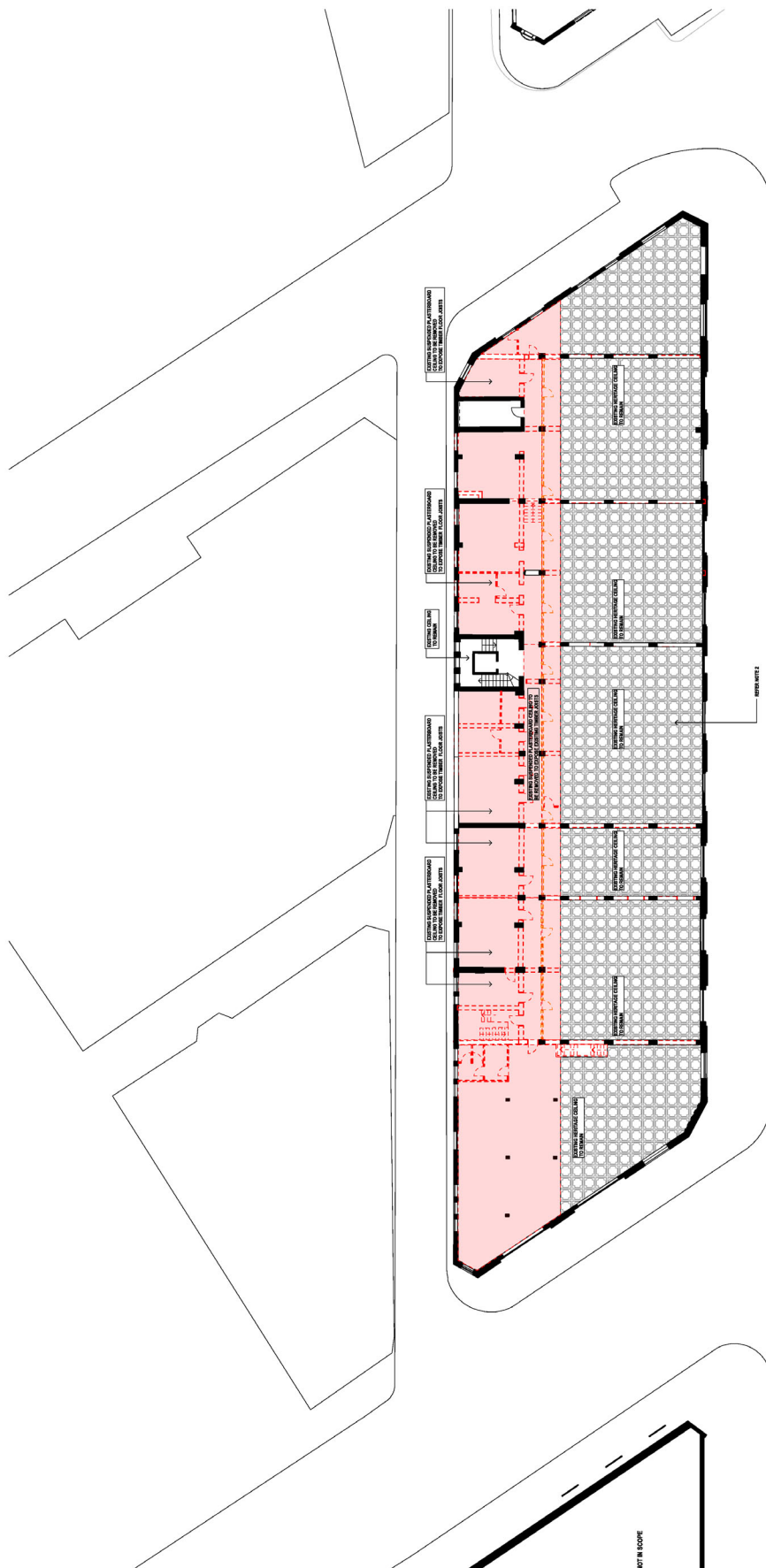
fint
first studio and lecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street E • 61 2 9251 7077 ■ fintstudio.com

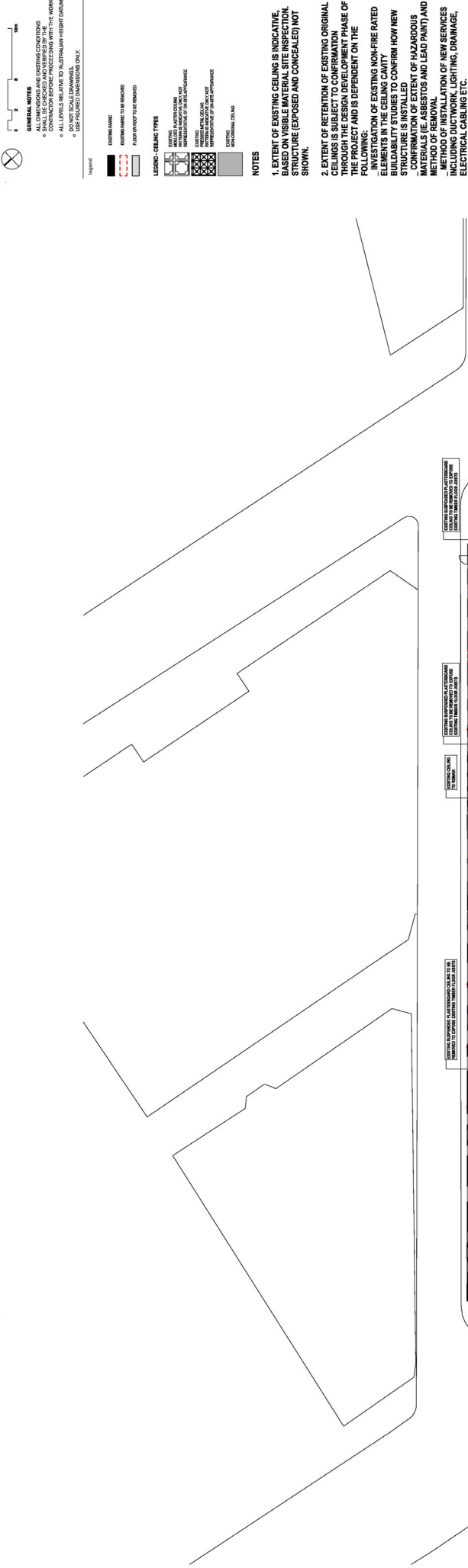
project
Darlinghurst Collection
56-76, 82-106 Oxford Street
Darlinghurst NSW 2010

Group 2 - Demolition RCP
Group 2 - Demolition RCP - Lower Ground

scale	1:200 @ A1	first issued	26/11/20
project code		sheet no.	revision
TDC		A-22601	DA01







GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- FOR FURTHER INFORMATION, SEE ONLY.

LEGEND - CEILING TYPES

- EXISTING
- ASBESTOS
- ASBESTOS TO BE REMOVED

NOTES

1. EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISUAL MATERIAL SITE INSPECTION. STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.

2. EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS INDICATIVE, BASED ON VISUAL MATERIAL SITE INSPECTION. STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.

3. EXTENT OF RETENTION OF EXISTING NON-FIRE RATED CEILING IS INDICATIVE, BASED ON VISUAL MATERIAL SITE INSPECTION. STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.

4. INVESTIGATION OF EXISTING NON-FIRE RATED CEILING IS REQUIRED TO CONFIRM HOW NEW BUILDING IS INSTALLED.

5. CONFIRMATION OF EXTENT OF HAZARDOUS MATERIALS (IE ASBESTOS AND LEAD PAINT) AND METHOD OF REMOVAL OF NEW SERVICES INCLUDING DUCTWORK, LIGHTING, DRAINAGE, ELECTRICAL CABLING ETC.

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

[illegible]

NOTES

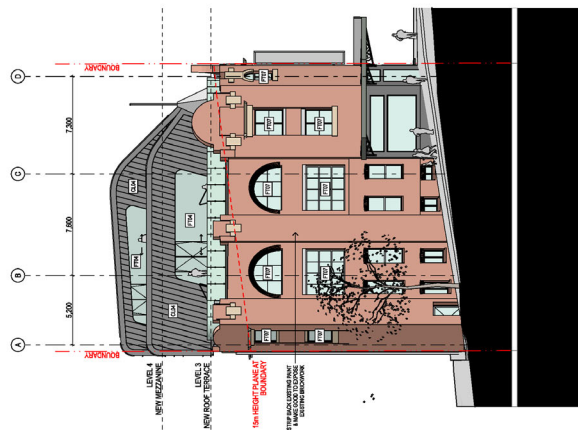
STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATE TO CHANGING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO VARIATION BASED ON SITE MEASUREMENTS.

ALL MECHANICAL AND SERVICES ON RAISEWAYS ARE TO BE RELOCATED TO EXISTING RAISEWAYS. ALL RAISEWAYS ARE TO BE REINFORCED/UPGRADED AS REQUIRED TO MEET THERMAL/Acoustic PERFORMANCE.

DESIGN OF EXTERNAL LOBBIES TO NEW UPPER LEVELS IS TO BE FURTHER DEVELOPED IN CONJUNCTION WITH DETAILLED THERMAL MODELLING TO BE UNDERTAKEN DURING DESIGN PHASE, INCLUDING SPACING/ SIZING OF LOBBIES.



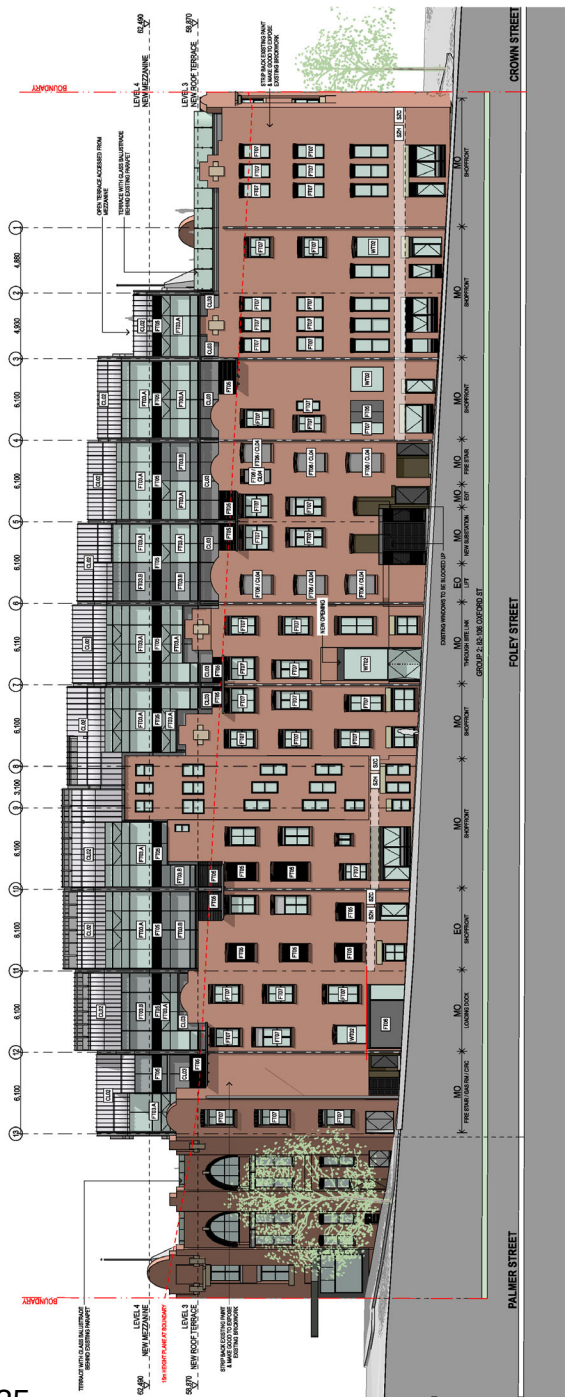
2 ELEVATION Group 2 - East Elevation
1:200



4 ELEVATION Group 2 - West Elevation 1:200



1 ELEVATION Group 2 - Oxford Street
1:200



3 ELEVATION Group 2 - Foley Street Elevation
1:200

0 2 4 6 8 10

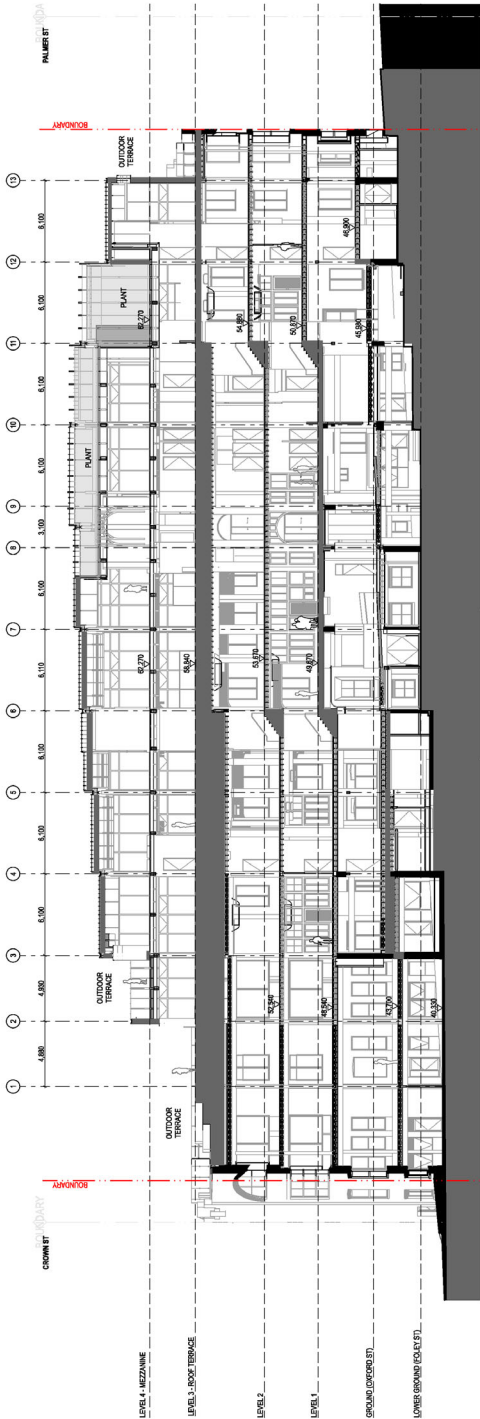
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GENERAL NOTES

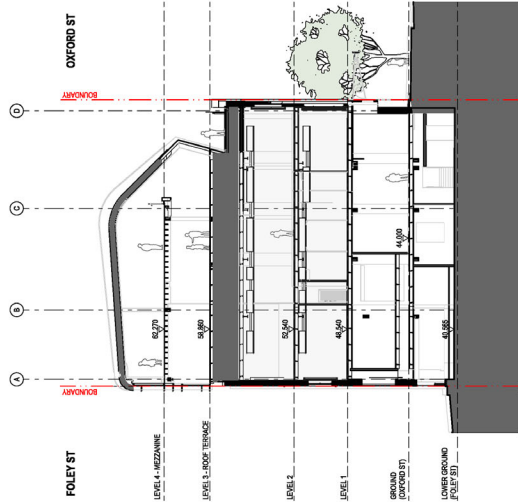
• ALL DIMENSIONS AND EXISTING CONDITIONS
• DIMENSIONS ARE TO FACE UNLESS OTHERWISE
• CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE WORK
• ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
• DO NOT SCALE DIMENSIONS
• DIMENSIONS TO FACE UNLESS OTHERWISE

Notes

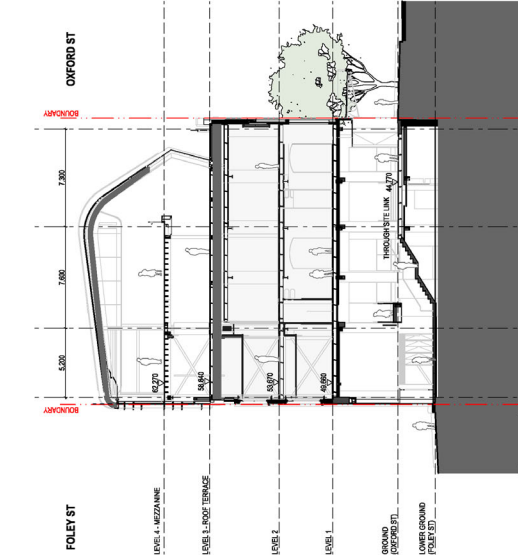
NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED
TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO
CHANGE BASED ON SITE SURVEY.



1 SECTION - Group 2: Long Section - North
1:200



2 SECTION - Group 2: Short Section - East
1:200



3 SECTION - Group 2: Through Site Plan
1:200

DATE: 18/07/21
BY: JFM

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